PROPERTY DETAILS

Property Address 46 Long St, Strathfield NSW 2135

Title Reference 109/-/DP746 Site Area 774.2 m2

Council STRATHFIELD MUNICIPAL COUNCIL

LOCAL ENVIRONMENTAL PLAN INFORMATION

Land Zoning R2 - Low Density Residential Height J - 9.5 m

FSR 0.58:1

Min. Lot Size K - 560 m2

Heritage NA

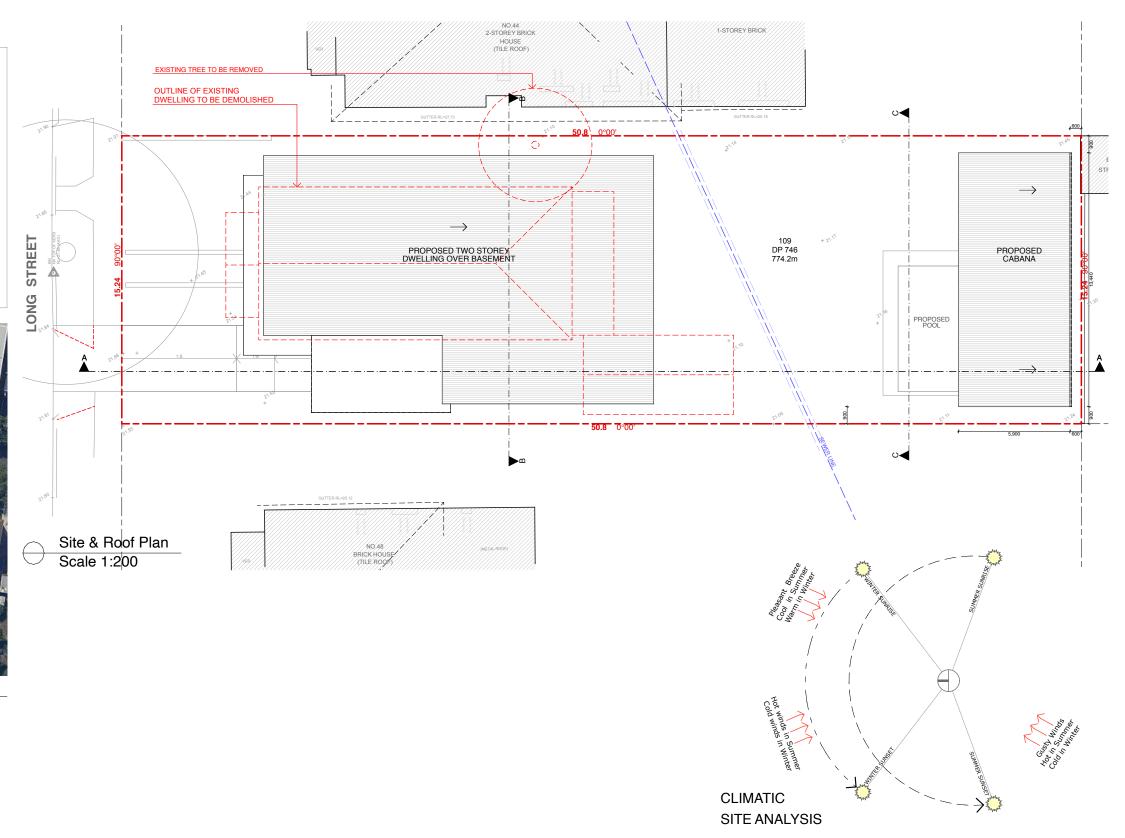
Land Reservation Acquisition
Foreshore Building Line NA

Acid Sulfate Soils Class 5

Airport Noise NA



46 Long St, Strathfield - Location Plan



AS - ALUMINIUM ROOF SHEETING
CT - CONCRETE ROOF TILE
RT - ROOF TILE
BW - FACE BRICK WORK
AR - ACRYLIC RENDER

CR - CEMENT RENDER

OC - OFF FORM CONCRETE
AL - ALUMINIUM

SC - STONE CLADDING

AL - ALUMINIUM
AC - ALUMINIUM CLADDING
FC - FIBRE CEMENT
TC - TIMBER CLADDING

AD - ALUMINIUM DOOR

AW - ALUMINIUM WINDOW

TD - TIMBER DOOR

TW - TIMBER WINDOW

GB - GLASS FRAMED BALUSTRADE

FW - FIXED WINDOW

 $\ensuremath{ \begin{tabular}{ll} \ensuremath{ \begin{tabular}{ll$

(W) - NEW WINDOW (D) - NEW DOOR THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA,
SAA CODES AND RELEVANT BY-LAWS.

THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND
LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.

A PREFERENCE OF DIMENSIONED MEASURMENTS TO BE TAKEN OVER SCALED MEASURMENTS.

DO NOT SCALE OFF DRAWINGS

THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE
PROPERTY OF THE ABOVE NAMED PART THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY
WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.

A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD
FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.

Issue Description Date

A Development Application 04 - 02 - 2022

B C



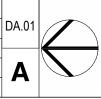
Title: Site & Roof Plan

Project: 46 Long Street, Strathfield, NSW 2135

Client: Mr. Peter Zalloua

Date: 4th February 2022

Scale: 1:200 @ A3



SITE WORKS NOTES

DATUM: REFER SURVEY NOTES
 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK, ANY DISCREPENCIES TO BE REPORTED TO THE ENGINEER/SUPERINTENDENT.

3. STRIP ALL TOPSOIL FROM CONSTRUCTION AREA AND STOCKPILE ON SITE TO BE LATER SPREAD OR REMOVED FROM SITE AS DIRECTED BY THE SUPERINTENDENT.

 4. MAKE SMOOTH CONNECTION WITH EXISTING WORKS.
 5. ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO THE SAME. DENSITY AS THE ADJACENT MATERIAL

6. ALL SERVICES TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACKFILLED WITH SAND OR AN APPROVED GRANULAR MATERIAL AND COMPACTED TO A MINIMUM 98% STANDARD DENSITY, IN ACCORDANCE WITH AS1289 5.1.1.

AS1289 5.1.1.
7. PROVIDE 10mm WIDE EXPANSION JOINTS BETWEEN BUILDINGD AND ALL CONCRETE OR UNIT PAVEMENTS.
8. ASPHALTIC CONCRETE SHALL CONFORM TO RTA FORM 612.
9. ALL BASE COURSE MATERIAL TO COMPLY WITH RTA FORM 3051 (UNBOUND), RTA FORM 3052 (BOUND) COMPACTED TO MINIMUM 98% MODIFIED DENSITY IN ACCORDANCE WITH AS1289 5.2.1. FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1 TEST PER 50m OF BASECOURSE MATERIAL

10. ALL SUB BASE COURSE MATERIAL TO COMPLY WITH RTA FORM 3051 AND COMPACTED TO A MINIMUM 95% MODIFIED DENSITY IN ACCORDANCE WITH AS1289 5.2.1.

AS1289 5.2.1.

11. ALL LINE MARKING TO AS1742.

12. WHERE NOTED ON THE DRAWINGS THAT WORKS ARE TO BE CARRIED OU BY OTHERS, (ADJUSTMENT SERVICES), THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CO-ORDINATION OF THESE WORKS.

SURVEY NOTES

THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY C.V FORSHAW CONSULTING LAND AND ENGINEERING SURVEYORS, BEING REGISTERED SURVEYORS. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. ARCH MEDIA SOLUTIONS DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OF ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS.

EROSION AND SEDIMENT CONTROL NOTES

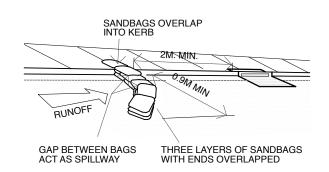
1. ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH:

A. LOCAL AUTHORITY REQUIREMENTS
B. EPA REQUIREMENTS
C. NSW DEPERTMENT OF HOUSING MANUAL
"MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION," 3rd EDITION,

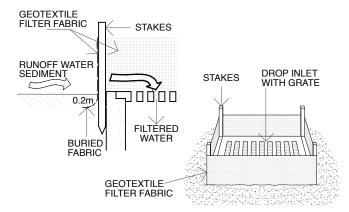
AUGUST 1998. 2. MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
3. WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SILT FENCES ARE ERECTED AROUND PITS.

4. CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENTATION CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.

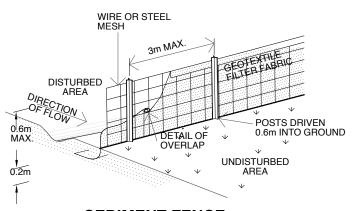
1-STOREY BRICK **OUTLINE OF EXISTING** SITE ENTRY NO.46 BRICK HOUSE (TILE ROOF) TO BE DEMOLISHED 109 DP 746 774.2m STRE LONG Demolition & Erosion Sediment Control Plan Scale 1:200



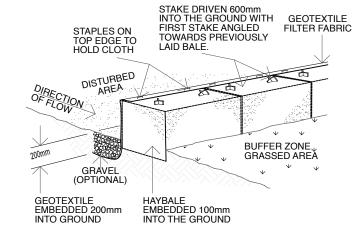








SEDIMENT FENCE



STRAW BALE AND GEOTEXTILE SEDIMENT FILTER

AS - ALUMINIUM ROOF SHEET
CT - CONCRETE ROOF TILE
RT - ROOF TILE
BW - FACE BRICK WORK
AR - ACRYLIC RENDER
CR - CEMENT RENDER

OC - OFF FORM CONCRETE

FC - FIBRE CEMENT

SC - STONE CLADDING

AL - ALUMINIUM AC - ALUMINIUM CLADDING

TD - TIMBER DOOR TC - TIMBER CLADDING

TW - TIMBER WINDOW FW - FIXED WINDOW

GB - GLASS FRAMED BALUSTRADE

AD - ALUMINIUM DOOR

AW - ALUMINIUM WINDOW

M - MECHANICAL VENTILATION S - SMOKE ALARM

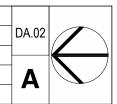
W - NEW WINDOW D - NEW DOOR

THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS. THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK. PREFERENCE OF DIMENSIONED MEASURMENTS TO BE TAKEN OVER SCALED MEASURMENT DO NOT SCALE OFF DRAWINGS THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART, THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.

Issue Description Date 04 - 02 - 2022 A Development Application В С A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.

