

Site & Roof Plan
Scale 1:200

PROPERTY DETAILS

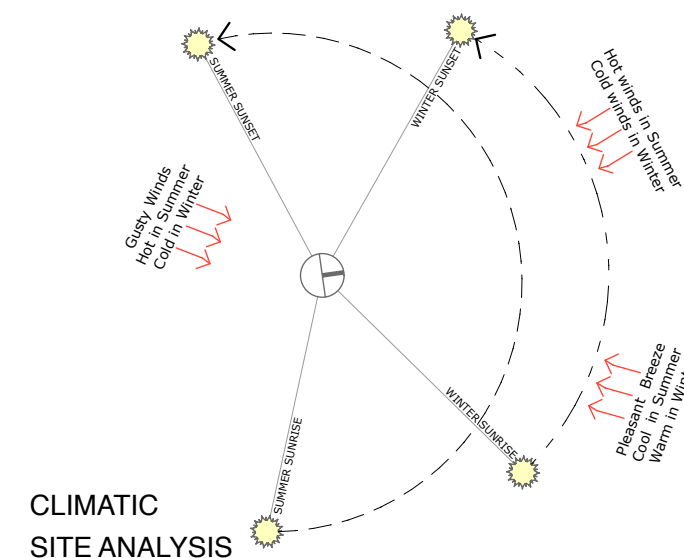
Property Address 33 Newton Rd, Strathfield
 Title Reference 42/-/DP8778
 Site Area 1416 m2
 STRATHFIELD MUNICIPAL COUNCIL

LOCAL ENVIRONMENTAL PLAN INFORMATION

Land Zoning R2 - Low Density Residential
 Height J - 9.5 m
 FSR NA
 Min. Lot Size K - 560 m2
 Heritage NA
 Land Reservation Acquisition NA
 Foreshore Building Line NA
 Acid Sulfate Soils CLASS 5
 Airport Noise NA



33 Newton Rd, Strathfield - Location Plan



CLIMATIC
SITE ANALYSIS

AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
RT - ROOF TILE	FC - FIBRE CEMENT	TD - TIMBER DOOR	S - SMOKE DETECTOR
BW - FACE BRICK WORK	TC - TIMBER CLADDING	TW - TIMBER WINDOW	W - NEW WINDOW
CR - CEMENT RENDER	SC - STONE CLADDING	FW - FIXED WINDOW	D - NEW DOOR

THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.
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 PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS.
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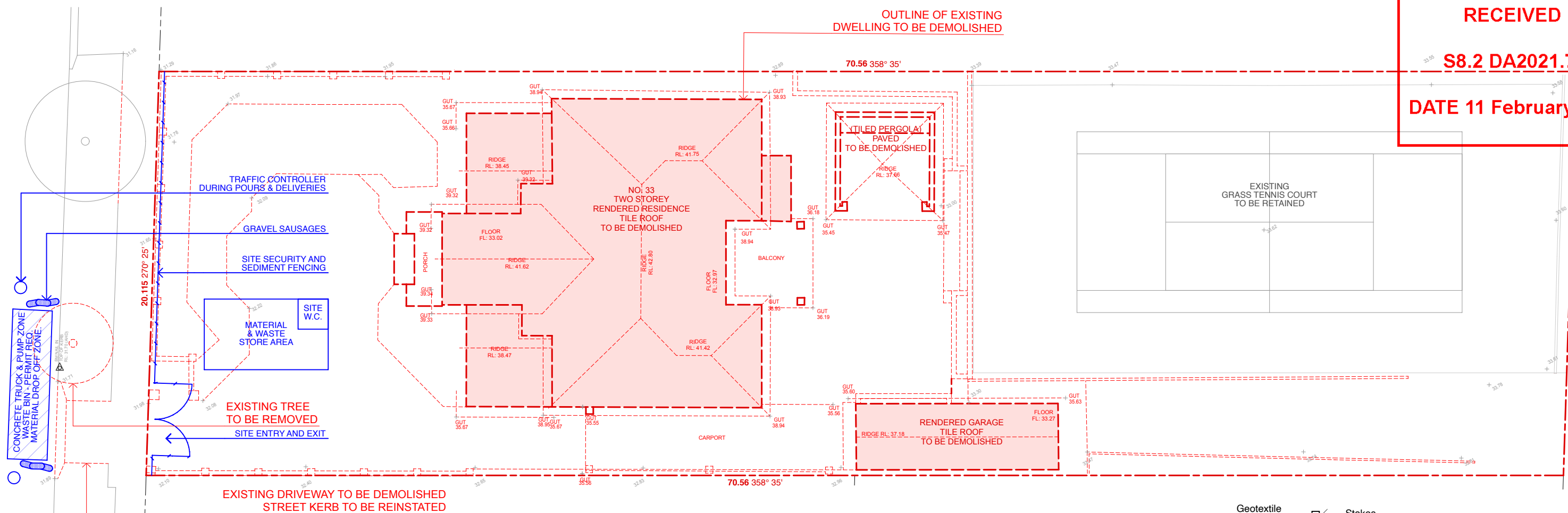
Issue	Description	Date
A	Development Application	30 - 03 - 2021
B	Council RFI Letter 12th May 2021	18 - 06 - 2021
C	S8.2 Review Application	20 - 09 - 2021
D	Amendments	31 - 01 - 2022



Title:	Site & Roof Plan
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:200 @ A3

DA01

D



Demolition & Erosion Sediment Control Plan

Scale 1:200

SITE WORKS NOTES

- DATUM: REFER SURVEY NOTES
- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER/SUPERINTENDENT.
- STRIP ALL TOPSOIL FROM CONSTRUCTION AREA AND STOCKPILE ON SITE TO BE LATER SPREAD OR REMOVED FROM SITE AS DIRECTED BY THE SUPERINTENDENT.
- MAKE SMOOTH CONNECTION WITH EXISTING WORKS.
- ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.
- ALL SERVICES TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACKFILLED WITH SAND OR AN APPROVED GRANULAR MATERIAL AND COMPACTED TO A MINIMUM 98% STANDARD DENSITY, IN ACCORDANCE WITH AS1289 5.1.1.
- PROVIDE 10mm WIDE EXPANSION JOINTS BETWEEN BUILDING AND ALL CONCRETE OR UNIT PAVEMENTS.
- ASPHALTIC CONCRETE SHALL CONFORM TO RTA FORM 612.
- ALL BASE COURSE MATERIAL TO COMPLY WITH RTA FORM 3051 (UNBOUND), RTA FORM 3052 (BOUND) COMPACTED TO MINIMUM 98% MODIFIED DENSITY IN ACCORDANCE WITH AS1289 5.2.1. FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1 TEST PER 50m OF BASE COURSE MATERIAL PLACED.
- ALL SUB BASE COURSE MATERIAL TO COMPLY WITH RTA FORM 3051 AND COMPACTED TO A MINIMUM 95% MODIFIED DENSITY IN ACCORDANCE WITH AS1289 5.2.1.
- ALL LINE MARKING TO AS1742.
- WHERE NOTED ON THE DRAWINGS THAT WORKS ARE TO BE CARRIED OUT BY OTHERS, (ADJUSTMENT SERVICES), THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CO-ORDINATION OF THESE WORKS.

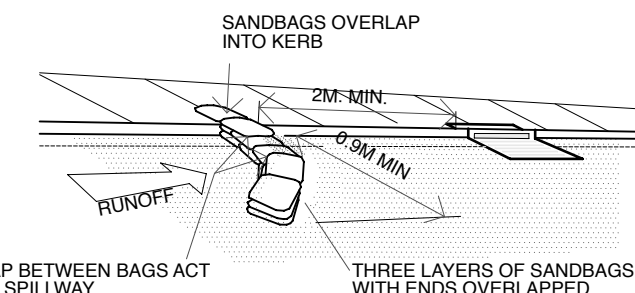
SURVEY NOTES

THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY C.V FORSHAW CONSULTING LAND AND ENGINEERING SURVEYORS, BEING REGISTERED SURVEYORS. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. ARCH MEDIA SOLUTIONS DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OF ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS.

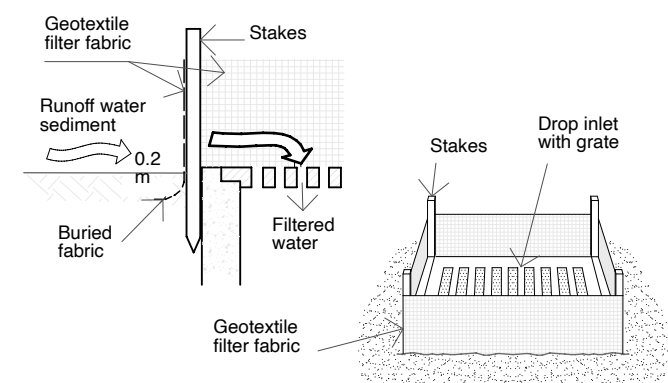
EROSION AND SEDIMENT CONTROL NOTES

- ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH:
 - LOCAL AUTHORITY REQUIREMENTS
 - EPA REQUIREMENTS
 - NSW DEPARTMENT OF HOUSING MANUAL
- "MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION," 3rd EDITION, AUGUST 1998.
- MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
- WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SILT FENCES ARE ERECTED AROUND PITS.
- CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENTATION CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.

