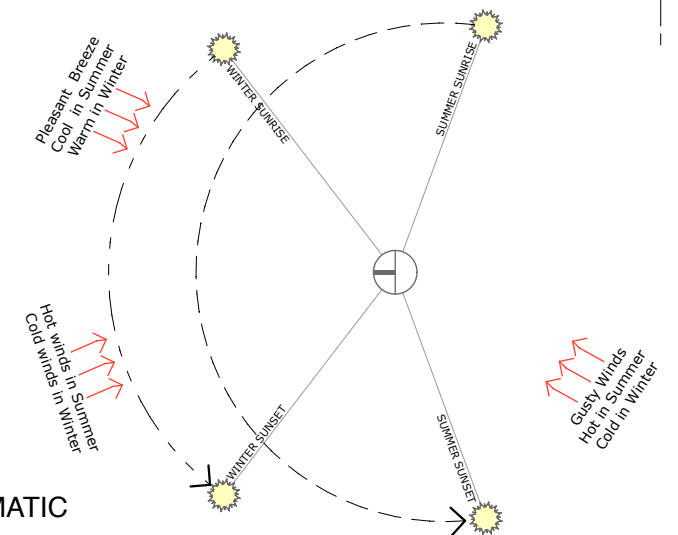
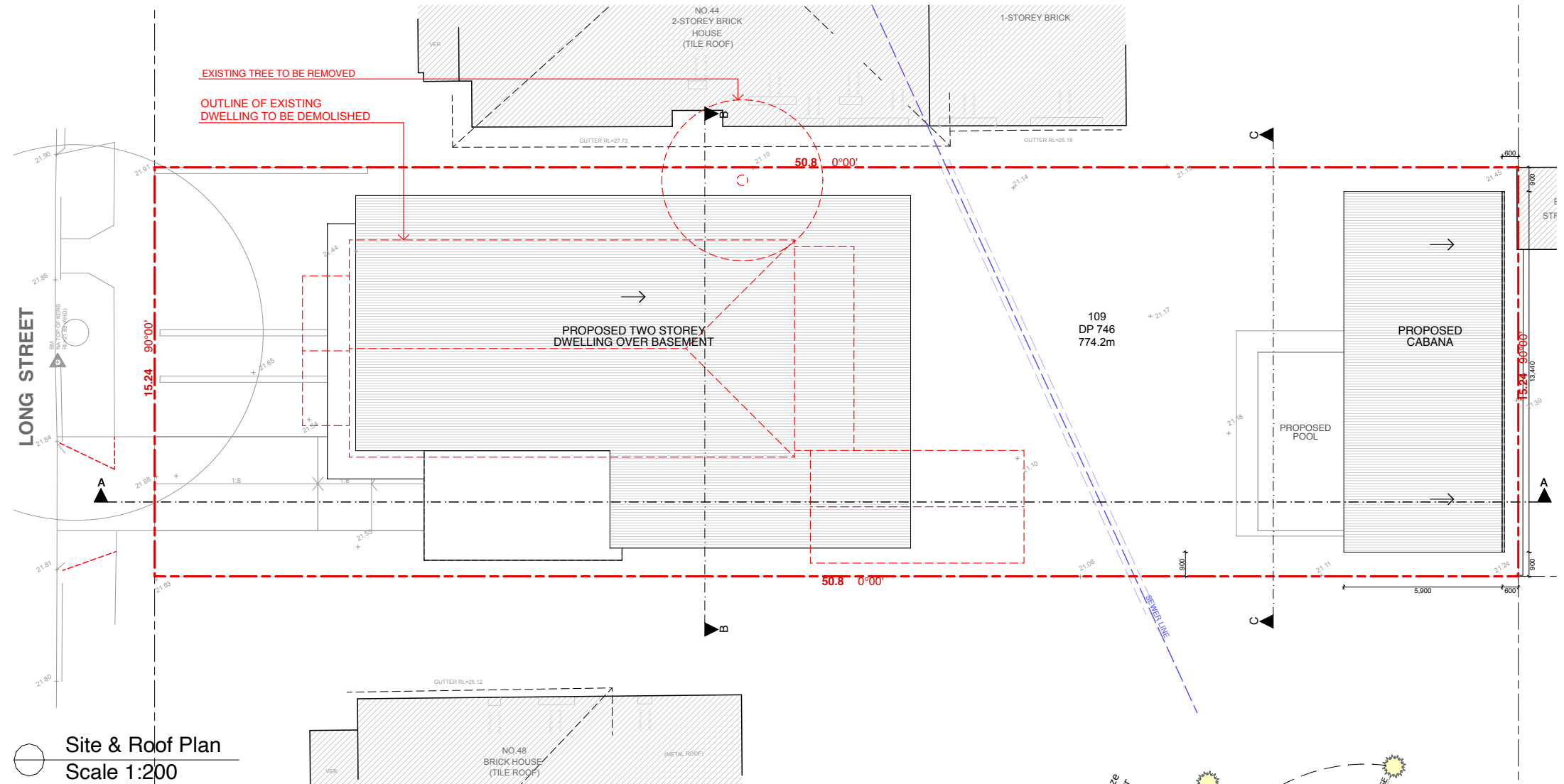


Property Address	46 Long St, Strathfield NSW 2135
Title Reference	109-/DP746
Site Area	774.2 m2
Council	STRATHFIELD MUNICIPAL COUNCIL



Land Zoning	R2 - Low Density Residential
Height	J - 9.5 m
FSR	0.58:1
Min. Lot Size	K - 560 m2
Heritage	NA
Land Reservation Acquisition	NA
Foreshore Building Line	NA
Acid Sulfate Soils	Class 5
Airport Noise	NA