BLUPRINT DESIGNS
Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 m: 0410 504 589 - o: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au

Title:	Demolition & Erosion Sediment Control Plan	
Project:	46 Long Street, Strathfield, NSW 2135	DA
Client:	Mr. Peter Zalloua	
Date:	4th February 2022	L
Scale:	1:200 @ A3	



BASIX Certificate

Single Dwelling

Certificate number: 1276323S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_18_5 Certificate No.: 1276323S

Secretary
Date of issue: Wednesday, 09 February 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	46 Long St, Strathfie	eld
Street address	46 Long Street Stra	thfield 2135
Local Government Area	Strathfield Municipa	l Council
Plan type and plan number	deposited 746	
Lot no.	109	
Section no.	-	
Project type	separate dwelling he	ouse
No. of bedrooms	5	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 57	Target 50

Certificate Prepared by
Name / Company Name: Greenworld Architectural Drafting
ARN (if applicable): 70203070543

Description of project

Project address				
46 Long St, Strathfield				
46 Long Street Strathfield 2135				
Strathfield Municipal Council				
Deposited Plan 746				
109				
-				
separate dwelling house				
5				
774				
278				
399.0				
12.0				
326				

Addeddor Humber	DIVITO/1700	
Certificate number	0007027105	
Climate zone	56	
Area adjusted cooling load (MJ/m².year)	26	
Area adjusted heating load (MJ/m².year)	42	
Ceiling fan in at least one bedroom	No	
Ceiling fan in at least one living room or other conditioned area	Yes	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
		Target 50

Legend In these commitments, "applicant" means the person carrying out the development. Commitments identified with a in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be loaded for the proposed development).
Commitments identified with a 💓 in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a
development application is to be louged for the proposed development).
Commitments identified with a w in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued.

Schedule of BASIX commitments

The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. The applicant must install taps with a minimum rating of 4 star in the development. The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development. Alternative water Rainwater tank The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rains to any stormwater tank or private dam). The applicant must connect the rainwater tank to: • all toilets in the development • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) • at tap that is located within 10 metres of the swimming pool in the development Swimming pool The swimming pool must not have a volume greater than 35 kilolities.	Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. The applicant must install taps with a minimum rating of 4 star in the kitchen in the development. The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development. Alternative water Rainvater tank The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rain runoff from at least 120 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). The applicant must connect the rainwater tank to: all toilets in the development at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) at least one outdoor tap in the development of the swimming pool in the development Swimming pool The swimming pool must not have a volume greater than 35 kilolitres.	Fixtures			
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development. The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development. Alternative water Rainwater tank The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rain unoff from at least 120 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). The applicant must connect the rainwater tank to: all tollets in the development at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) The swimming pool The swimming pool must not have a volume greater than 35 kilolitres.	The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		~	~
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The swimming gool must not have a volume greater than 35 kilolitres.	a tap that is located within 10 metres of the swimming pool in the development		•	-
The swimming pool must not have a volume greater than 35 kilolitres.	Swimming pool			
	The swimming pool must not have a volume greater than 35 kilolitres.	J		
The swimming pool must have a pool cover.	The swimming pool must have a pool cover.	•	•	+

Water Commitments	Show DA pla	v on lans	Show on CC/CDC plans & specs	Certifier check
The swimming pool must be outdoors.	•		~	
			-	-

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specificate those specifications.	~	~	~
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		~	~
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or certificate (or expense) grained per plant and the plant application of the locations of ceiling fans set out in the Assessor Certificate.	~	~	~
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.		~	-

	,
Floor and wall construction	Area
floor - suspended floor/open subfloor	All or part of floor area square metres
floor - suspended floor above garage	All or part of floor area

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certific check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas nstantaneous with a performance of 5 stars.	~	~	~
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: airconditioning ducting only; Energy rating: n/a		~	-
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning ducting only; Energy rating: n/a		V	-
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: airconditioning ducting only; Energy rating: n/a		~	-
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning ducting only; Energy rating: n/a		~	-
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		•	•
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		•	-
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		•	-
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the ollowing rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or gift emitting doid (LED) lamps:			
at least 5 of the bedrooms / study; dedicated			
at least 3 of the living / dining rooms; dedicated		Š	ľ
the kitchen; dedicated			

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AS - ALUMINIUM ROOF SHEET
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Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_18_5

AD - ALUMINIUM DOOR AW - ALUMINIUM WINDOW TD - TIMBER DOOR TW - TIMBER WINDOW

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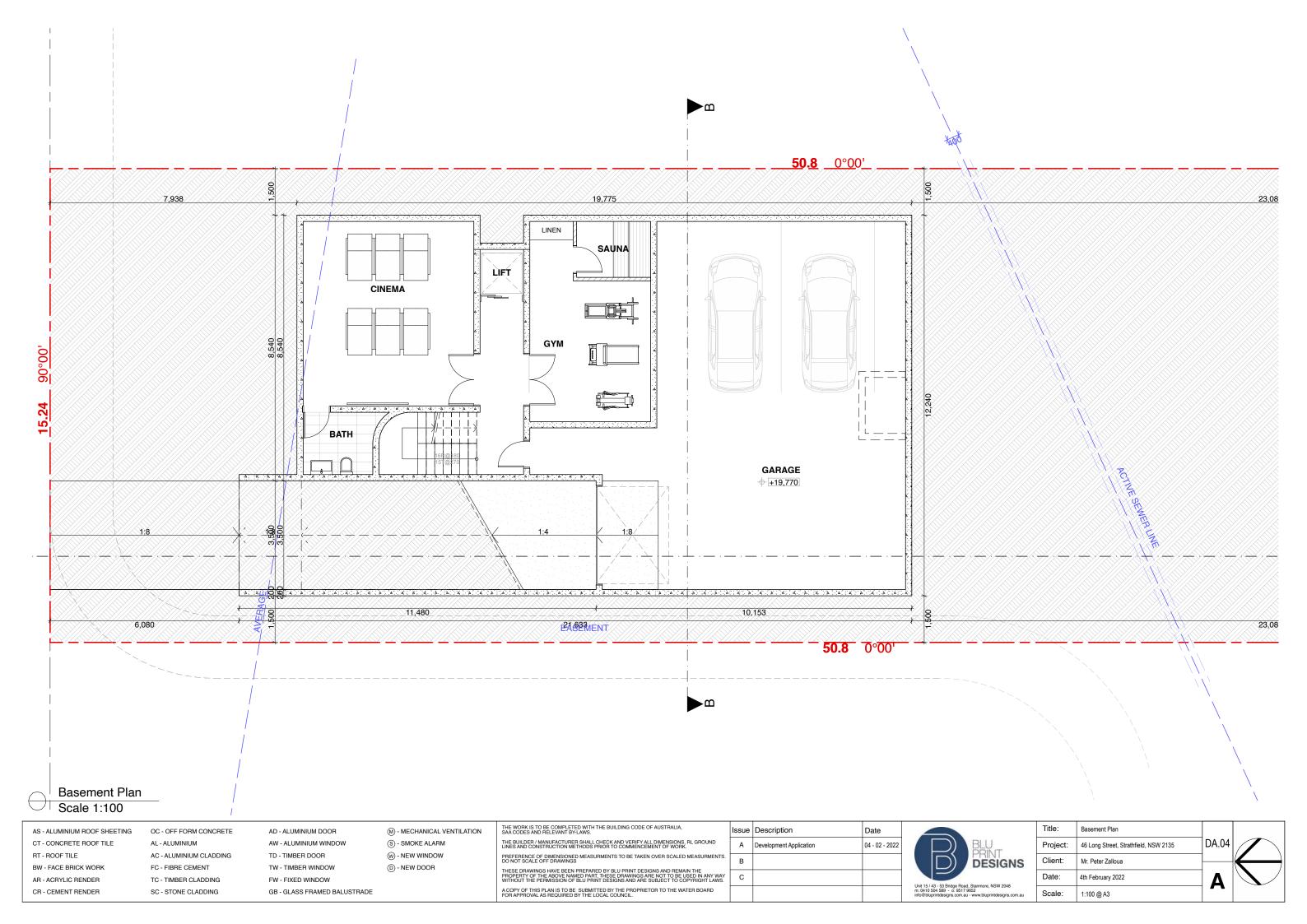
M - MECHANICAL VENTILATION S - SMOKE ALARM W - NEW WINDOW D - NEW DOOR