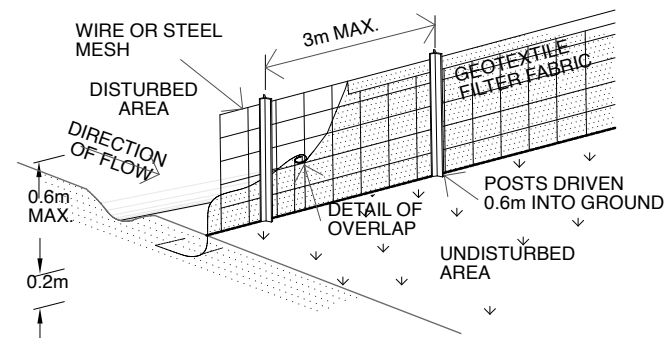
OUTLINE OF EXISTING DWELLING TO BE DEMOLISHED



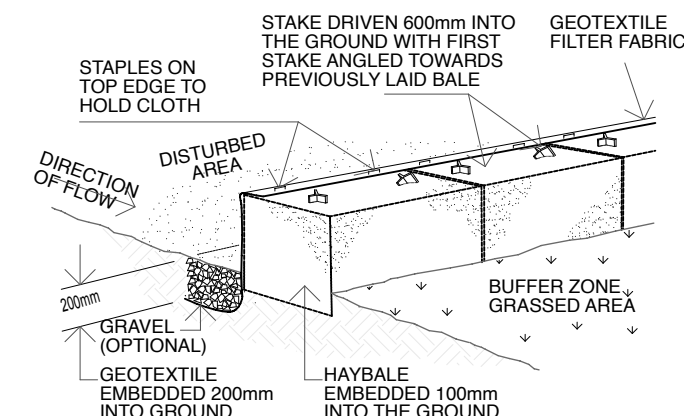
SANDBAG SEDIMENT TRAP FOR KERB INLET ON GRADE



GEOTEXTILE FILTER FABRIC SURROUND



SEDIMENT FENCE



STRAW BALE AND GEOTEXTILE SEDIMENT FILTER

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Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048
 M - 0410 504 589 - O - 9517 9652
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Title:	Demolition & Erosion Sediment Control Plan	DA02	
Project:	33 Newton Rd, Strathfield		
Client:	Mr. Eric Wai		
Date:	31st January 2022		
Scale:	1:200 @ A3	D	

BASIX Notes

Water Commitments

Alternative water
Rainwater tank

-The applicant must install a rainwater tank of at least 10000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

Swimming pool

-The swimming pool must not have a volume greater than 65.7 kilolitres.
-The swimming pool must be outdoors.

Thermal Comfort Commitments

Simulation Method

-The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.

-The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.

- floor - concrete slab on ground: 130.0 square metres
- floor - suspended floor/open subfloor: 29.0 square metres
- floor - suspended floor above garage: All or part of floor area

Energy Commitments

Hot water

-The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.

Natural lighting

-The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.


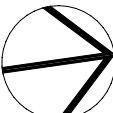
Alternative energy

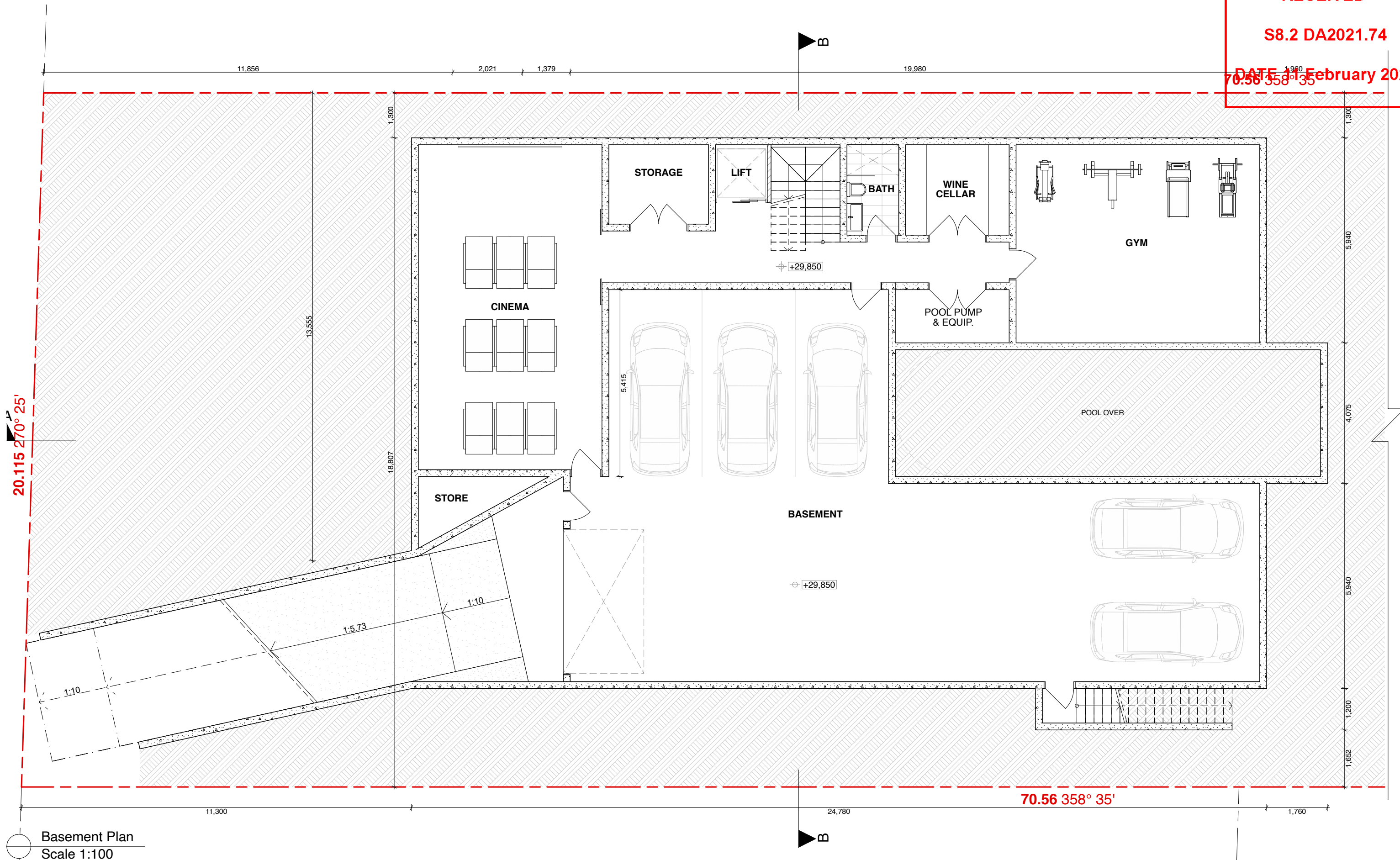
-The applicant must install a photovoltaic system with the capacity to generate at least 4.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.

NatHERS Specs Summary:

- Floor slabs:
 - Concrete.
 - Exterior walls:
 - Cavity brick – with aircell insulation (R1.24). Or, masonry wall system of R1.60 rating.
 - All external wall materials modelled with default medium colour finishes.
 - Glazing:
 - Low solar gain Low-E glass, with aluminium framing:**
 - To northern curtain walls (wrap around fixed glazing overlooking pool).
 - to living & dining northern sliding doors.
 - Type A (U-Value: 5.6, SHGC: 0.41).
 - Type B (U-Value: 5.6, SHGC: 0.36).
 - Single clear glass, with aluminium framing:**
 - Modelled to remainder.
 - Type A (U-Value: 6.7, SHGC: 0.57).
 - Type B (U-Value: 6.7, SHGC: 0.70).
- U-Value & SHGC are combined glass and frame figures.**
- Ceiling:
 - R2.5 ceiling insulation to gym ceiling to area of concrete roof (to outside air).
 - R3.5 ceiling insulation to all ceilings to tiled roof.
 - Modelled with sealed: LED downlights & wet area exhaust fans.
 - Roof:
 - Tiled roof with foil under, modelled with default medium colour finishes, and as unventilated.

Please refer to NatHERS individual certificates for further details.