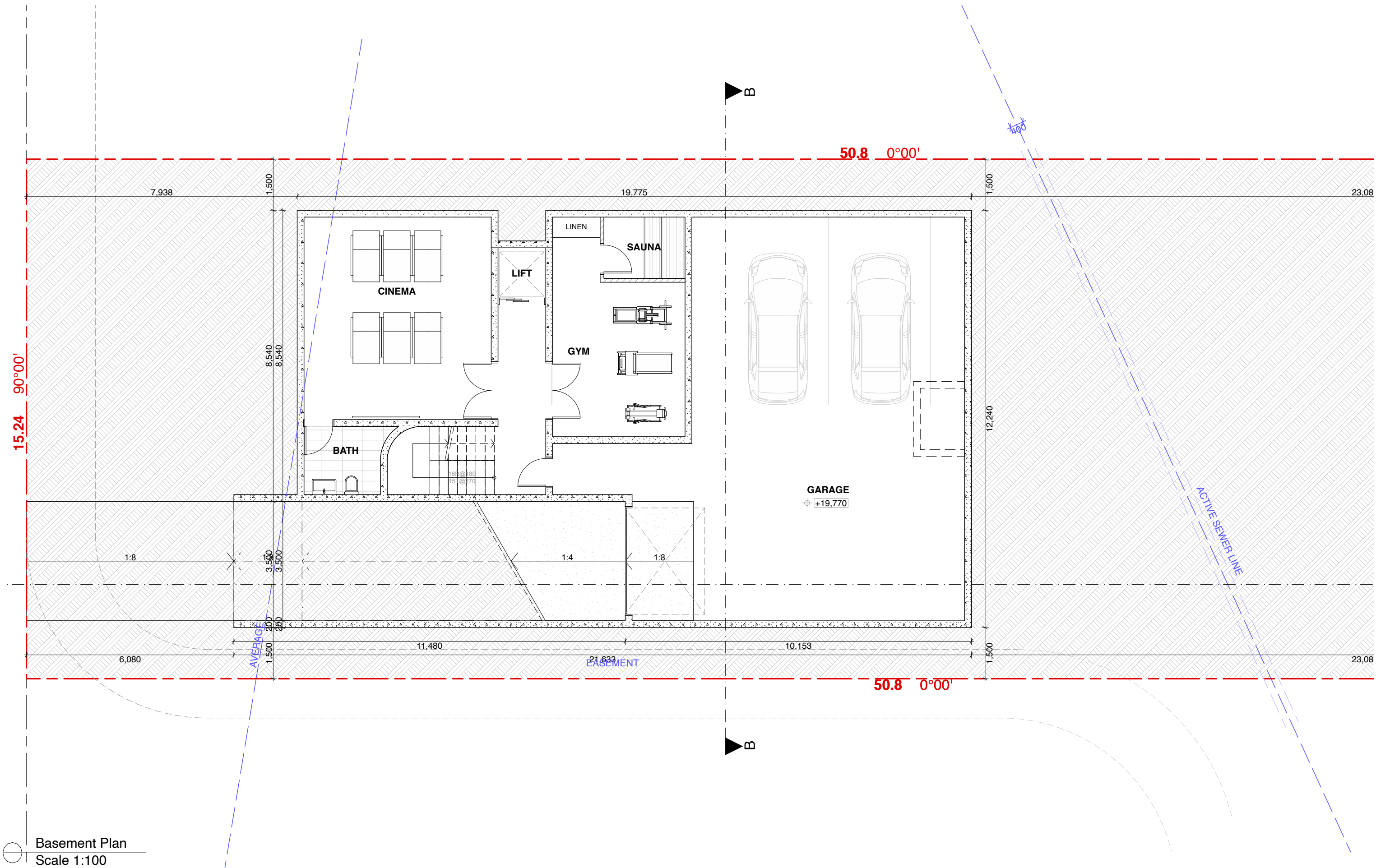


46 Long St, Strathfield - Location Plan

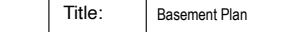



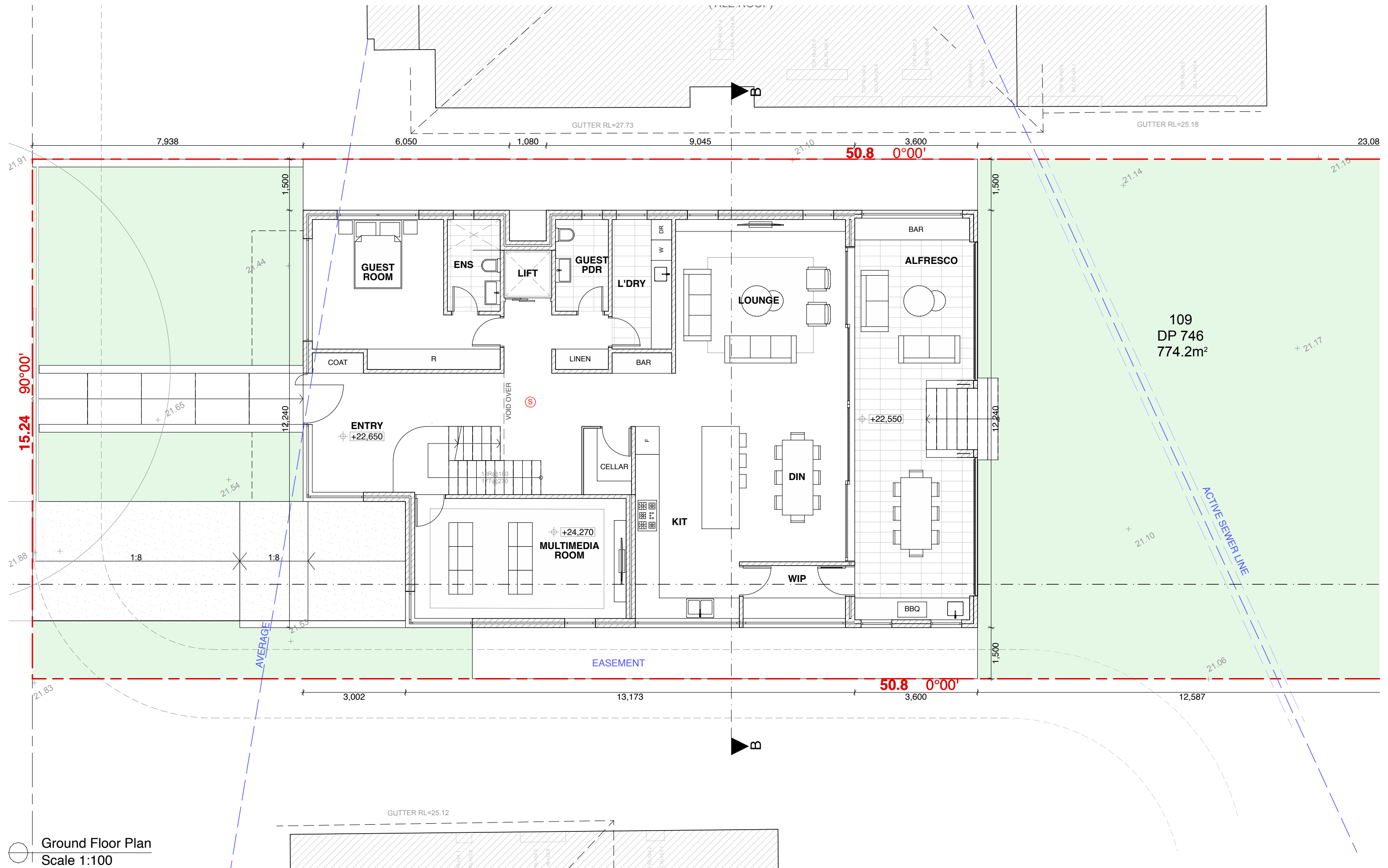
CLIMATIC SITE ANALYSIS

AS - ALUMINIUM ROOF SHEETING	OC - OFF FORM CONCRETE	AD - ALUMINIUM DOOR	(M) - MECHANICAL VENTILATION	<p>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</p> <p>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</p> <p>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS</p> <p>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</p> <p>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</p>	Issue	Description	Date	<div><p>Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 m: 0410 504 589 - o: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</p></div>	Title:	Site & Roof Plan	DA.01	
CT - CONCRETE ROOF TILE	AL - ALUMINIUM	AW - ALUMINIUM WINDOW	(S) - SMOKE ALARM		A	Development Application	04 - 02 - 2022		Project:	46 Long Street, Strathfield, NSW 2135		
RT - ROOF TILE	AC - ALUMINIUM CLADDING	TD - TIMBER DOOR	(W) - NEW WINDOW		B				Client:	Mr. Peter Zalloua		
BW - FACE BRICK WORK	FC - FIBRE CEMENT	TW - TIMBER WINDOW	(D) - NEW DOOR		C				Date:	4th February 2022		
AR - ACRYLIC RENDER	TC - TIMBER CLADDING	FW - FIXED WINDOW							Scale:	1:200 @A3		
CR - CEMENT RENDER	SC - STONE CLADDING	GB - GLASS FRAMED BALUSTRADE										