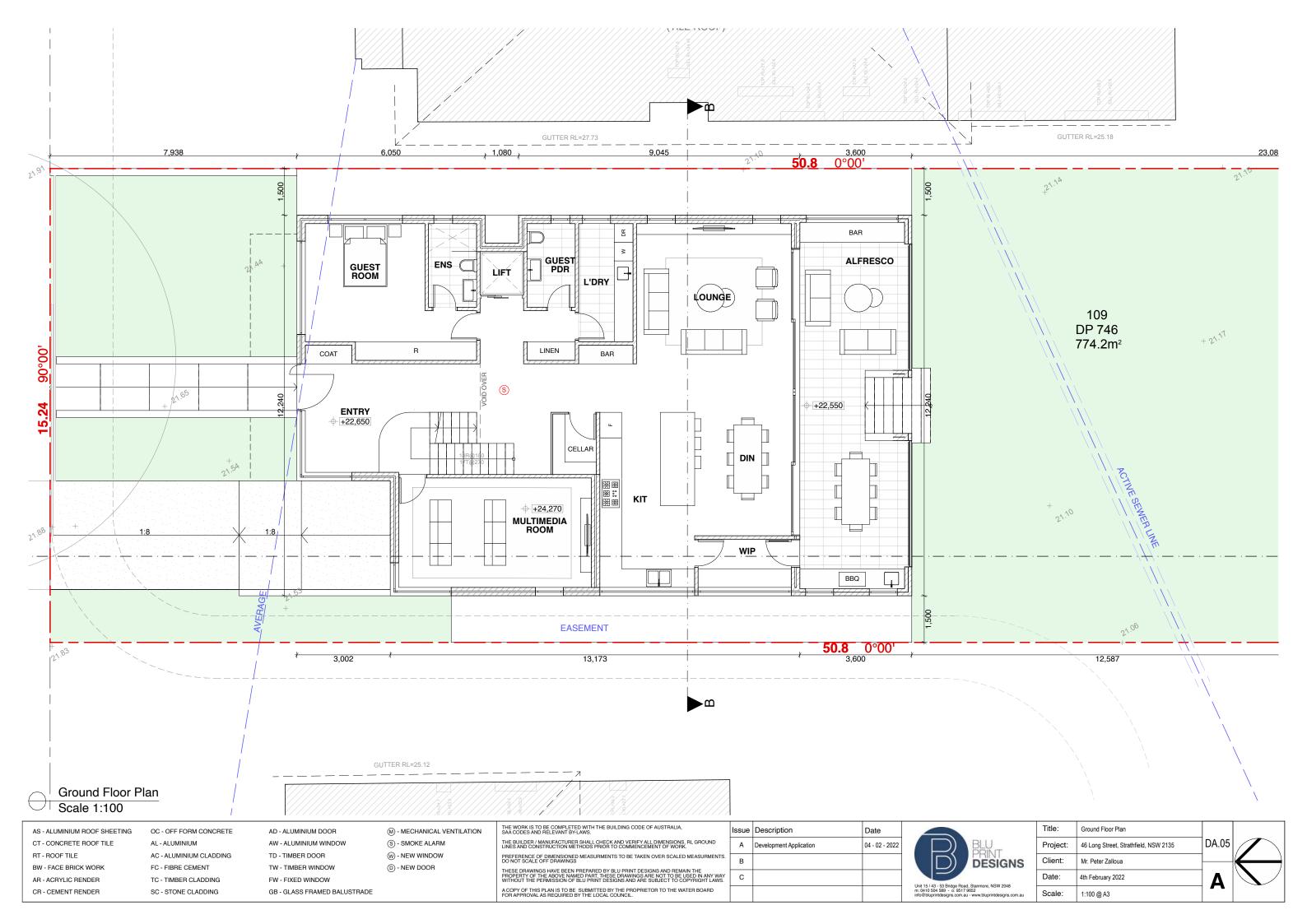
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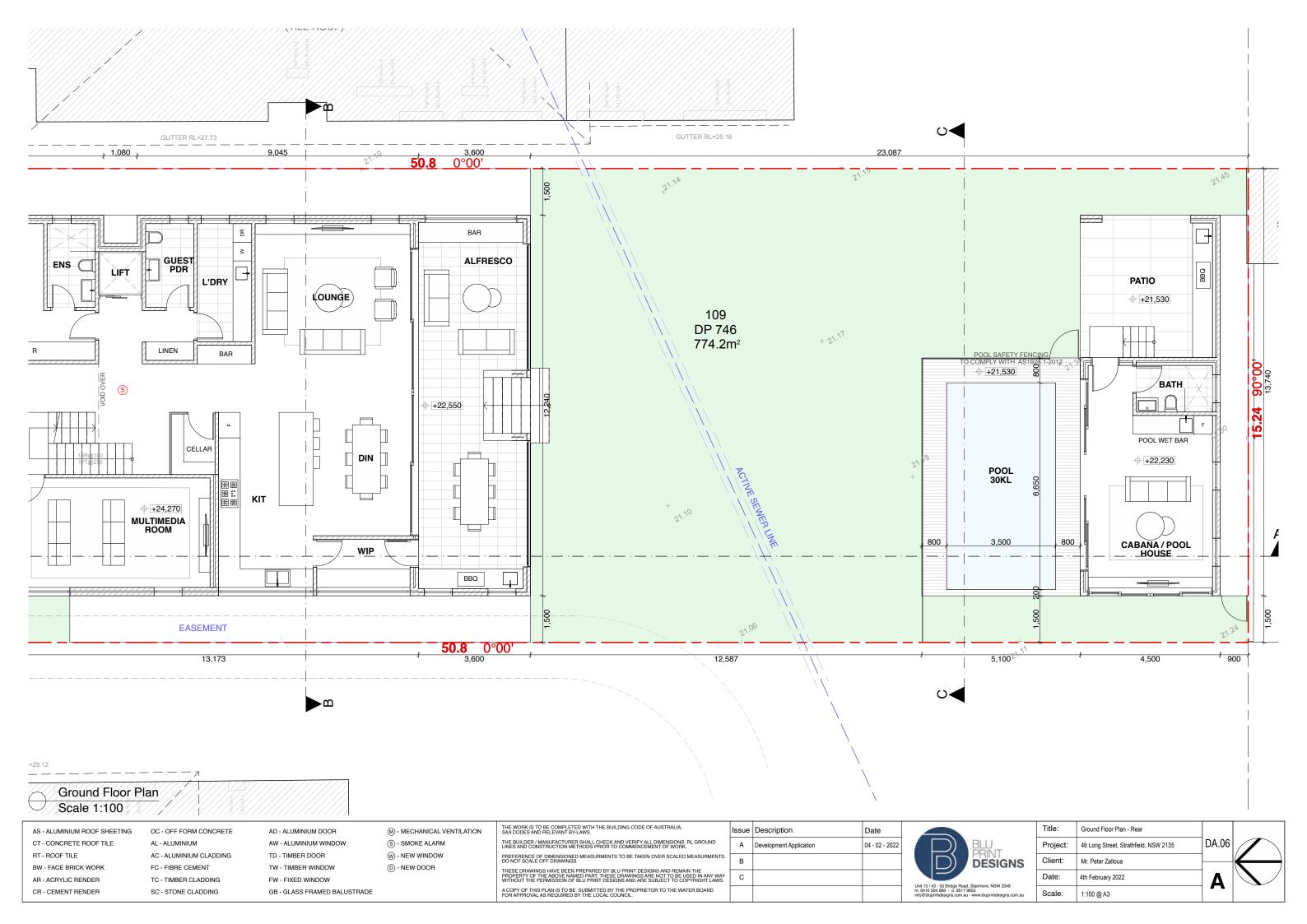
Issue Description Date 04 - 02 - 2022 A Development Application В С

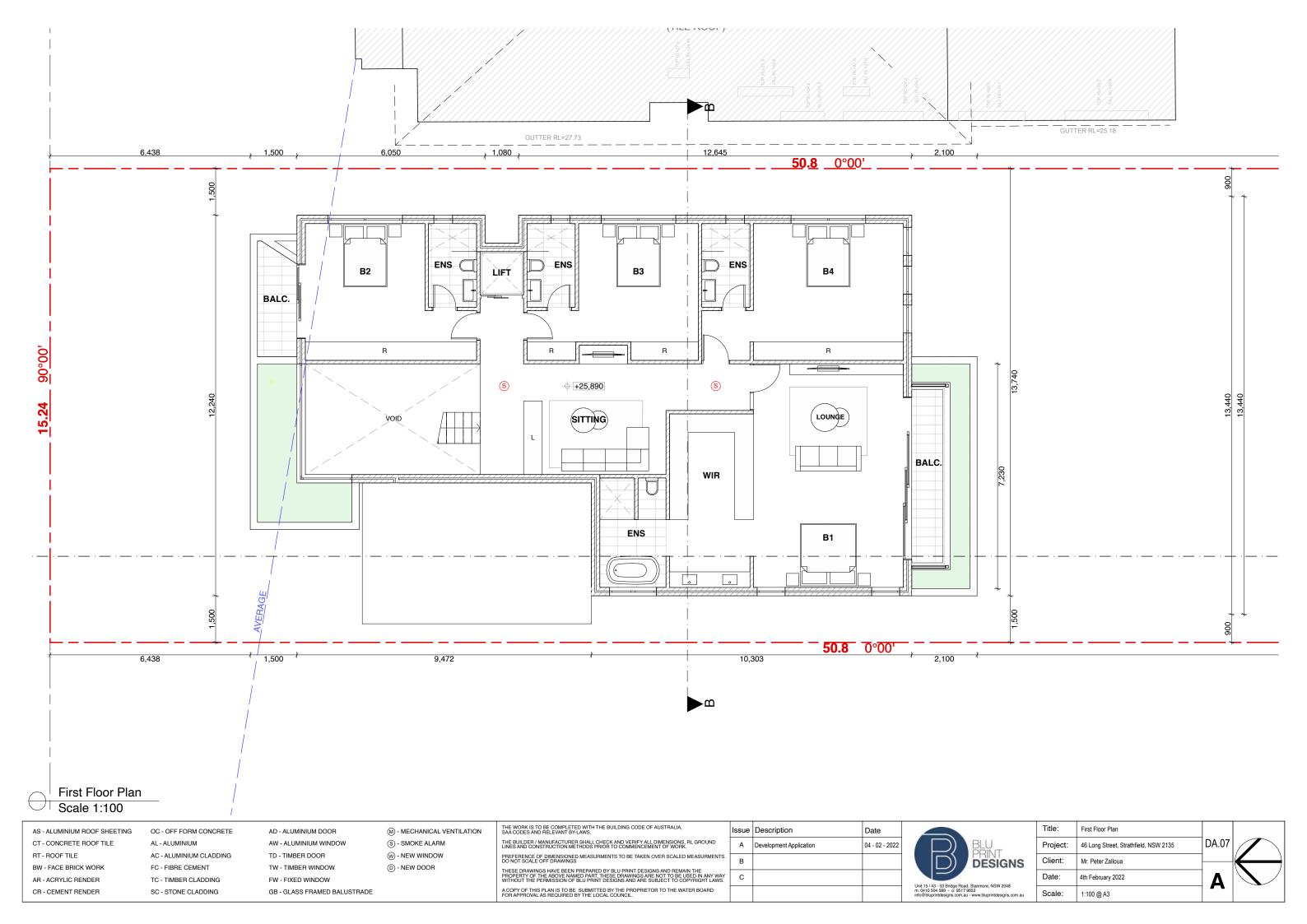
	Title:	BASIX Notes & Na
BLU	Project:	46 Long Street, Str
DESIGNS	Client:	Mr. Peter Zalloua
Initial Land Constitution of the Constitution	Date:	4th February 2022
Jnit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 n: 0410 504 589 - 0: 9517 9652 nfo@bluggistdesigns.com au www.bluggistdesigns.com au	Scale:	NTS