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CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE		A	Development Application	30 - 03 - 2021		Project:	33 Newton Rd, Strathfield	
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Basement Plan
Scale 1:100

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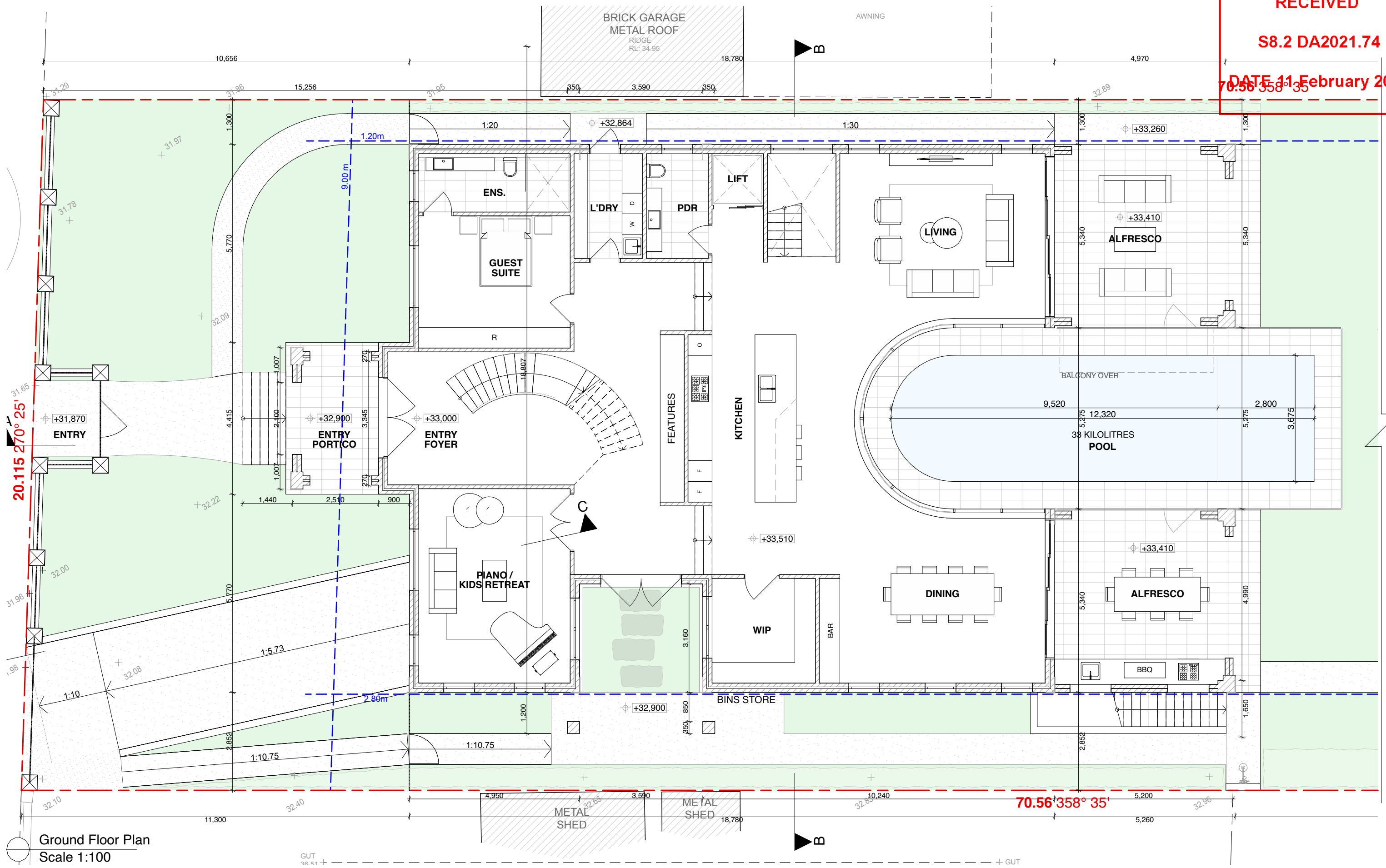
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Title:	Basement Level
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

DA04

D



Ground Floor Plan
Scale 1:100

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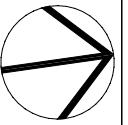
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Title:	Ground Floor - Street
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