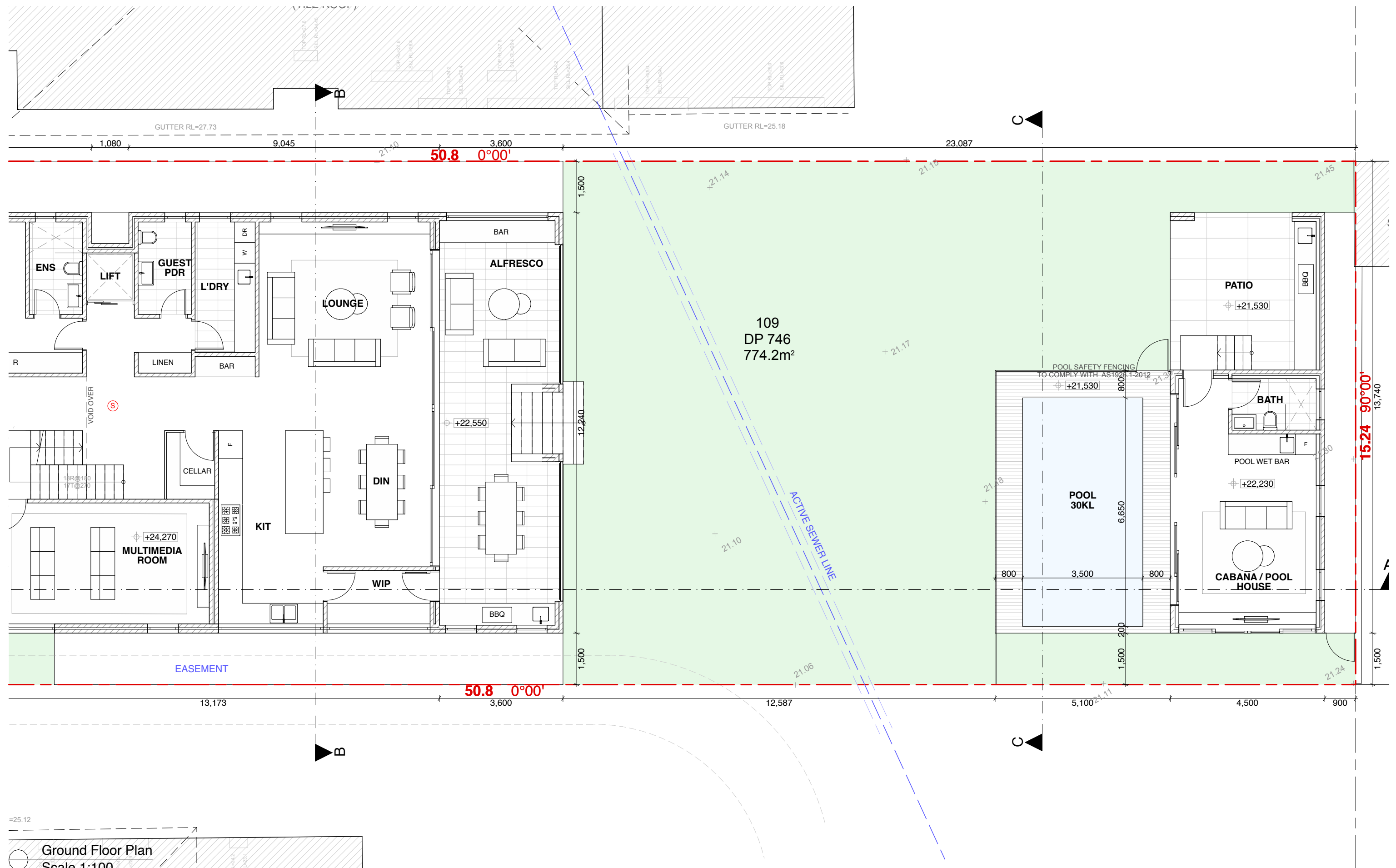
Basement Plan
Scale 1:100



AS - ALUMINIUM ROOF SHEETING	OC - OFF FORM CONCRETE	AD - ALUMINIUM DOOR	Ⓜ - MECHANICAL VENTILATION	<p>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</p> <p>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</p> <p>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS</p> <p>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</p> <p>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</p>	Issue	Description	Date	<div><p>Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 m: 0410 504 589 - o: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</p></div>	Title:	Basement Plan	DA.04	
CT - CONCRETE ROOF TILE	AL - ALUMINIUM	AW - ALUMINIUM WINDOW	Ⓢ - SMOKE ALARM		A	Development Application	04 - 02 - 2022		Project:	46 Long Street, Strathfield, NSW 2135		
RT - ROOF TILE	AC - ALUMINIUM CLADDING	TD - TIMBER DOOR	Ⓦ - NEW WINDOW		B				Client:	Mr. Peter Zalloua		
BW - FACE BRICK WORK	FC - FIBRE CEMENT	TW - TIMBER WINDOW	ⓓ - NEW DOOR		C				Date:	4th February 2022		
AR - ACRYLIC RENDER	TC - TIMBER CLADDING	FW - FIXED WINDOW									A	
CR - CEMENT RENDER	SC - STONE CLADDING	GB - GLASS FRAMED BALUSTRADE							Scale:	1:100 @ A3		