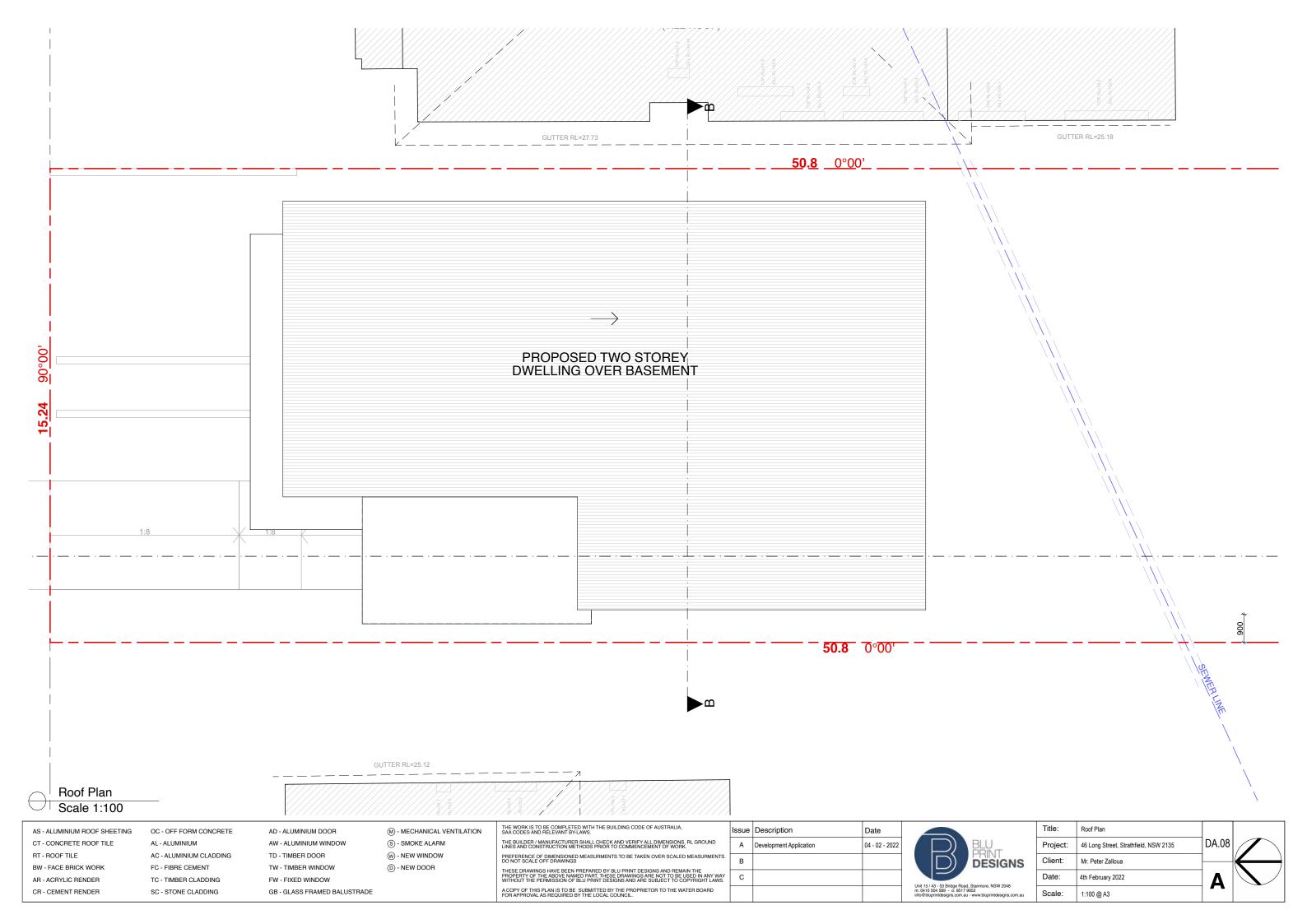
Title:	BASIX Notes & NatHERS Specs Summary		
Project:	46 Long Street, Strathfield, NSW 2135	DA.03	
Client:	Mr. Peter Zalloua		
Date:	4th February 2022	Δ	
Scale:	NTS		

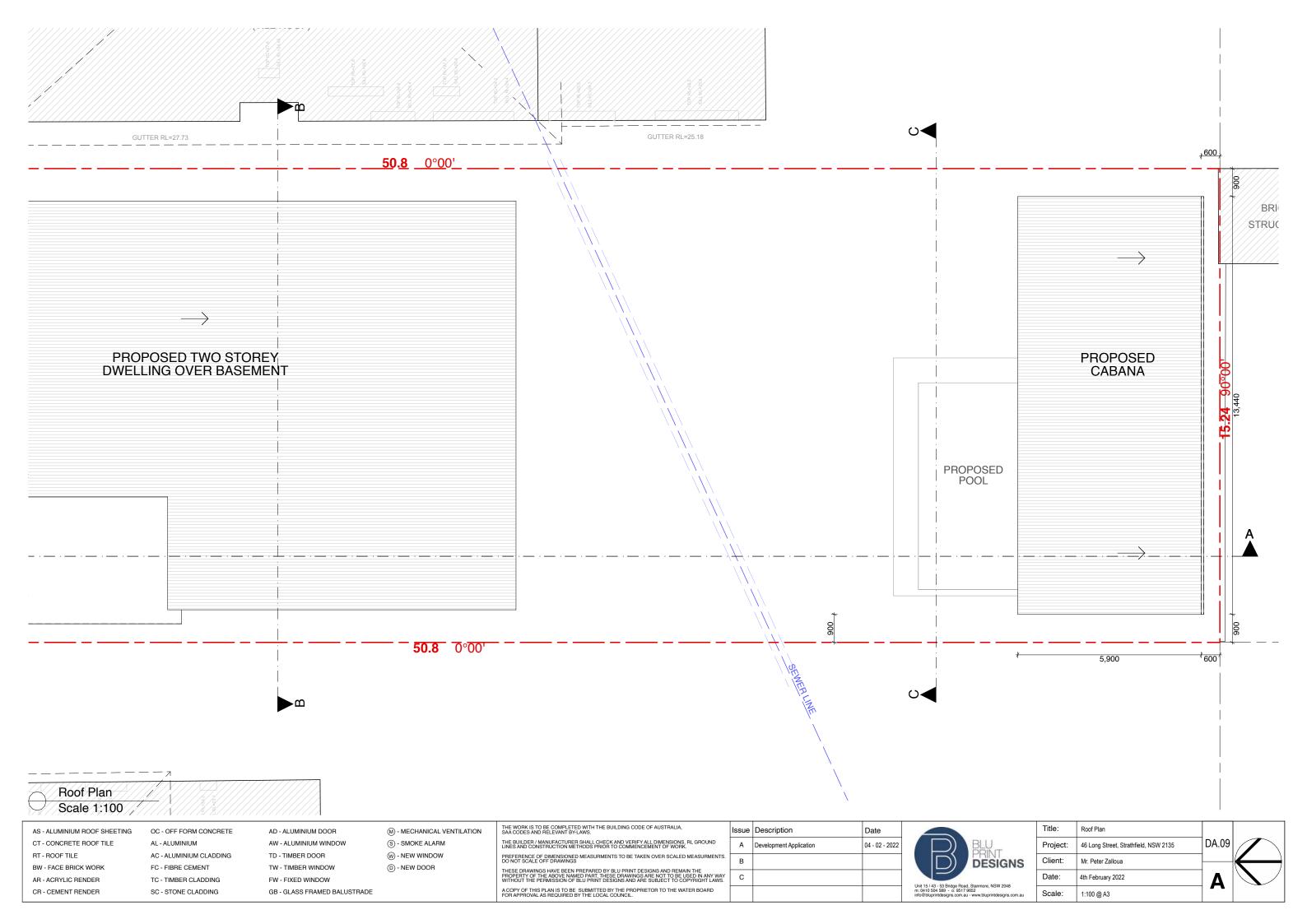












CALCULATIONS

Site Area	774.2 m2
Existing FSR	161.0 m2 = 0.21 : 1

Permited / Required

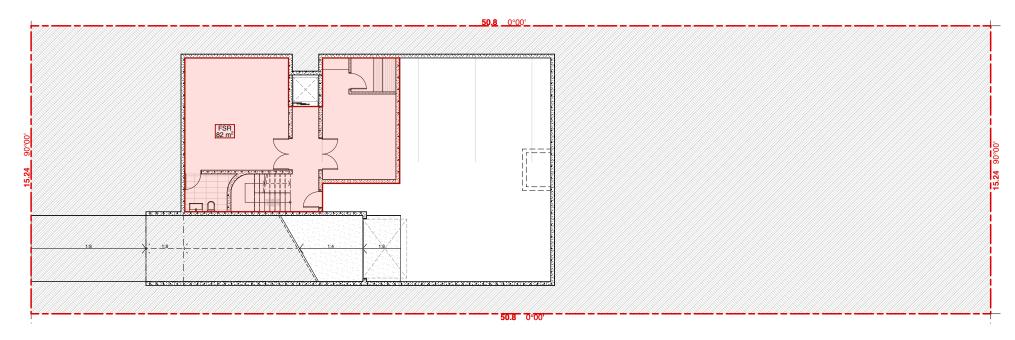
FSR	449.0 m2 = 0.58 : 1
LANDSCAPE	332.9 m2 = 43% of Site Area

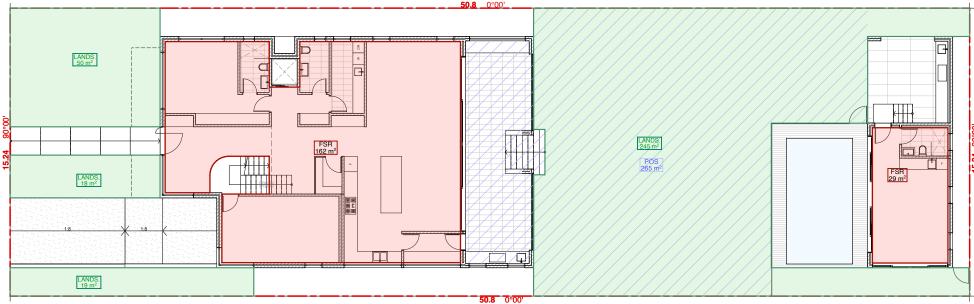
Proposed

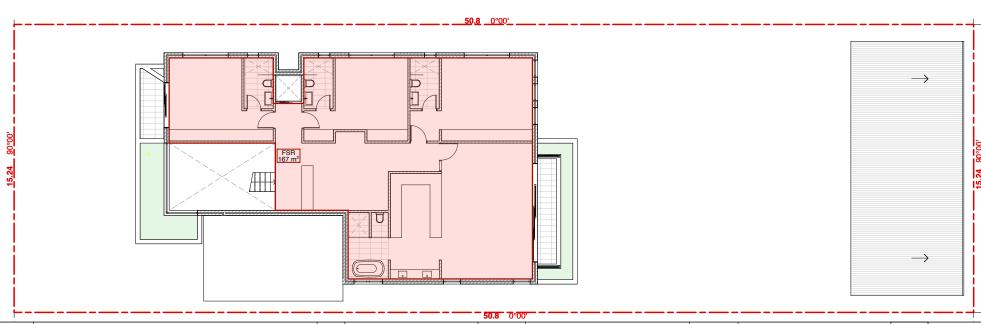
FSR	439.12 m2
LANDSCAPE	332.44 m2

Calculation Plan - BF Scale 1:200

> Calculation Plan - GF Scale 1:200







Calculation Plan - FF Scale 1:200

AS - ALUMINIUM ROOF SHEETING CT - CONCRETE ROOF TILE RT - ROOF TILE

BW - FACE BRICK WORK

AR - ACRYLIC RENDER

CR - CEMENT RENDER

AL - ALUMINIUM AC - ALUMINIUM CLADDING

OC - OFF FORM CONCRETE

FC - FIBRE CEMENT TC - TIMBER CLADDING SC - STONE CLADDING

AD - ALUMINIUM DOOR

TD - TIMBER DOOR

FW - FIXED WINDOW

TW - TIMBER WINDOW

GB - GLASS FRAMED BALUSTRADE

AW - ALUMINIUM WINDOW

M - MECHANICAL VENTILATION ③ - SMOKE ALARM

W - NEW WINDOW D - NEW DOOR

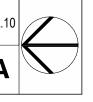
THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS. THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.