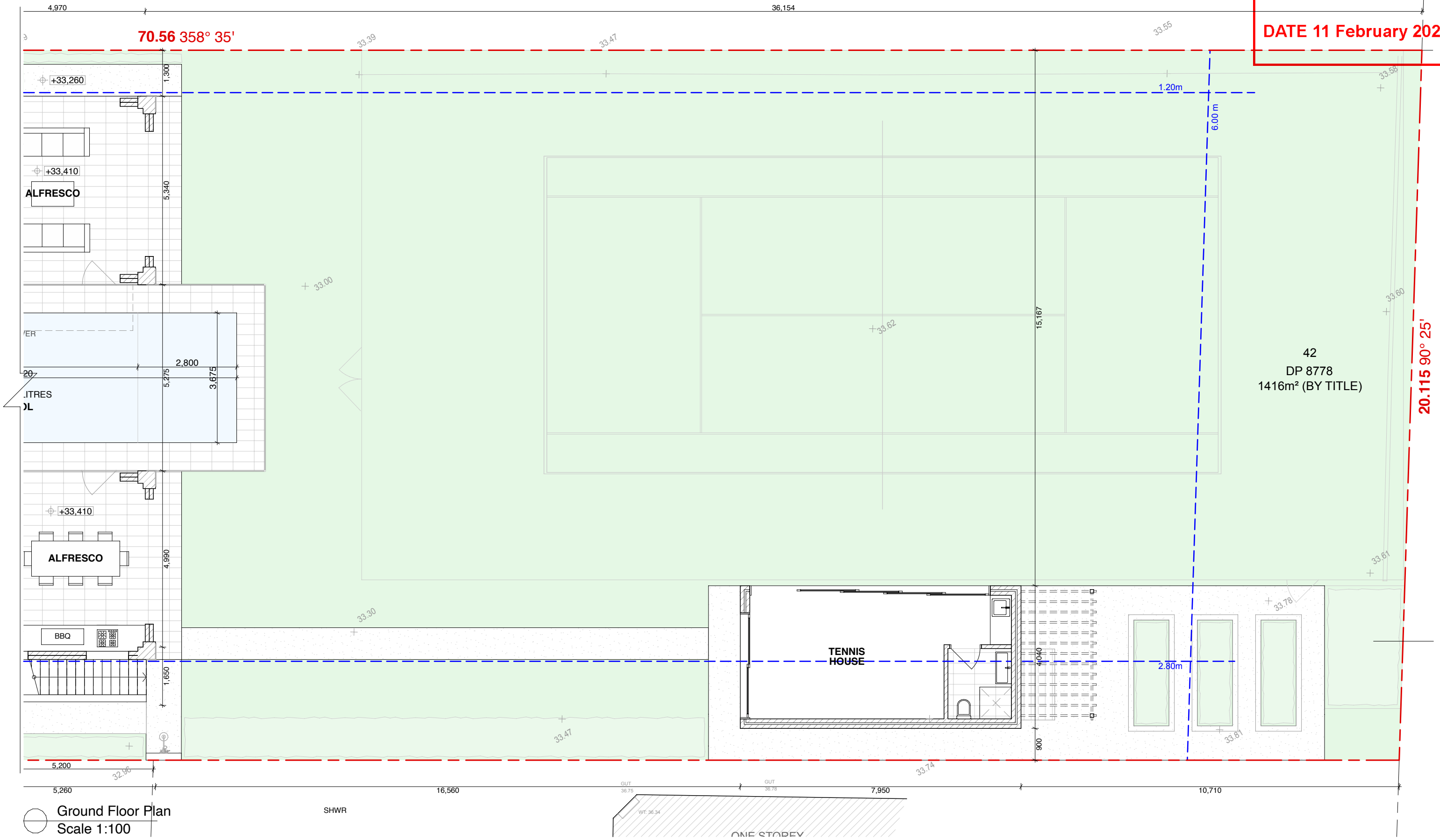
DA05
D



**STRATHFIELD COUNCIL
RECEIVED**

S8.2 DA2021.74

DATE 11 February 2022



Ground Floor Plan
Scale 1:100

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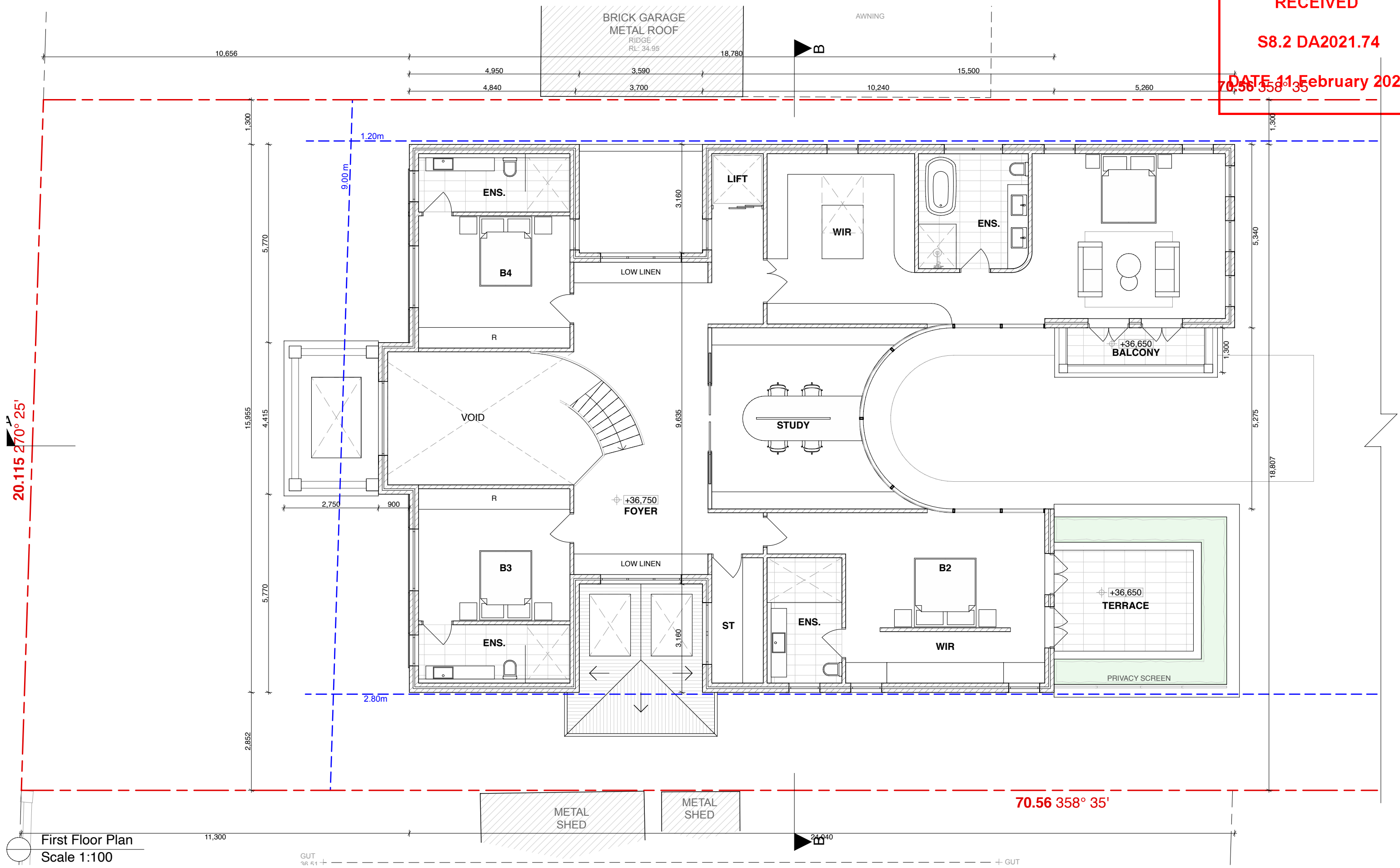
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Title:	Ground Floor - Rear
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

DA06

D



First Floor Plan
Scale 1:100

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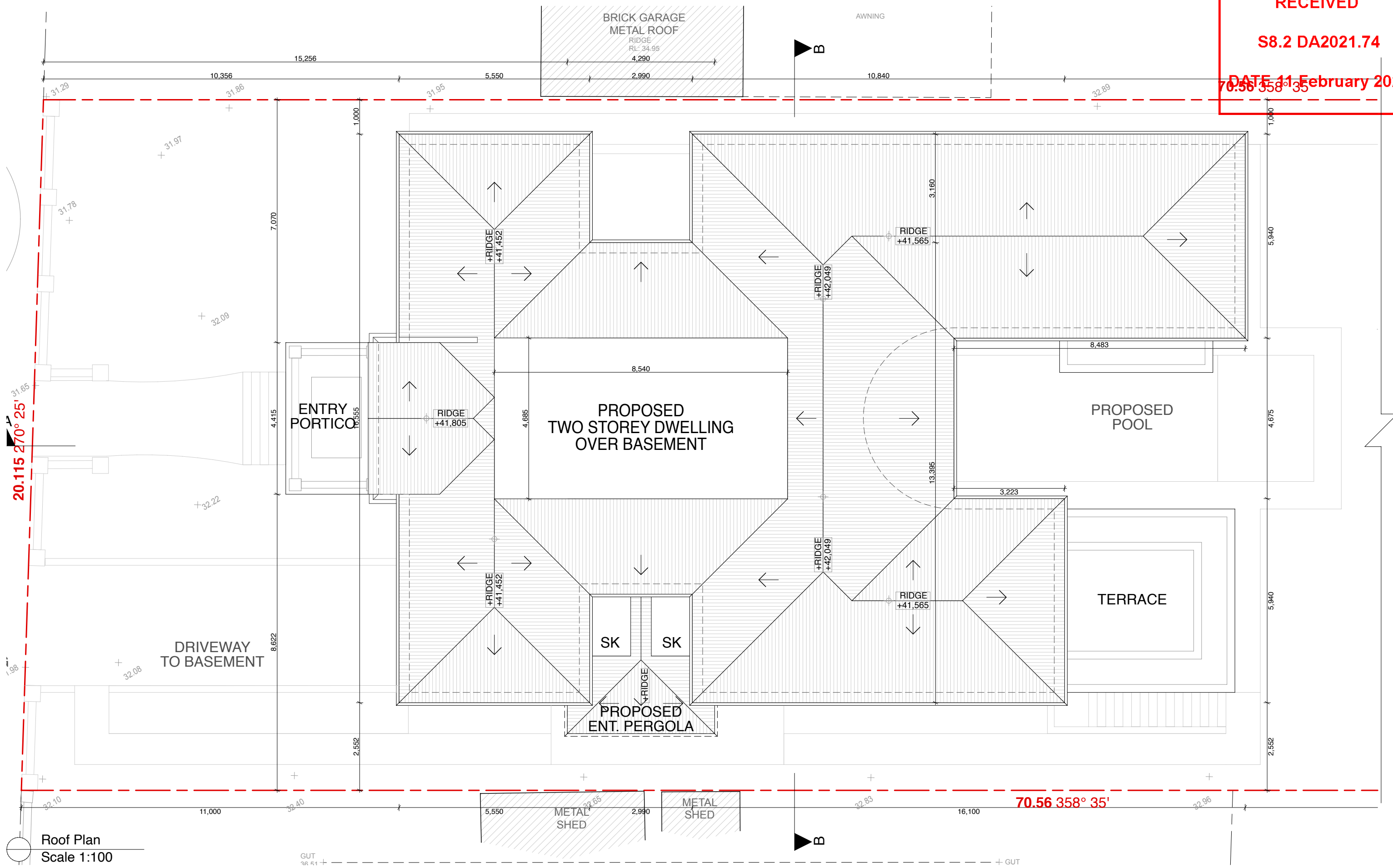
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Title:	First Floor
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

DA07

D



Roof Plan
Scale 1:100

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Title:	Roof Plan	DA08	
Project:	33 Newton Rd, Strathfield		
Client:	Mr. Eric Wai		
Date:	31st January 2022		
Scale:	1:100 @ A3	D	



South Elevation - Newton Road Fence
Scale 1:100

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A	Development Application	30 - 03 - 2021
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C	S8.2 Review Application	20 - 09 - 2021
D	Amendments	31 - 01 - 2022

Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048
M - 0410 504 589 - O - 9517 9652
info@bluprintdesigns.com.au - www.bluprintdesigns.com.au

Title:	Perspective & Fence Elevations
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

DA09
D

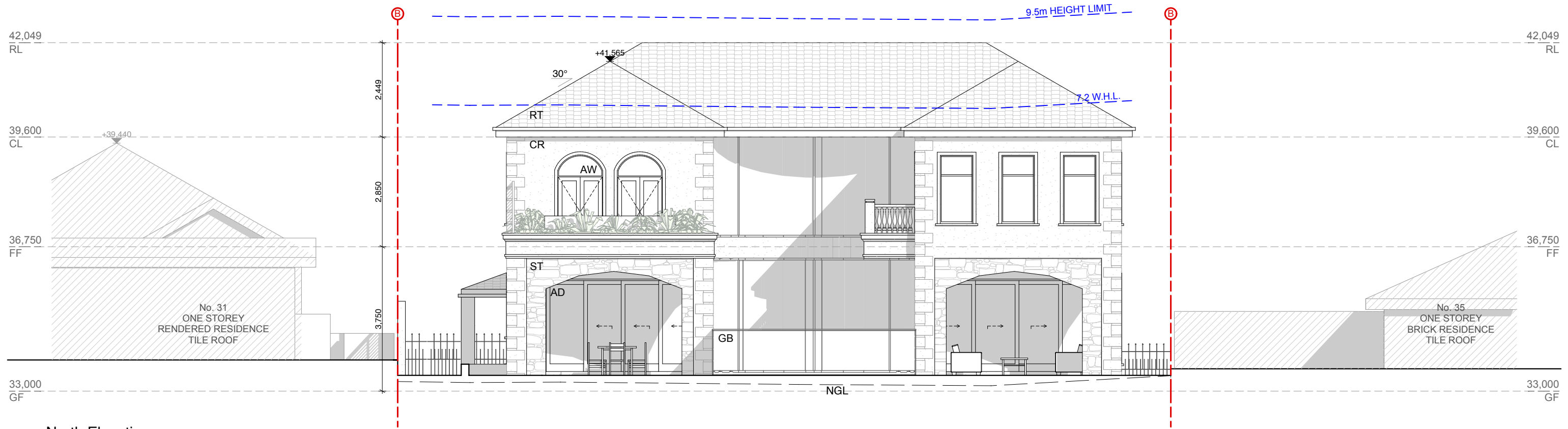
**STRATHFIELD COUNCIL
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S8.2 DA2021.74