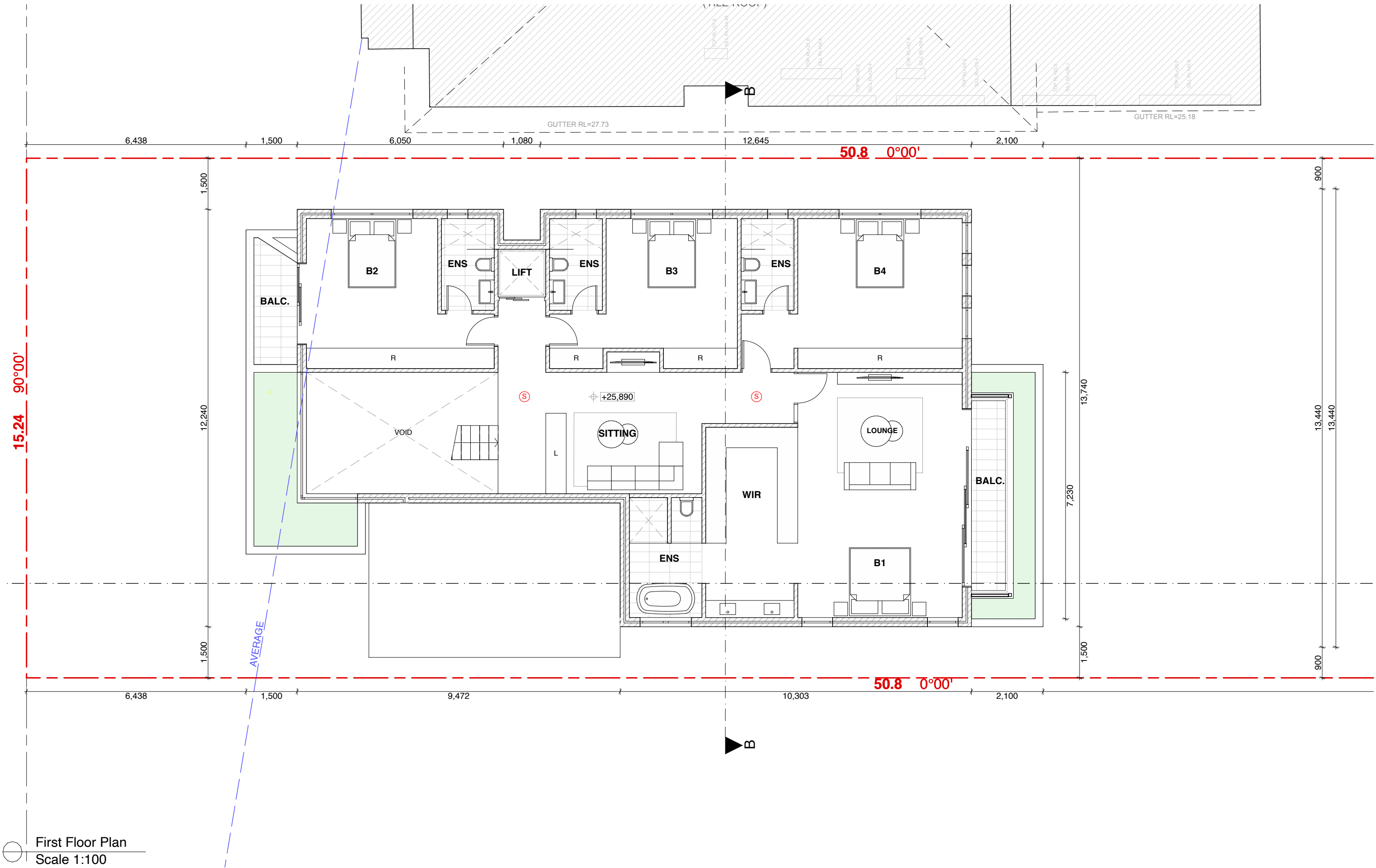


Ground Floor Plan
Scale 1:100

AS - ALUMINIUM ROOF SHEETING			OC - OFF FORM CONCRETE	AD - ALUMINIUM DOOR	Ⓜ - MECHANICAL VENTILATION	<div>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</div> <div>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</div> <div>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS</div> <div>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</div> <div>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</div>	Issue	Description	Date	<div><div>Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 m: 0410 504 589 - o: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</div></div>	Title:	Ground Floor Plan	<div>DA.05</div> <div>A</div> <div></div>
CT - CONCRETE ROOF TILE			AL - ALUMINIUM	AW - ALUMINIUM WINDOW	Ⓢ - SMOKE ALARM		A	Development Application	04 - 02 - 2022		Project:	46 Long Street, Strathfield, NSW 2135	
RT - ROOF TILE			AC - ALUMINIUM CLADDING	TD - TIMBER DOOR	Ⓦ - NEW WINDOW		B				Client:	Mr. Peter Zalloua	
BW - FACE BRICK WORK			FC - FIBRE CEMENT	TW - TIMBER WINDOW	ⓓ - NEW DOOR		C				Date:	4th February 2022	
AR - ACRYLIC RENDER			TC - TIMBER CLADDING	FW - FIXED WINDOW							Scale:	1:100 @ A3	
CR - CEMENT RENDER			SC - STONE CLADDING	GB - GLASS FRAMED BALUSTRADE									