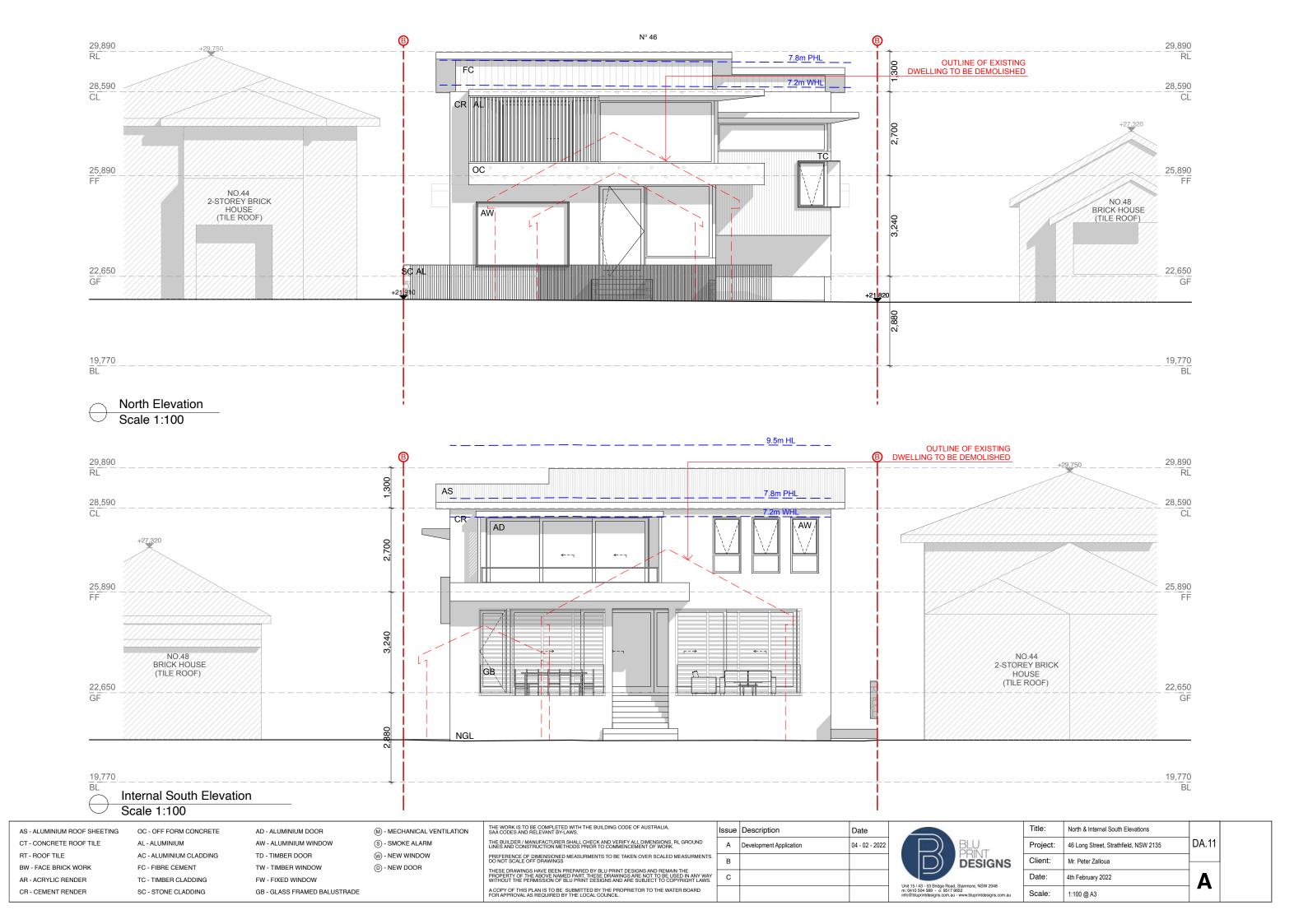
A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.

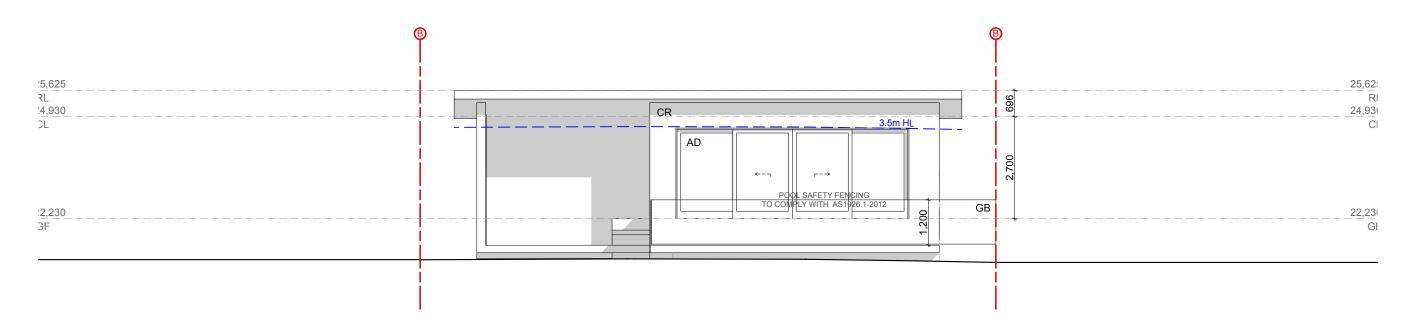
Issue Description Date A Development Application 04 - 02 - 2022 В



Calculation Plans 46 Long Street, Strathfield, NSW 2135 DA.10 Project: Client: Mr. Peter Zalloua Date: 4th February 2022 1:200 @ A3







Internal North Elevation Scale 1:100



Scale 1:100

AS - ALUMINIUM ROOF SHEETING	
CT - CONCRETE ROOF TILE	
RT - ROOF TILE	
BW - FACE BRICK WORK	
AD ACRYLIC DENDER	

CR - CEMENT RENDER

OC - OFF FORM CONCRETE AL - ALUMINIUM AC - ALUMINIUM CLADDING

FC - FIBRE CEMENT

TC - TIMBER CLADDING

SC - STONE CLADDING

AD - ALUMINIUM DOOR AW - ALUMINIUM WINDOW $\ensuremath{\mathsf{TD}}$ - $\ensuremath{\mathsf{TIMBER}}$ DOOR