DATE 11 February 2022



○ South Elevation - Newton Road
Scale 1:100



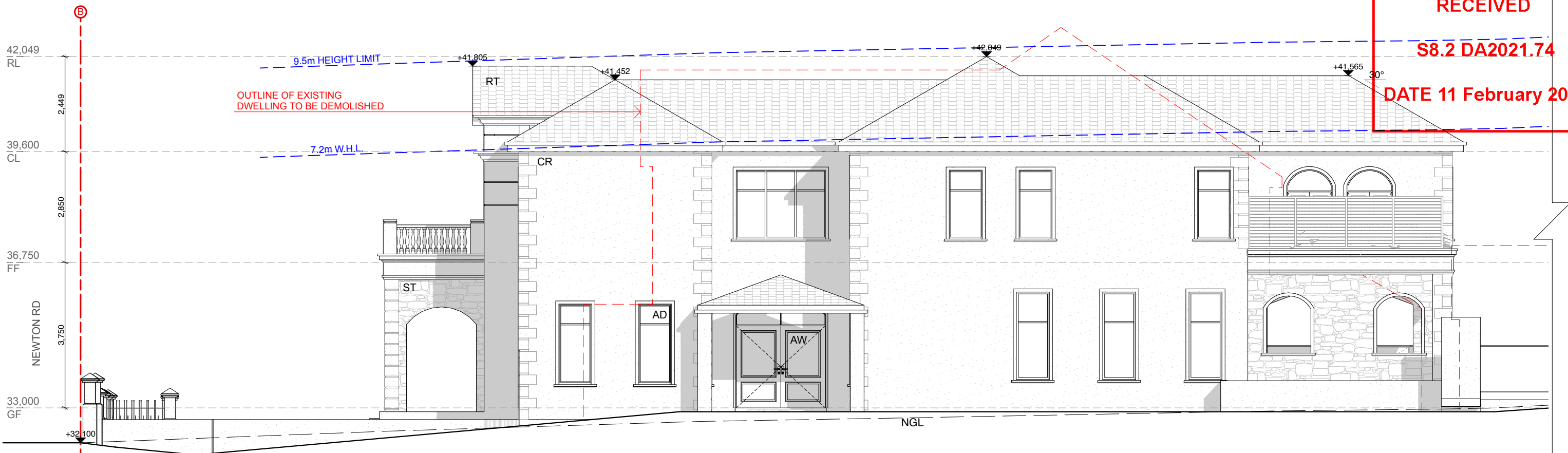
○ North Elevation
Scale 1:100

AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE	<p>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</p> <p>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</p> <p>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS.</p> <p>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</p> <p>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</p>	Issue	Description	Date	 <p>Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 M - 0410 504 589 - O - 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</p>	Title:	South & North Elevations	<p>DA10</p> <p>D</p>
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE		A	Development Application	30 - 03 - 2021		Project:	33 Newton Rd, Strathfield	
RT - ROOF TILE	FC - FIBRE CEMENT	TD - TIMBER DOOR	S - SMOKE DETECTOR		B	Council RFI Letter 12th May 2021	18 - 06 - 2021		Client:	Mr. Eric Wai	
BW - FACE BRICK WORK	TC - TIMBER CLADDING	TW - TIMBER WINDOW	W - NEW WINDOW		C	S8.2 Review Application	20 - 09 - 2021		Date:	31st January 2022	
CR - CEMENT RENDER	SC - STONE CLADDING	FW - FIXED WINDOW	D - NEW DOOR	D	Amendments	31 - 01 - 2022	Scale:	1:100 @ A3			

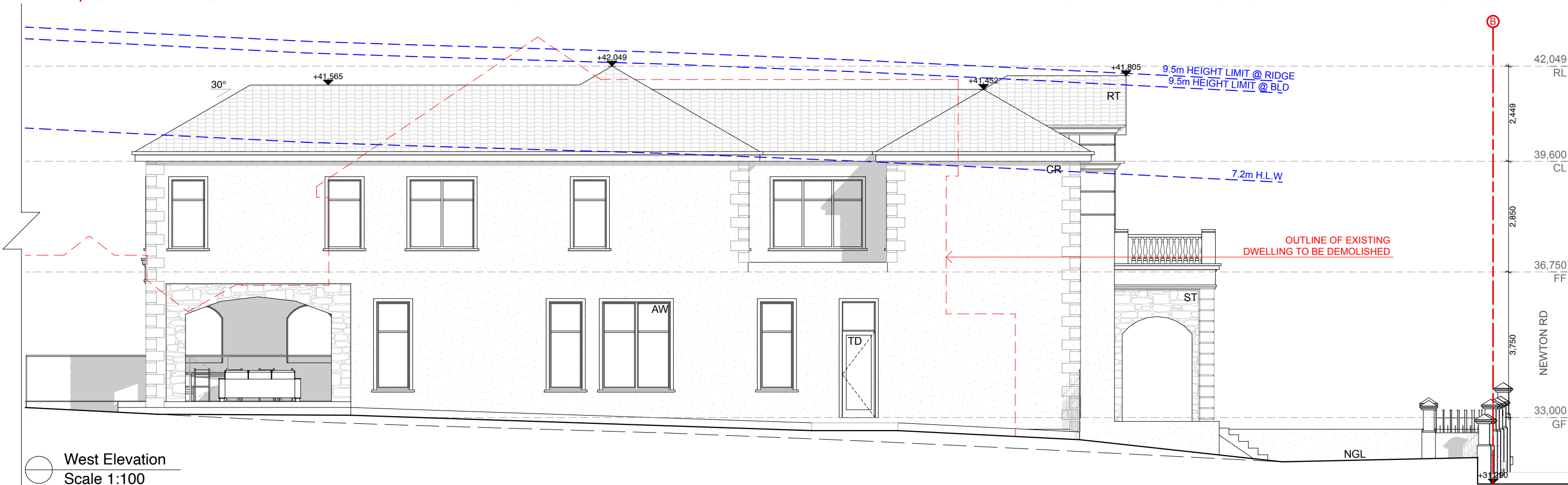
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S8.2 DA2021.74

DATE 11 February 2022



**East Elevation
Scale 1:100**



**West Elevation
Scale 1:100**

AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
RT - ROOF TILE	FC - FIBRE CEMENT	TD - TIMBER DOOR	S - SMOKE DETECTOR
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Title:	East & West Elevations - Street
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

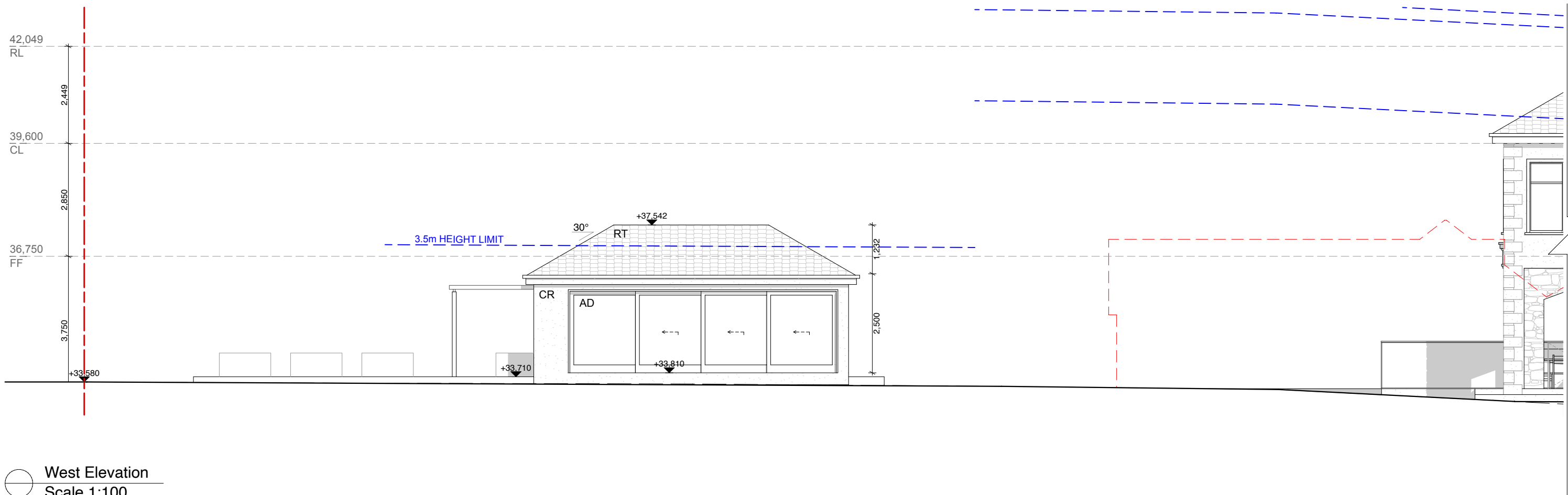
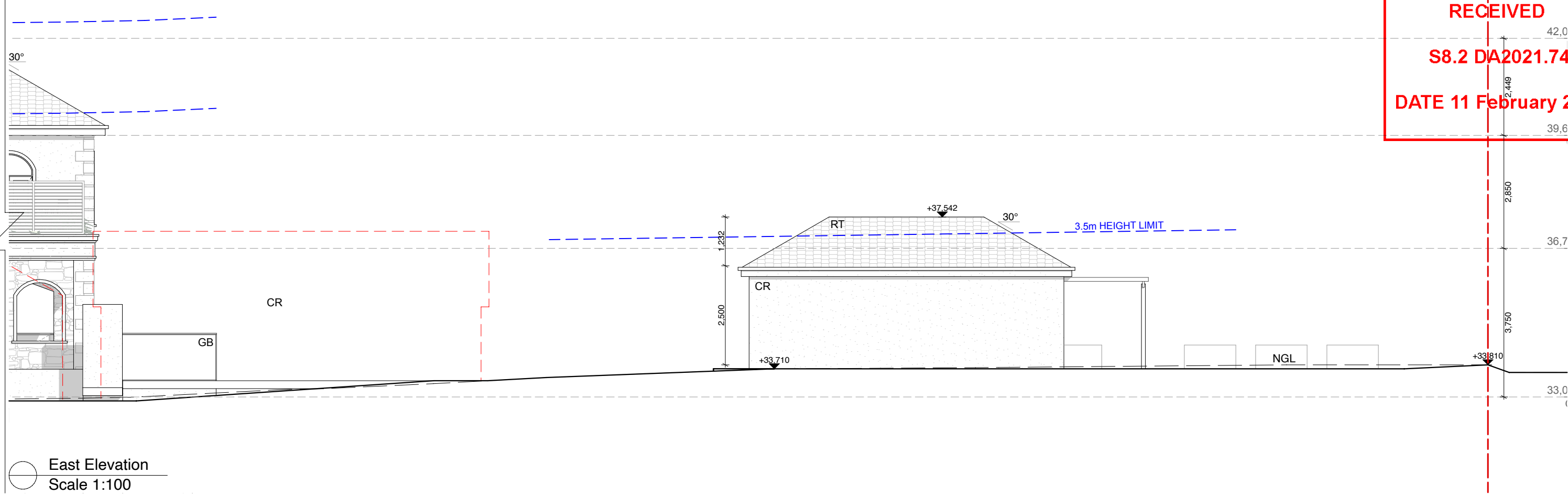
DA11