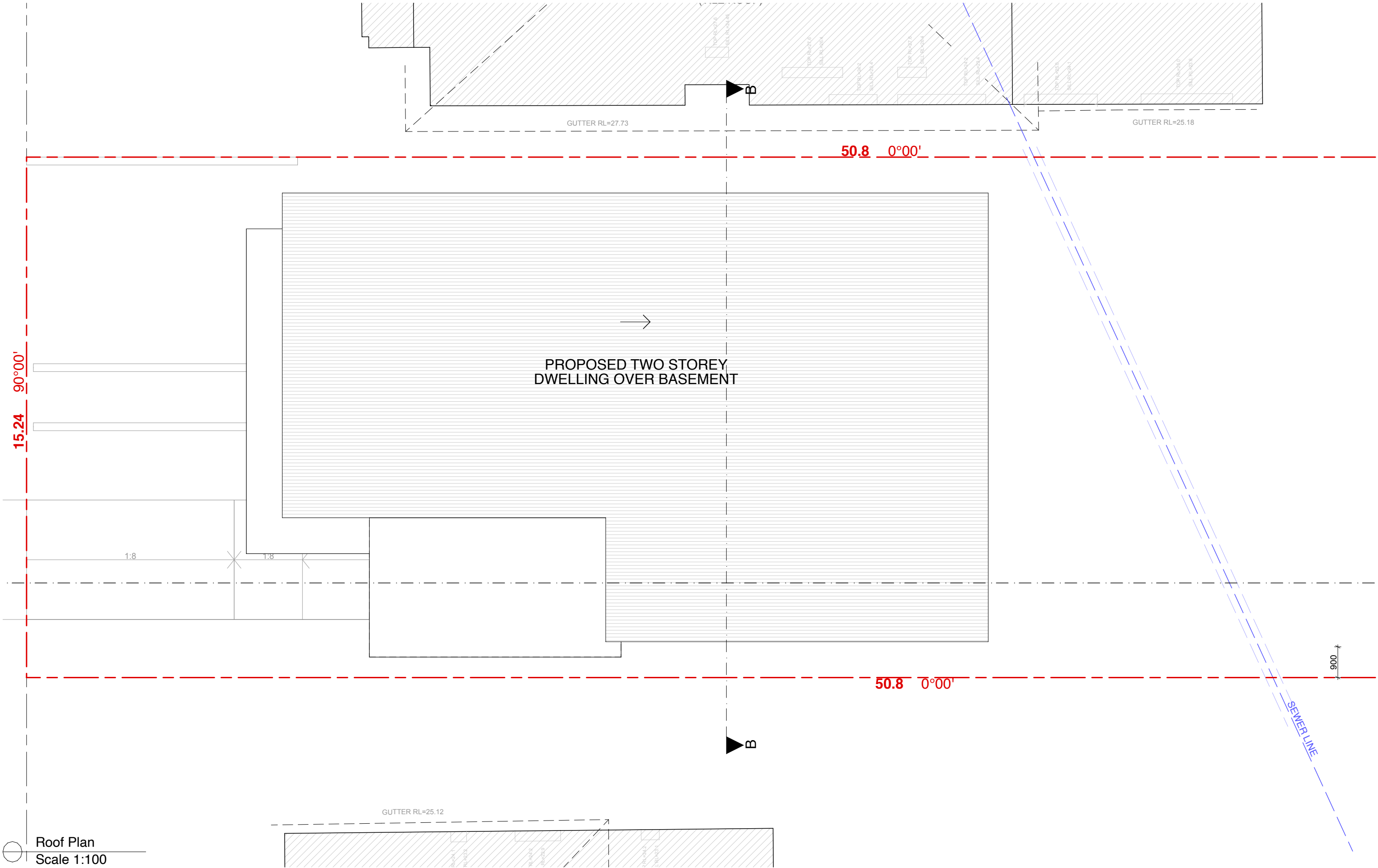


AS - ALUMINIUM ROOF SHEETING			OC - OFF FORM CONCRETE			AD - ALUMINIUM DOOR			Ⓜ - MECHANICAL VENTILATION			<div>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</div> <div>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</div> <div>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS</div> <div>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</div> <div>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</div>			Issue			Description			Date			<div><div>Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 m: 0410 504 589 - o: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</div></div>			Title:			Ground Floor Plan - Rear			<div>DA.06</div> <div>A</div> <div></div>		
CT - CONCRETE ROOF TILE			AL - ALUMINIUM			AW - ALUMINIUM WINDOW			Ⓢ - SMOKE ALARM						A			Development Application			04 - 02 - 2022						Project:			46 Long Street, Strathfield, NSW 2135					
RT - ROOF TILE			AC - ALUMINIUM CLADDING			TD - TIMBER DOOR			Ⓦ - NEW WINDOW						B												Client:			Mr. Peter Zalloua					
BW - FACE BRICK WORK			FC - FIBRE CEMENT			TW - TIMBER WINDOW			ⓓ - NEW DOOR						C												Date:			4th February 2022					
AR - ACRYLIC RENDER			TC - TIMBER CLADDING			FW - FIXED WINDOW																					Scale:			1:100 @ A3					
CR - CEMENT RENDER			SC - STONE CLADDING			GB - GLASS FRAMED BALUSTRADE																													





First Floor Plan
Scale 1:100

AS - ALUMINIUM ROOF SHEETING		OC - OFF FORM CONCRETE		AD - ALUMINIUM DOOR		Ⓜ - MECHANICAL VENTILATION		<div>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</div> <div>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</div> <div>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS.</div> <div>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</div> <div>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</div>		Issue		Description		Date		<div><div><div></div><div>BLU PRINT DESIGNS</div></div><div>Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 m: 0410 504 589 - o: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</div></div>		Title:		First Floor Plan		<div>DA.07</div> <div>A</div> <div><div></div></div>	
CT - CONCRETE ROOF TILE		AL - ALUMINIUM		AW - ALUMINIUM WINDOW		Ⓢ - SMOKE ALARM				A		Development Application		04 - 02 - 2022				Project:		46 Long Street, Strathfield, NSW 2135			
RT - ROOF TILE		AC - ALUMINIUM CLADDING		TD - TIMBER DOOR		Ⓦ - NEW WINDOW				B								Client:		Mr. Peter Zalloua			
BW - FACE BRICK WORK		FC - FIBRE CEMENT		TW - TIMBER WINDOW		ⓓ - NEW DOOR				C								Date:		4th February 2022			
AR - ACRYLIC RENDER		TC - TIMBER CLADDING		FW - FIXED WINDOW														Scale:		1:100 @ A3			
CR - CEMENT RENDER		SC - STONE CLADDING		GB - GLASS FRAMED BALUSTRADE																			