GB - GLASS FRAMED BALUSTRADE

TW - TIMBER WINDOW

FW - FIXED WINDOW

M - MECHANICAL VENTILATION ③ - SMOKE ALARM W - NEW WINDOW

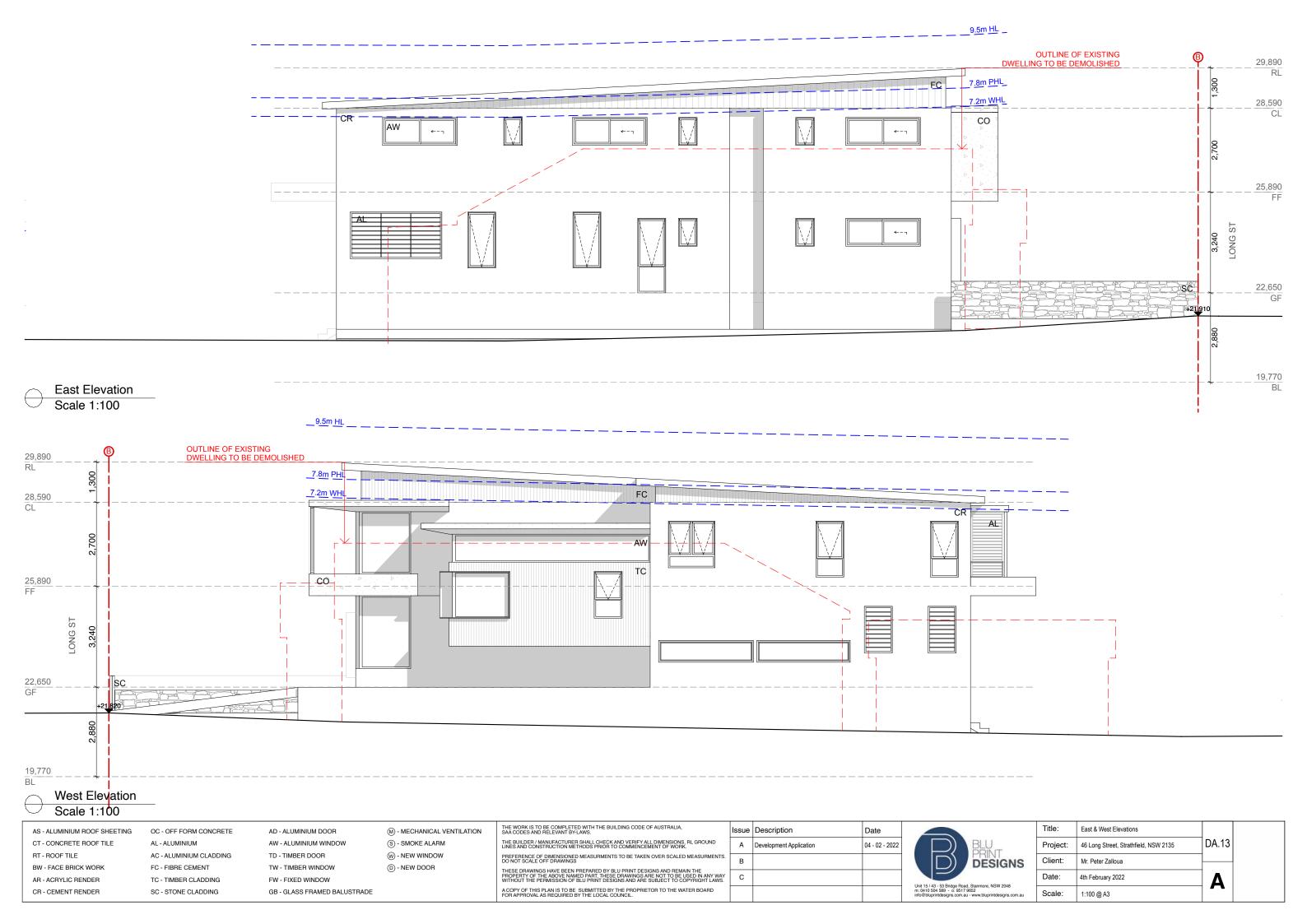
D - NEW DOOR

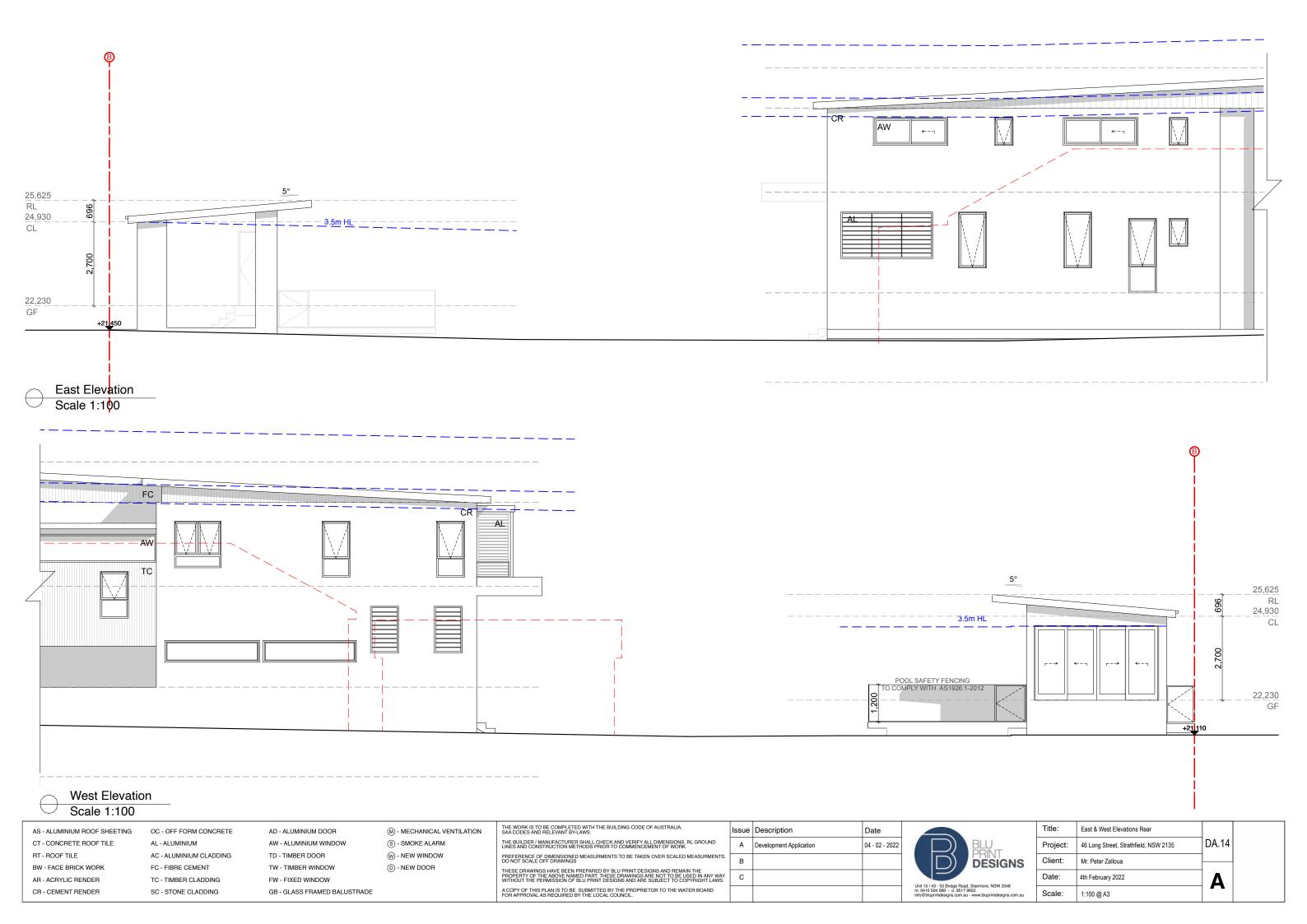
THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS. THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK. PREFERENCE OF DIMENSIONED MEASURMENTS TO BE TAKEN OVER SCALED MEASURMENTS DO NOT SCALE OFF DRAWINGS THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART, THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.

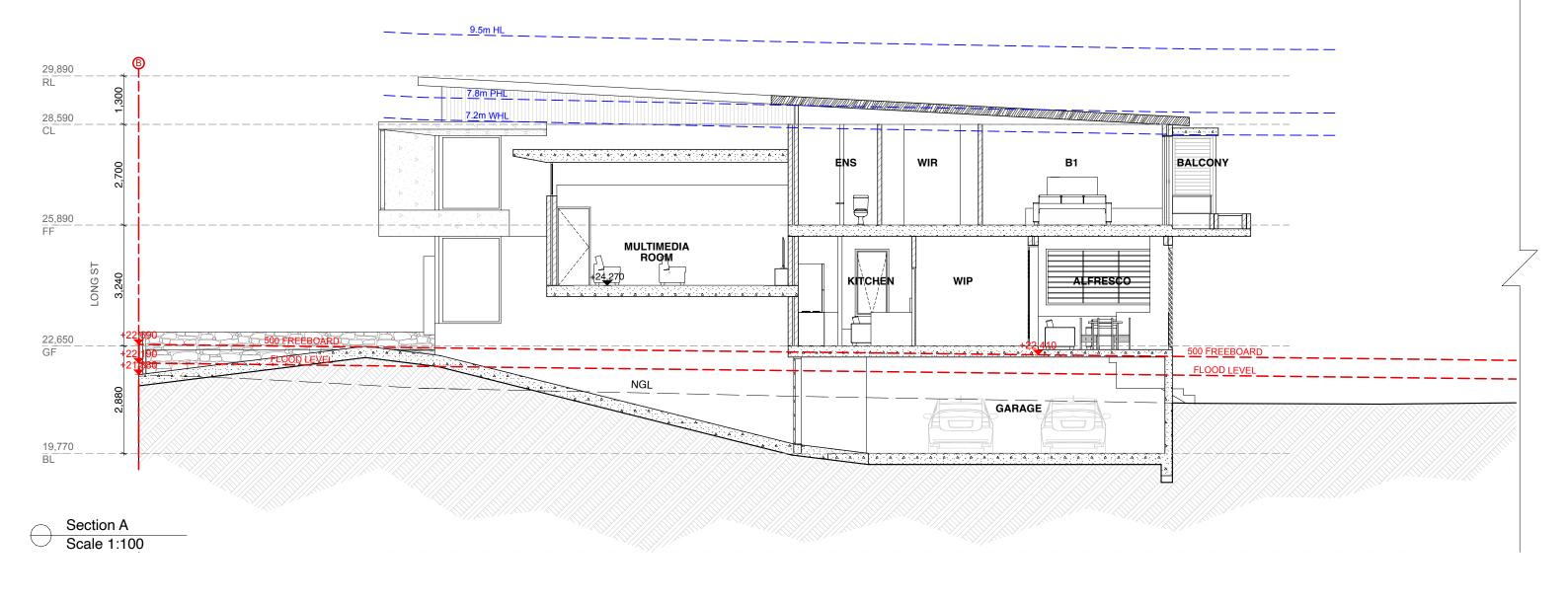
A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.