D

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DATE 11 February 2022



AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
RT - ROOF TILE	FC - FIBRE CEMENT	TD - TIMBER DOOR	S - SMOKE DETECTOR
BW - FACE BRICK WORK	TC - TIMBER CLADDING	TW - TIMBER WINDOW	W - NEW WINDOW
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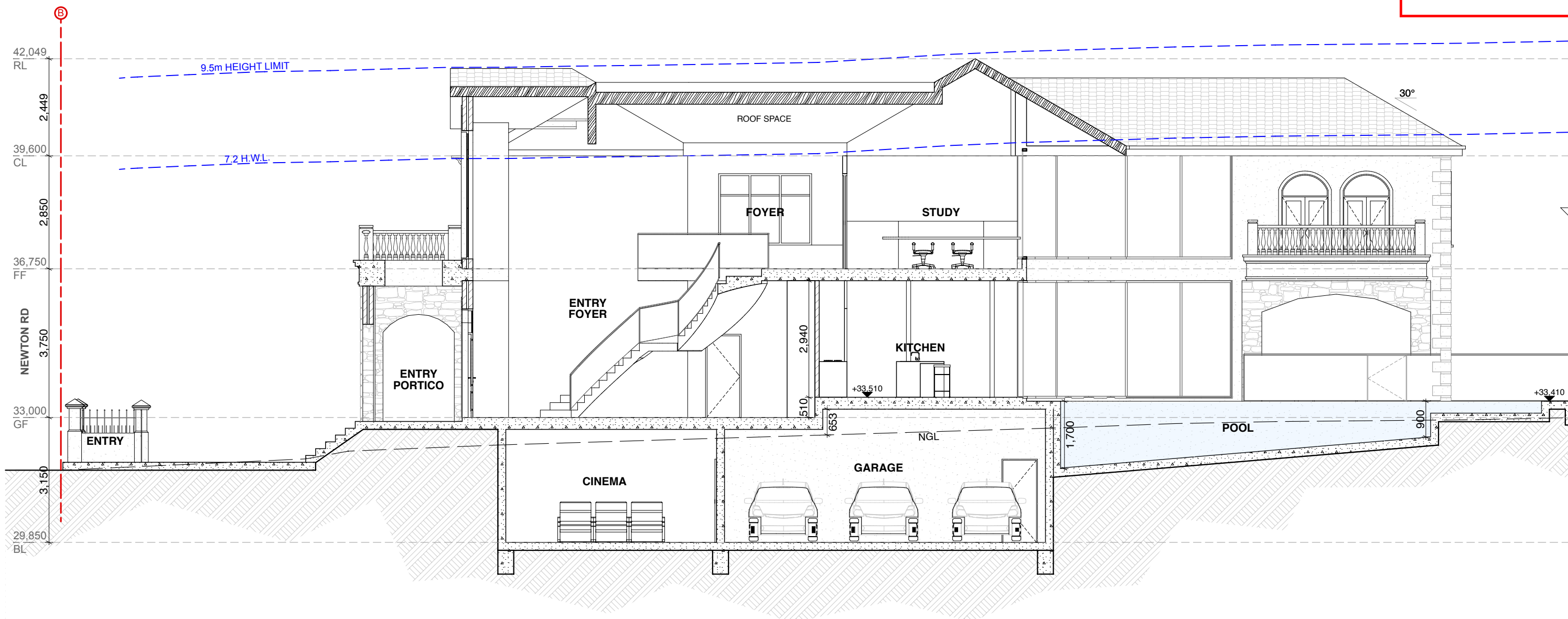
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M - 0410 504 589 - O - 9517 9652
info@bluprintdesigns.com.au - www.bluprintdesigns.com.au

Title:	East & West Elevations - Rear	DA12
Project:	33 Newton Rd, Strathfield	
Client:	Mr. Eric Wai	
Date:	31st January 2022	
Scale:	1:100 @ A3	D