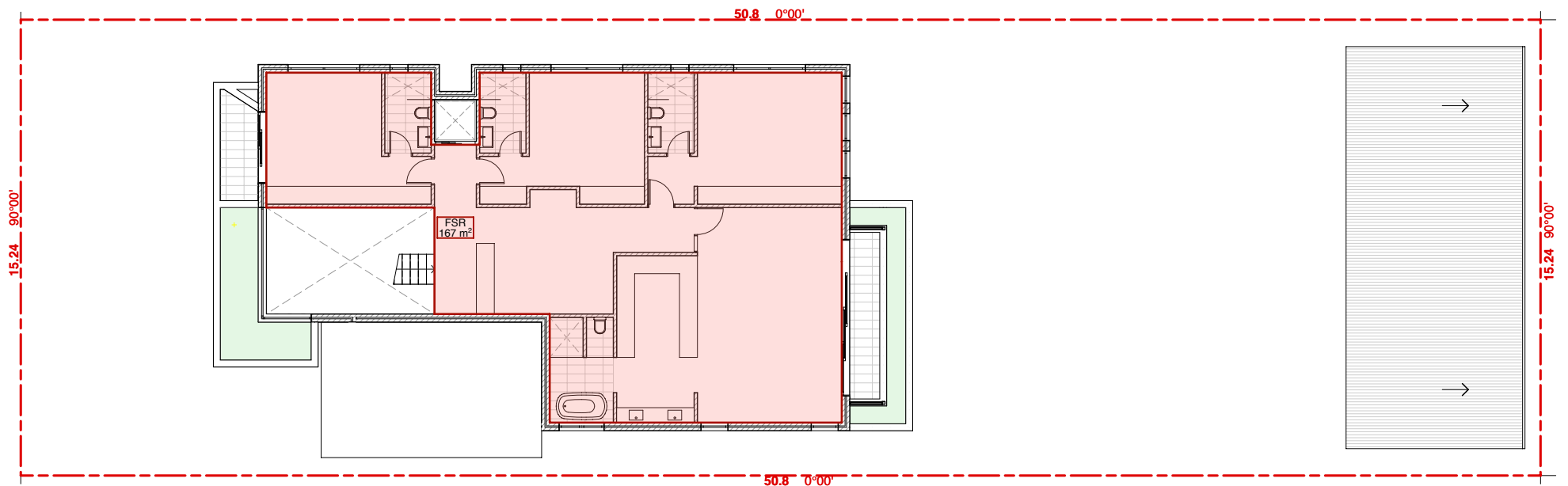
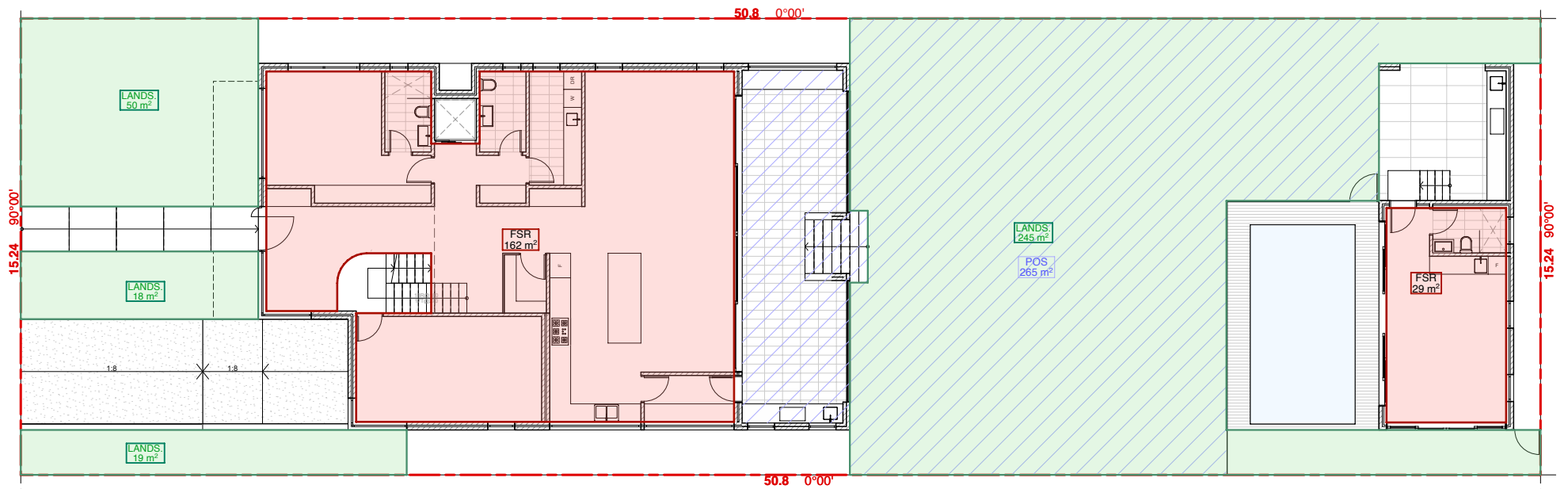
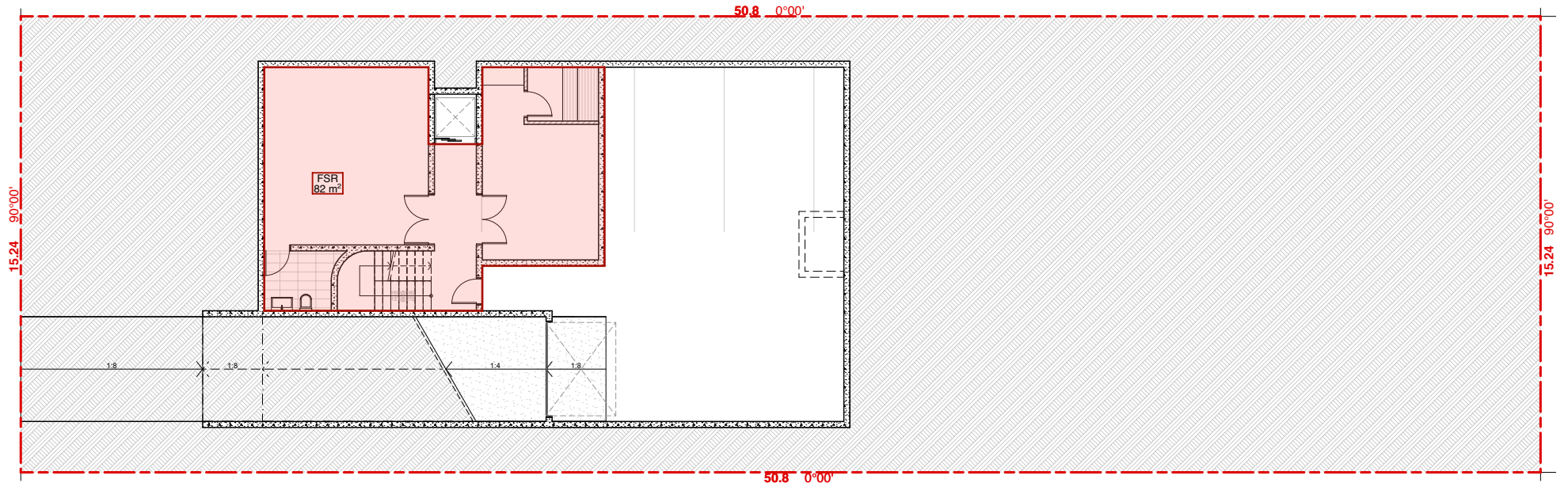
Roof Plan
Scale 1:100