Issue Description Date A Development Application 04 - 02 - 2022 В С

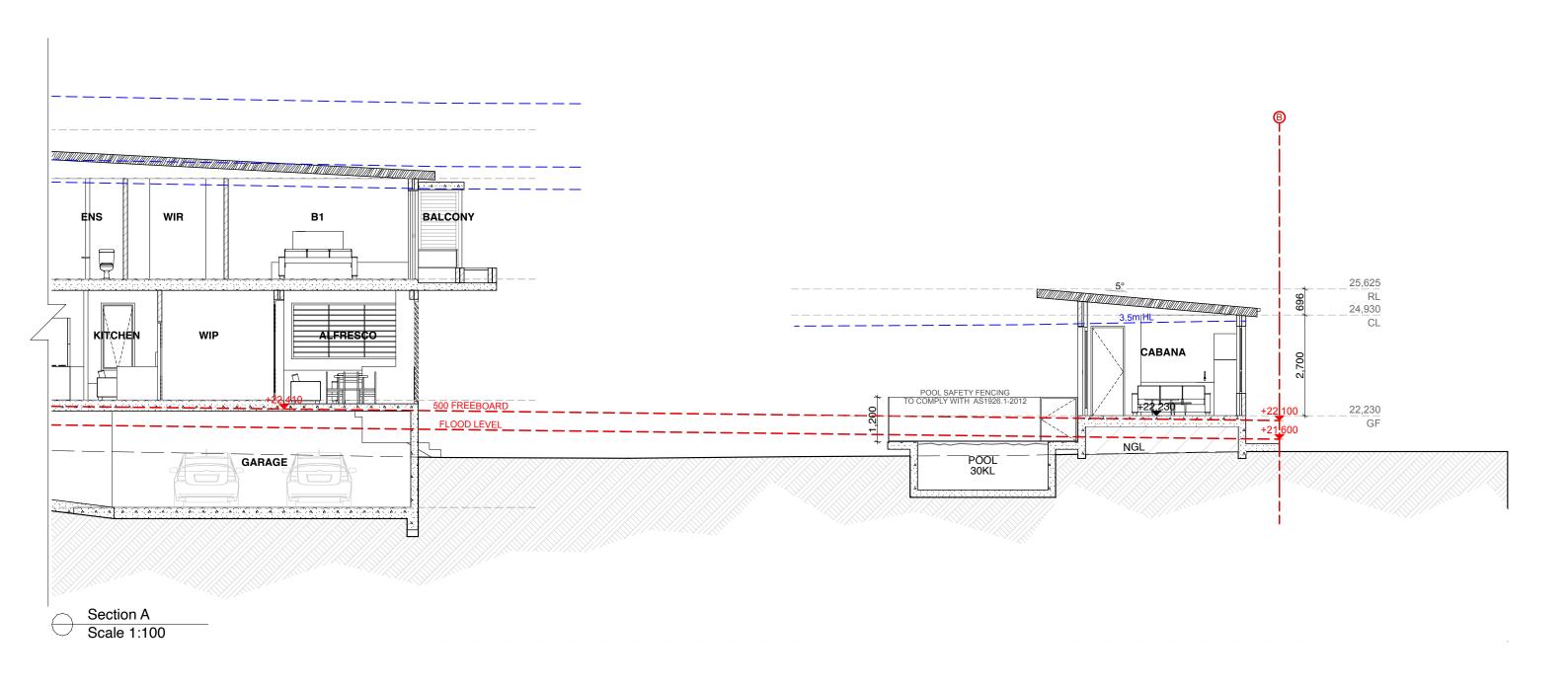
	Title:	South & Internal North Elevations	
BLU	Project:	46 Long Street, Strathfield, NSW 2135	DA
DESIGNS	Client:	Mr. Peter Zalloua	
0. NOW 00.10	Date:	4th February 2022	L
, Stanmore, NSW 2048 9652	Scale:	1:100 @ A3	1 -





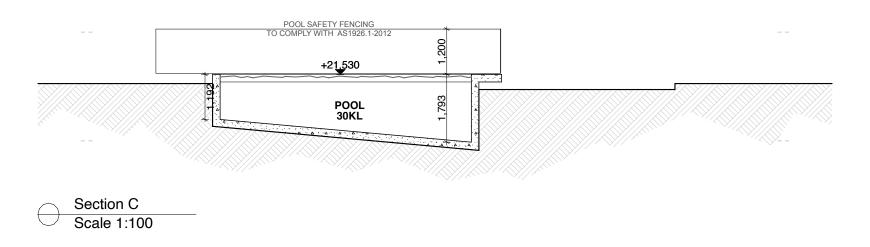


AS - ALUMINIUM ROOF SHEETING	OC - OFF FORM CONCRETE	AD - ALUMINIUM DOOR	M - MECHANICAL VENTILATION	THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.	Issue	Description	Date		Title:	Sections		
CT - CONCRETE ROOF TILE	AL - ALUMINIUM	AW - ALUMINIUM WINDOW	S - SMOKE ALARM	THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.	Α	Development Application	04 - 02 - 2022	BLU_	Project:	46 Long Street, Strathfield, NSW 2135	DA.15	
RT - ROOF TILE	AC - ALUMINIUM CLADDING	TD - TIMBER DOOR	W - NEW WINDOW	PREFERENCE OF DIMENSIONED MEASURMENTS TO BE TAKEN OVER SCALED MEASURMENTS. DO NOT SCALE OFF DRAWINGS	В			PRINT	Client:	Mr. Peter Zalloua		
BW - FACE BRICK WORK	FC - FIBRE CEMENT	TW - TIMBER WINDOW	D - NEW DOOR	THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY.	<u> </u>			DESIGNS	D .			
AR - ACRYLIC RENDER	TC - TIMBER CLADDING	FW - FIXED WINDOW		WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.	С			Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048	Date:	4th February 2022	$oldsymbol{A}$	
CR - CEMENT RENDER	SC - STONE CLADDING	GB - GLASS FRAMED BALUSTRADE		A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.				m: 0410 504 589 - o: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au	Scale:	1:100 @ A3	, * 	
I .					1	1		I .	1	1		



THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS. Sections Issue Description AS - ALUMINIUM ROOF SHEETING OC - OFF FORM CONCRETE AD - ALUMINIUM DOOR M - MECHANICAL VENTILATION CT - CONCRETE ROOF TILE AL - ALUMINIUM AW - ALUMINIUM WINDOW S - SMOKE ALARM THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK. 04 - 02 - 2022 46 Long Street, Strathfield, NSW 2135 A Development Application Project: PREFERENCE OF DIMENSIONED MEASURMENTS TO BE TAKEN OVER SCALED MEASURMENTS DO NOT SCALE OFF DRAWINGS RT - ROOF TILE AC - ALUMINIUM CLADDING TD - TIMBER DOOR W - NEW WINDOW В Client: Mr. Peter Zalloua **DESIGNS** D - NEW DOOR BW - FACE BRICK WORK FC - FIBRE CEMENT TW - TIMBER WINDOW THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART, THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS. С Date: 4th February 2022 AR - ACRYLIC RENDER TC - TIMBER CLADDING FW - FIXED WINDOW A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL. SC - STONE CLADDING CR - CEMENT RENDER GB - GLASS FRAMED BALUSTRADE Scale: 1:100 @ A3

29,890 RL 29,890 RL 28,590 28,590 В3 WIR 25,890 FF 25,890 FF LOUNGE DINNER WIP 22,650 GF 22,650 GF GARAGE NGL 19,770 BL 19,770 Section B



Scale 1:100

THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS. Sections M - MECHANICAL VENTILATION Issue Description Date AS - ALUMINIUM ROOF SHEETING OC - OFF FORM CONCRETE AD - ALUMINIUM DOOR ③ - SMOKE ALARM CT - CONCRETE ROOF TILE AL - ALUMINIUM AW - ALUMINIUM WINDOW THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK. A Development Application 04 - 02 - 2022 Project: 46 Long Street, Strathfield, NSW 2135 PREFERENCE OF DIMENSIONED MEASURMENTS TO BE TAKEN OVER SCALED MEASURMENTS DO NOT SCALE OFF DRAWINGS W - NEW WINDOW RT - ROOF TILE AC - ALUMINIUM CLADDING TD - TIMBER DOOR В Client: Mr. Peter Zalloua **DESIGNS** BW - FACE BRICK WORK FC - FIBRE CEMENT D - NEW DOOR TW - TIMBER WINDOW THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART, THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS. С Date: 4th February 2022 AR - ACRYLIC RENDER TC - TIMBER CLADDING FW - FIXED WINDOW A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL. GB - GLASS FRAMED BALUSTRADE CR - CEMENT RENDER SC - STONE CLADDING Scale: 1:100 @ A3



AS - ALUMINIUM ROOF SHEETING CT - CONCRETE ROOF TILE

RT - ROOF TILE

BW - FACE BRICK WORK AR - ACRYLIC RENDER CR - CEMENT RENDER

OC - OFF FORM CONCRETE

AL - ALUMINIUM

AC - ALUMINIUM CLADDING

FC - FIBRE CEMENT

TC - TIMBER CLADDING SC - STONE CLADDING

AD - ALUMINIUM DOOR

AW - ALUMINIUM WINDOW

TD - TIMBER DOOR

TW - TIMBER WINDOW FW - FIXED WINDOW

GB - GLASS FRAMED BALUSTRADE

M - MECHANICAL VENTILATION

③ - SMOKE ALARM W - NEW WINDOW

D - NEW DOOR

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Issue Description Date A Development Application 04 - 02 - 2022 В С

DESIGNS

Perspective Project: DA.18 46 Long Street, Strathfield, NSW 2135 Client: Mr. Peter Zalloua Date: 4th February 2022 Scale: NTS



Corrugated Roof Sheeting Dulux Colorbond - Shale Grey



Fascia, Gutters & Down Pipes - Steel Dulux Colorbond - Shale Grey



Cement Render Dulux - Natural White



Front Balcony Off Form Concrete Finish



FC Cladding Boral Scyon Axon Smooth 133 Dulux Colorbond - Monument



Timber Board Cladding. Shiplap Profile Mounted



Front Fence walls Sandstone Clad



Doors & Windows - Aluminium / Steel Powder Coat - Black

AS - ALUMINIUM ROOF SHEETING CT - CONCRETE ROOF TILE

CR - CEMENT RENDER

OC - OFF FORM CONCRETE AL - ALUMINIUM

RT - ROOF TILE AC - ALUMINIUM CLADDING BW - FACE BRICK WORK FC - FIBRE CEMENT AR - ACRYLIC RENDER

TC - TIMBER CLADDING SC - STONE CLADDING

AD - ALUMINIUM DOOR AW - ALUMINIUM WINDOW

TD - TIMBER DOOR

FW - FIXED WINDOW

TW - TIMBER WINDOW

GB - GLASS FRAMED BALUSTRADE

M - MECHANICAL VENTILATION

③ - SMOKE ALARM

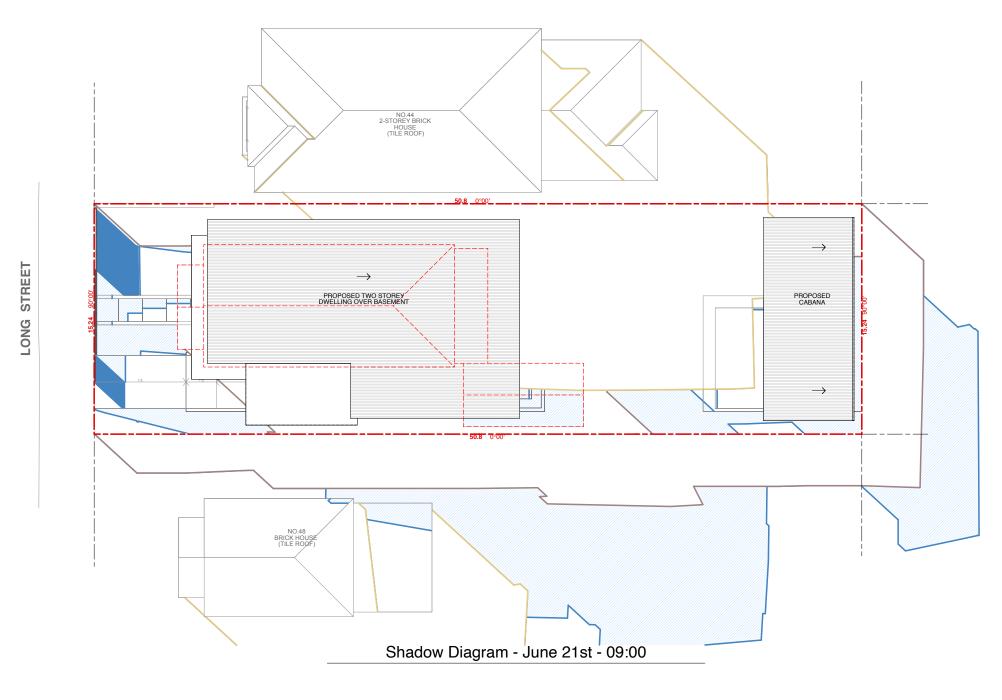
W - NEW WINDOW ① - NEW DOOR

THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.