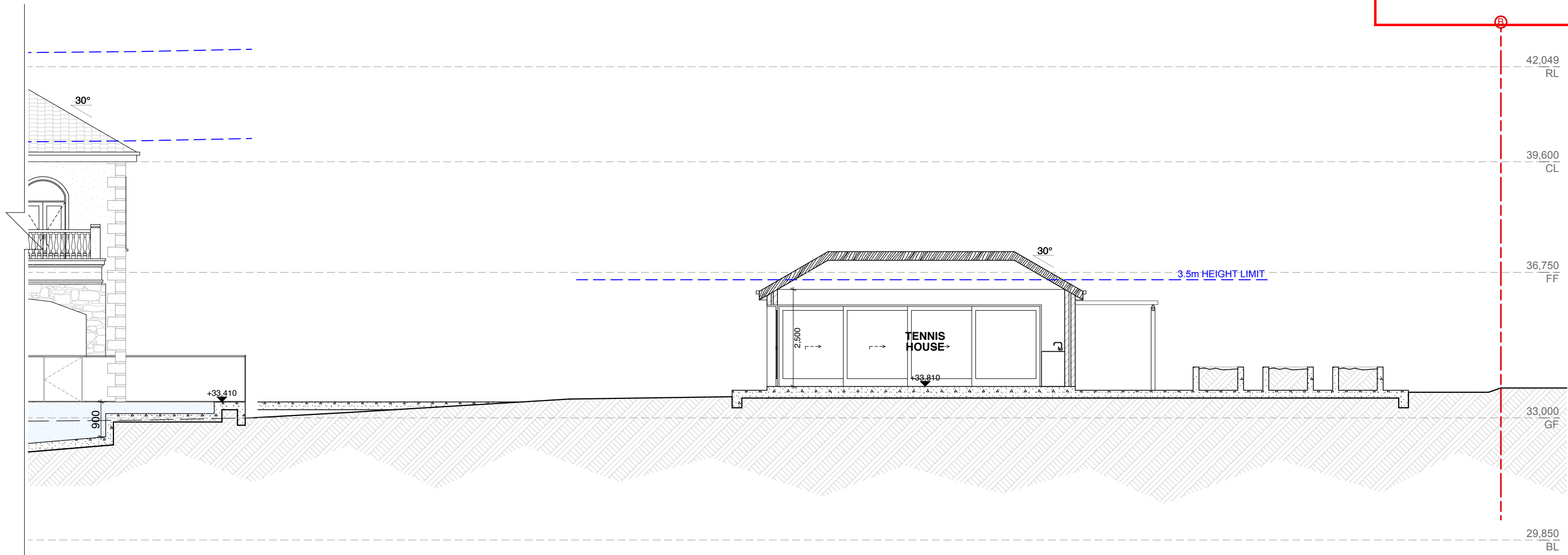
Section A
Scale 1:100

AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE	<p>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</p> <p>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</p> <p>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS.</p> <p>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</p> <p>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</p>	<table border="1"> <thead> <tr> <th>Issue</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>Development Application</td> <td>30 - 03 - 2021</td> </tr> <tr> <td>B</td> <td>Council RFI Letter 12th May 2021</td> <td>18 - 06 - 2021</td> </tr> <tr> <td>C</td> <td>S8.2 Review Application</td> <td>20 - 09 - 2021</td> </tr> <tr> <td>D</td> <td>Amendments</td> <td>31 - 01 - 2022</td> </tr> </tbody> </table>	Issue	Description	Date	A	Development Application	30 - 03 - 2021	B	Council RFI Letter 12th May 2021	18 - 06 - 2021	C	S8.2 Review Application	20 - 09 - 2021	D	Amendments	31 - 01 - 2022	<p>Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 M - 0410 504 589 - O - 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</p>	<table border="1"> <tr> <td>Title:</td> <td>Sections A - Street</td> </tr> <tr> <td>Project:</td> <td>33 Newton Rd, Strathfield</td> </tr> <tr> <td>Client:</td> <td>Mr. Eric Wai</td> </tr> <tr> <td>Date:</td> <td>31st January 2022</td> </tr> <tr> <td>Scale:</td> <td>1:100 @ A3</td> </tr> </table>	Title:	Sections A - Street	Project:	33 Newton Rd, Strathfield	Client:	Mr. Eric Wai	Date:	31st January 2022	Scale:	1:100 @ A3	DA13	D
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DATE 11 February 2022



Section A
Scale 1:100

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CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
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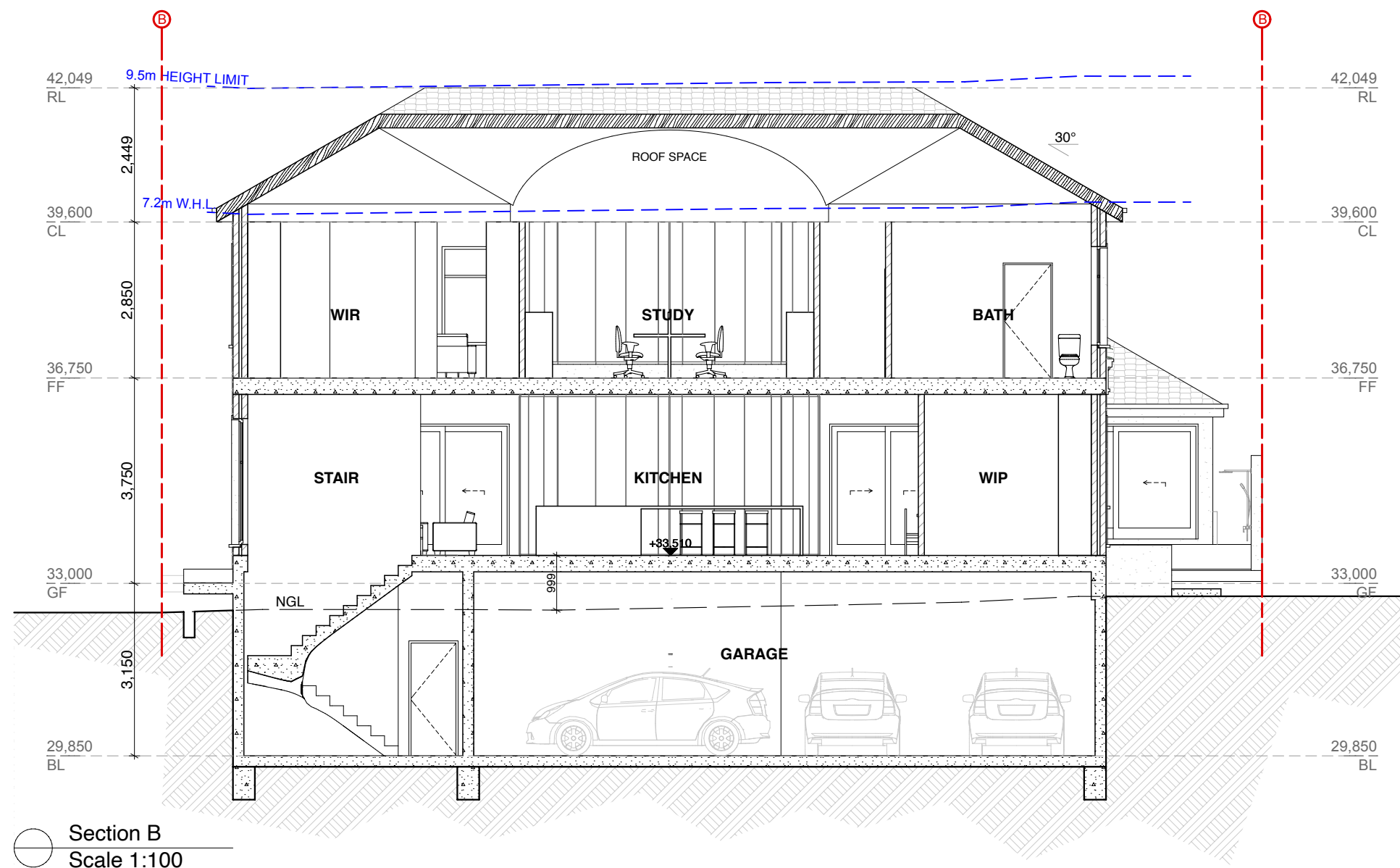
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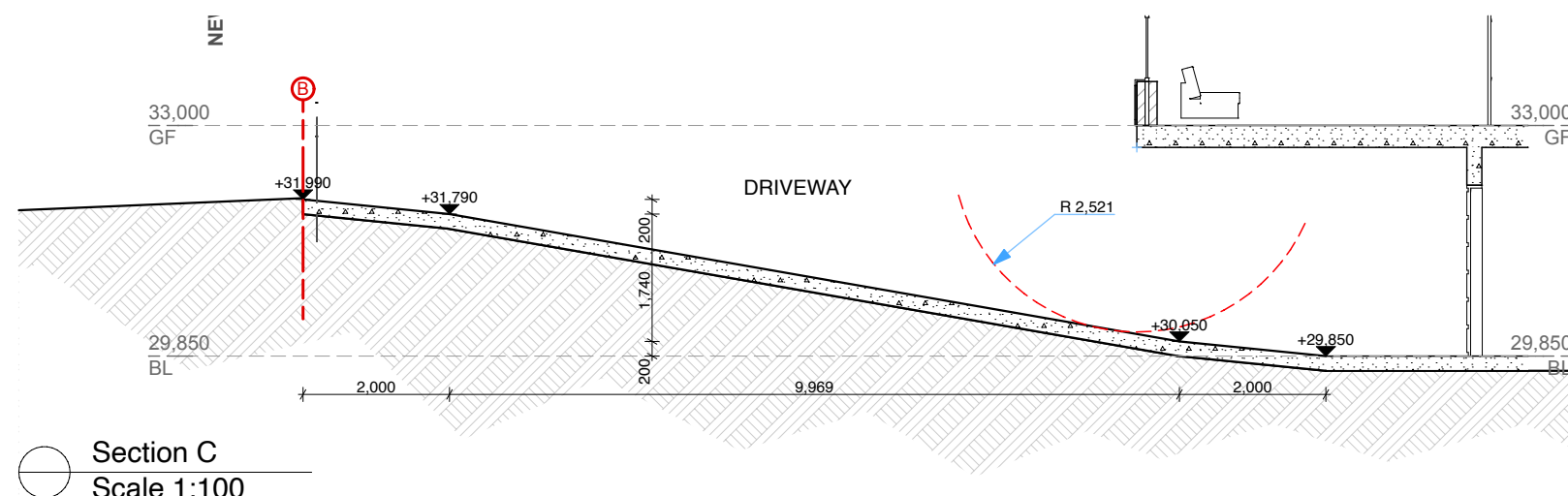
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info@bluprintdesigns.com.au - www.bluprintdesigns.com.au

Title:	Sections A - Rear	DA14
Project:	33 Newton Rd, Strathfield	
Client:	Mr. Eric Wai	
Date:	31st January 2022	
Scale:	1:100 @ A3	D



Section B
Scale 1:100



Section C
Scale 1:100

AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
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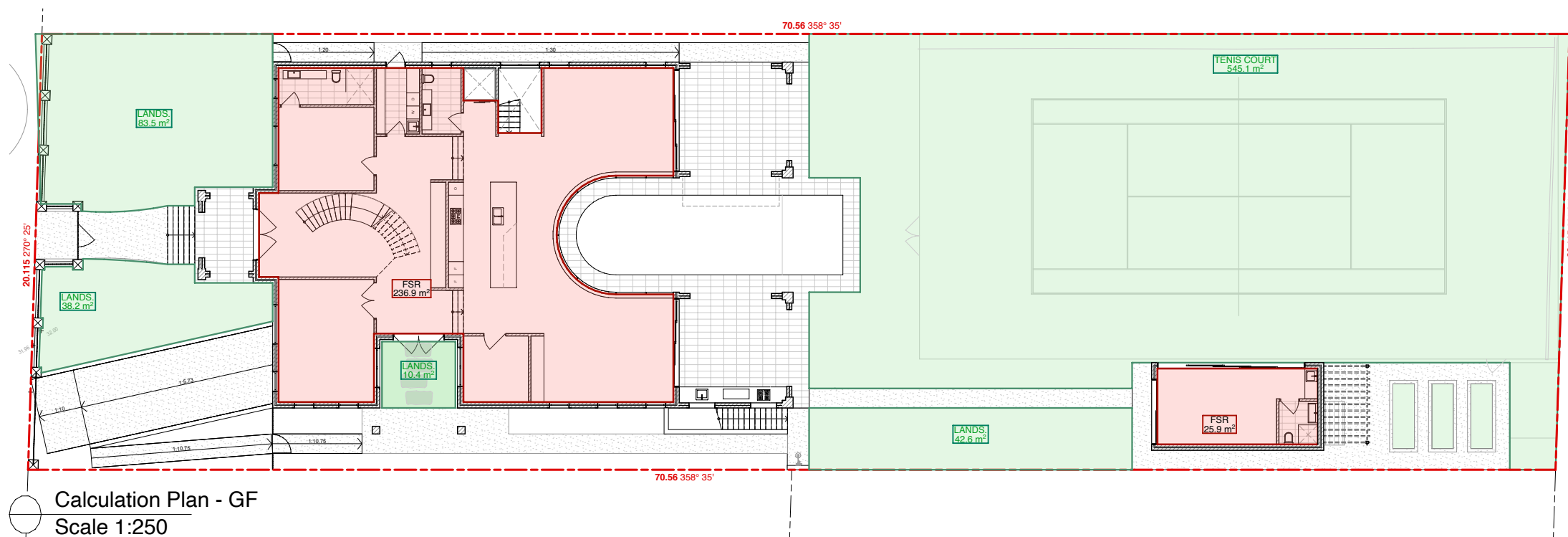
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M - 0410 504 589 - O - 9517 9652
info@bluprintdesigns.com.au - www.bluprintdesigns.com.au

Title:	Sections B & C
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:100 @ A3

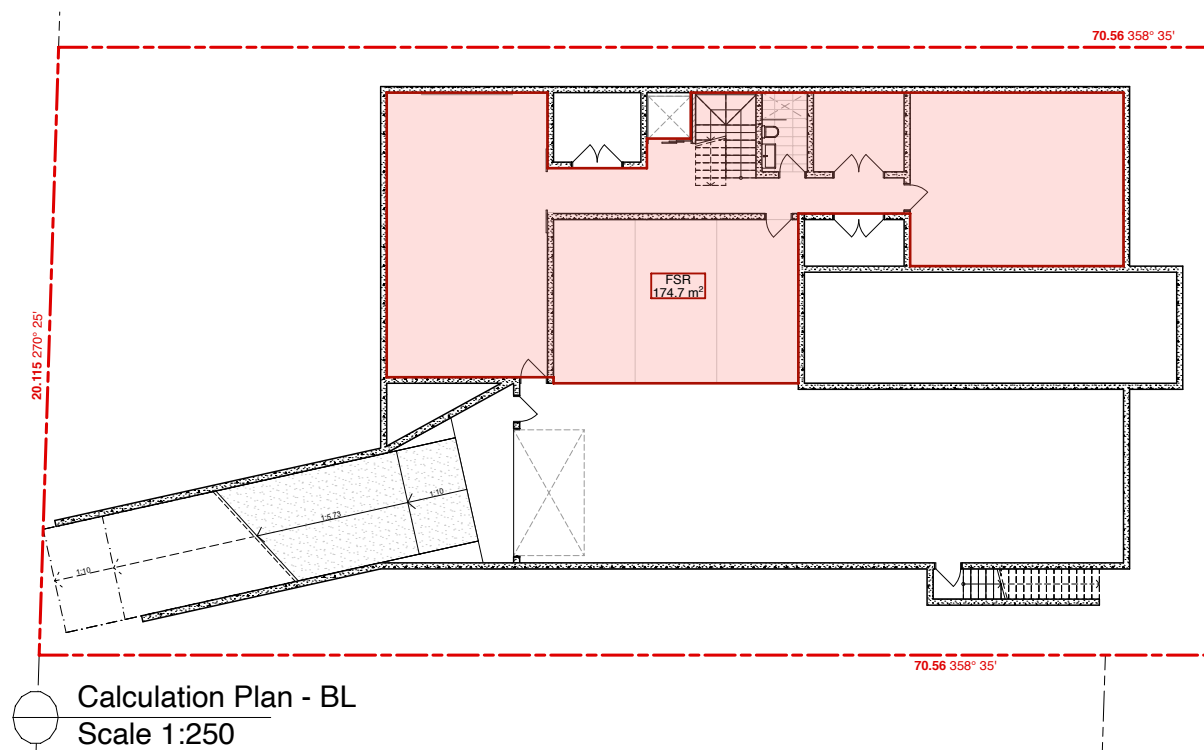
DA15
D

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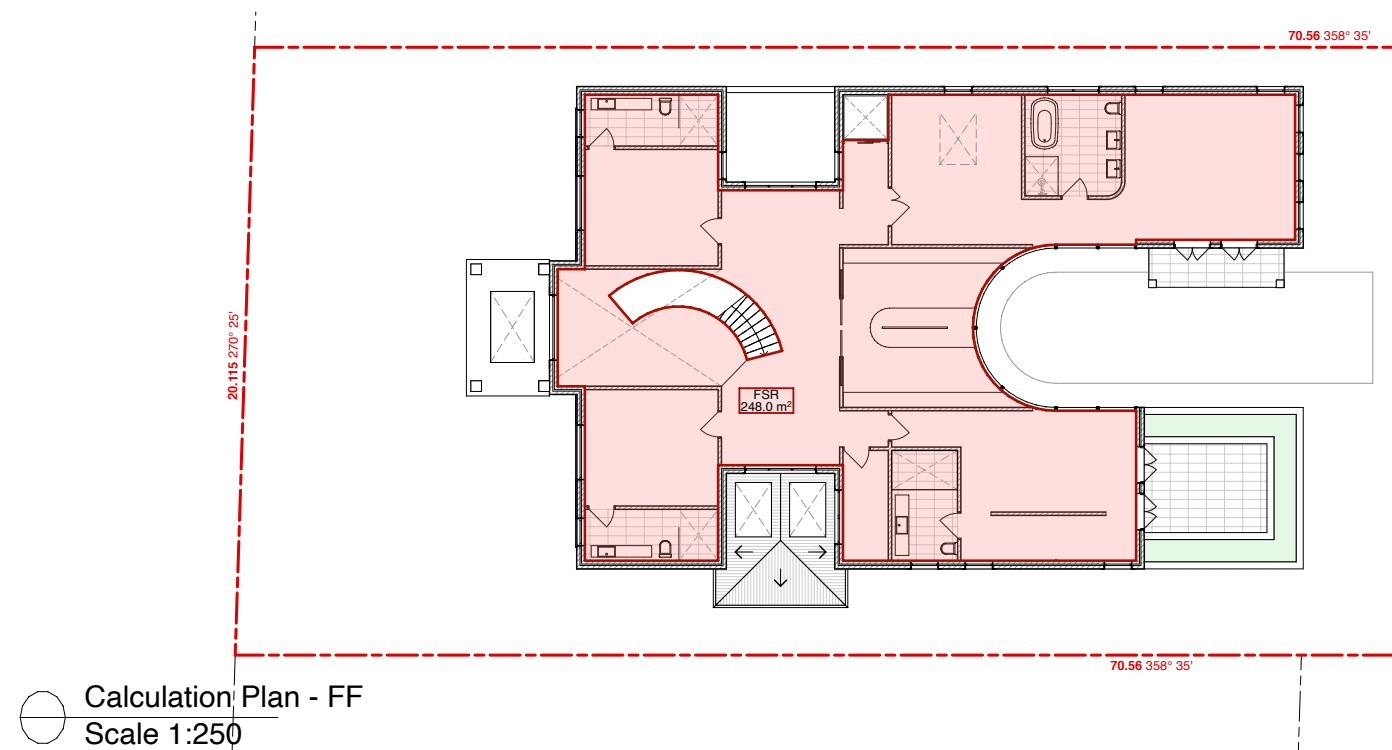
	PROPOSED	REQ. / PERM.	
FSR	685.5	708.0 m ²	@min 1.5 WIDE
LANDSCAPE	759.8	637.2 m ²	



Calculation Plan - GF
Scale 1:250



Calculation Plan - BL
Scale 1:250



Calculation Plan - FF
Scale 1:250

AS - ALUMINIUM ROOF SHEETING	AL - ALUMINIUM	AD - ALUMINIUM DOOR	GB - GLASS BALUSTRADE
CT - CONCRETE ROOF TILE	AC - ALUMINIUM CLADDING	AW - ALUMINIUM WINDOW	SB - STEEL BALUSTRADE
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D	Amendments	31 - 01 - 2022



Title:	Calculation Plans
Project:	33 Newton Rd, Strathfield
Client:	Mr. Eric Wai
Date:	31st January 2022
Scale:	1:250 @ A3

DA16

D