Issue Description Date A Development Application 04 - 02 - 20 В

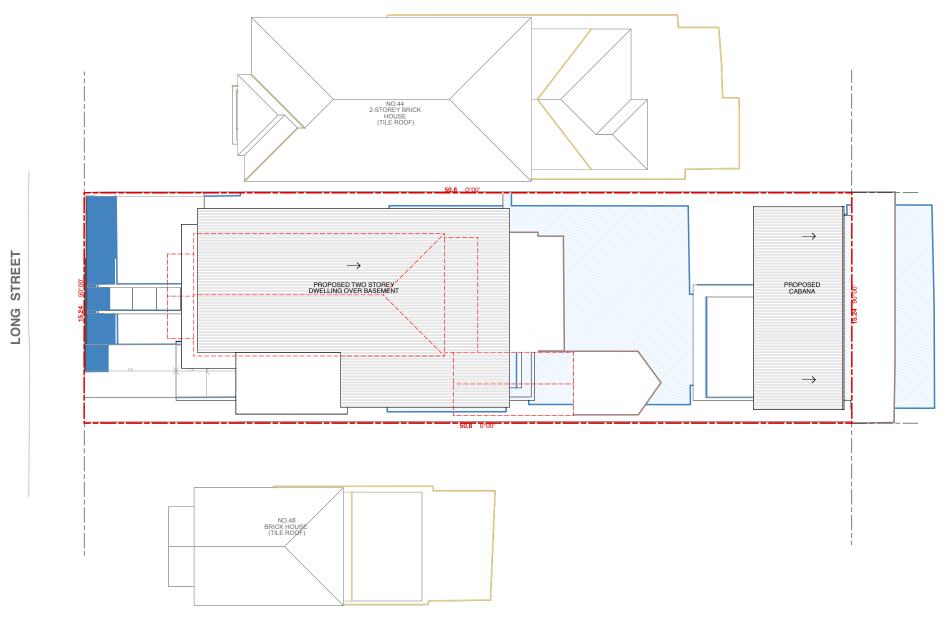
2022	BLUPRINT DESIGNS
	Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 m: 0410 504 589 - 0: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au

Title:	Material Sample Board		
Project:	46 Long Street, Strathfield, NSW 2135	DA.19	
Client:	Mr. Peter Zalloua		
Date:	4th February 2022	Δ	
Scale:	NTS		

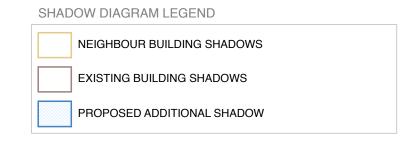


NEIGHBOUR BUILDING SHADOWS EXISTING BUILDING SHADOWS PROPOSED ADDITIONAL SHADOW

AS - ALUMINIUM ROOF SHEETING	OC - OFF FORM CONCRETE	AD - ALUMINIUM DOOR	M - MECHANICAL VENTILATION	THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.	Issue	Description	Date		Title:	Shadows Diagrams June 21st		ĺ
CT - CONCRETE ROOF TILE	AL - ALUMINIUM	AW - ALUMINIUM WINDOW	S - SMOKE ALARM	THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.	Α	Development Application	04 - 02 - 2022	BLU	Project:	46 Long Street, Strathfield, NSW 2135	DA.20	
RT - ROOF TILE	AC - ALUMINIUM CLADDING	TD - TIMBER DOOR	W - NEW WINDOW	PREFERENCE OF DIMENSIONED MEASURMENTS TO BE TAKEN OVER SCALED MEASURMENTS. DO NOT SCALE OFF DRAWINGS				PRINT	Client:	Mr. Peter Zalloua		
BW - FACE BRICK WORK	FC - FIBRE CEMENT	TW - TIMBER WINDOW	(D) - NEW DOOR	THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE				DESIGNS	Ollerit.	IVII. Feter Zalioua		
AR - ACRYLIC RENDER	TC - TIMBER CLADDING	FW - FIXED WINDOW		PROPERTY OF THE ABOVE NAMED PART, THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.	С			Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048	Date:	4th February 2022	Δ	
CR - CEMENT RENDER	SC - STONE CLADDING	GB - GLASS FRAMED BALUSTRADE		A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.				m: 0410 504 589 - o: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au	Scale:	1:250 @ A3		



Shadow Diagram - June 21st - 12:00



AS - ALUMINIUM ROOF SHEETING
CT - CONCRETE ROOF TILE
RT - ROOF TILE
BW - FACE BRICK WORK

AR - ACRYLIC RENDER

CR - CEMENT RENDER

OC - OFF FORM CONCRETE
AL - ALUMINIUM

AC - ALUMINIUM CLADDING
FC - FIBRE CEMENT
TC - TIMBER CLADDING
SC - STONE CLADDING

AD - ALUMINIUM DOOR AW - ALUMINIUM WINDOW

TD - TIMBER DOOR
TW - TIMBER WINDOW

GB - GLASS FRAMED BALUSTRADE

FW - FIXED WINDOW

M - MECHANICAL VENTILATIONS - SMOKE ALARMW - NEW WINDOW

D - NEW DOOR

THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.

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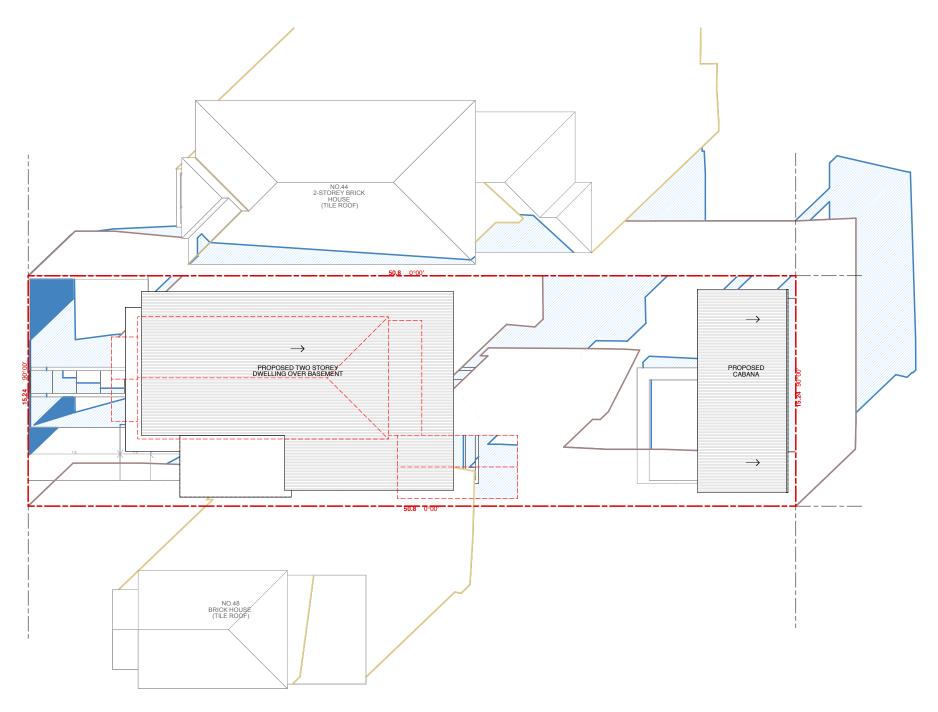
PREFERENCE OF DIMENSIONED MEASURMENTS TO BE TAKEN OVER SCALED MEASURMENTS DO NOT SCALE OFF DRAWINGS

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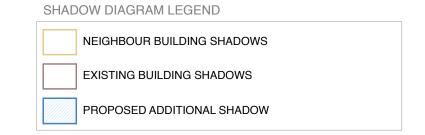
A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.



Title:	Shadows Diagrams June 21st	
Project:	46 Long Street, Strathfield, NSW 2135	DA
Client:	Mr. Peter Zalloua	
Date:	4th February 2022	1
Scale:	1:250 @ A3	



Shadow Diagram - June 21st - 15:00



AS - ALUMINIUM ROOF SHEETING
CT - CONCRETE ROOF TILE
RT - ROOF TILE
BW - FACE BRICK WORK

AR - ACRYLIC RENDER

CR - CEMENT RENDER

OC - OFF FORM CONCRETE
AL - ALUMINIUM

AC - ALUMINIUM CLADDING
FC - FIBRE CEMENT
TC - TIMBER CLADDING

SC - STONE CLADDING

AW - ALUMINIUM WINDOW
TD - TIMBER DOOR
TW - TIMBER WINDOW
FW - FIXED WINDOW

AD - ALUMINIUM DOOR

GB - GLASS FRAMED BALUSTRADE

M - MECHANICAL VENTILATION
S - SMOKE ALARM

W - NEW WINDOW

D - NEW DOOR

THE BUILDER, MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.

PREFERENCE OF DIMENSIONED MEASURMENTS TO BE TAKEN OVER SCALED MEASURMENTS DO NOT SCALE OFF DRAWINGS

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THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.

 Issue
 Description
 Date

 A
 Development Application
 04 - 02 - 2022

 B
 C



Title:	Title: Shadows Diagrams June 21st	
Project:	46 Long Street, Strathfield, NSW 2135	DA.2
Client:	Mr. Peter Zalloua	
Date:	4th February 2022	Δ
Scale:	1:250 @ A3	