AS - ALUMINIUM ROOF SHEETING	OC - OFF FORM CONCRETE	AD - ALUMINIUM DOOR	Ⓜ - MECHANICAL VENTILATION	<p>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</p> <p>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</p> <p>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS</p> <p>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</p> <p>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</p>	Issue	Description	Date	<div><p>Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 m: 0410 504 589 - o: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</p></div>	Title:	Roof Plan	DA.08	
CT - CONCRETE ROOF TILE	AL - ALUMINIUM	AW - ALUMINIUM WINDOW	Ⓢ - SMOKE ALARM		A	Development Application	04 - 02 - 2022		Project:	46 Long Street, Strathfield, NSW 2135		
RT - ROOF TILE	AC - ALUMINIUM CLADDING	TD - TIMBER DOOR	Ⓦ - NEW WINDOW		B				Client:	Mr. Peter Zalloua		
BW - FACE BRICK WORK	FC - FIBRE CEMENT	TW - TIMBER WINDOW	ⓓ - NEW DOOR		C				Date:	4th February 2022		
AR - ACRYLIC RENDER	TC - TIMBER CLADDING	FW - FIXED WINDOW							Scale:	1:100 @ A3		
CR - CEMENT RENDER	SC - STONE CLADDING	GB - GLASS FRAMED BALUSTRADE										A

Site Area	774.2 m2
Existing FSR	161.0 m2 = 0.21 : 1

FSR	449.0 m2 = 0.58 : 1
LANDSCAPE	332.9 m2 = 43% of Site Area

FSR	439.12 m2
LANDSCAPE	332.44 m2



THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.


THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.

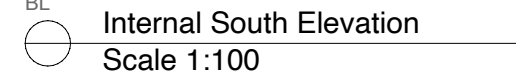
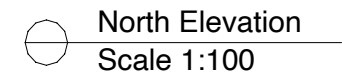
PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS DO NOT SCALE OFF DRAWINGS


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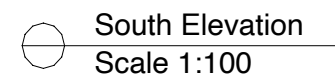
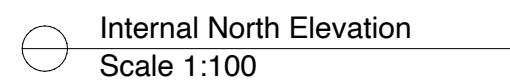
Issue	Description	Date
A	Development Application	04 - 02 - 2022
B		
C		




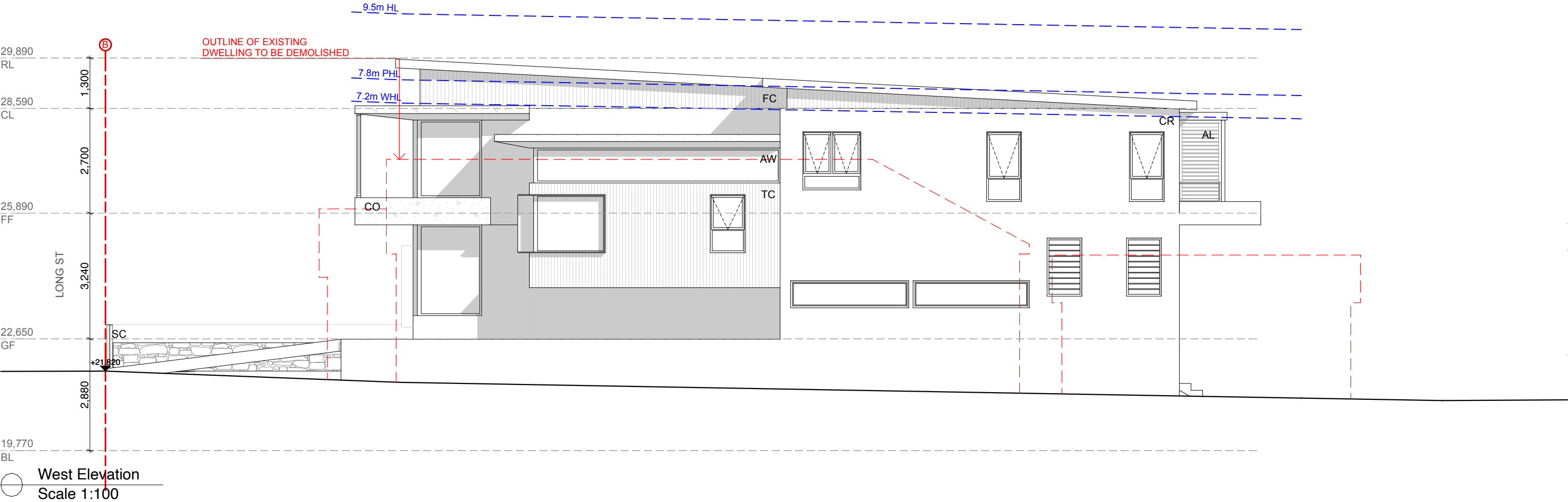
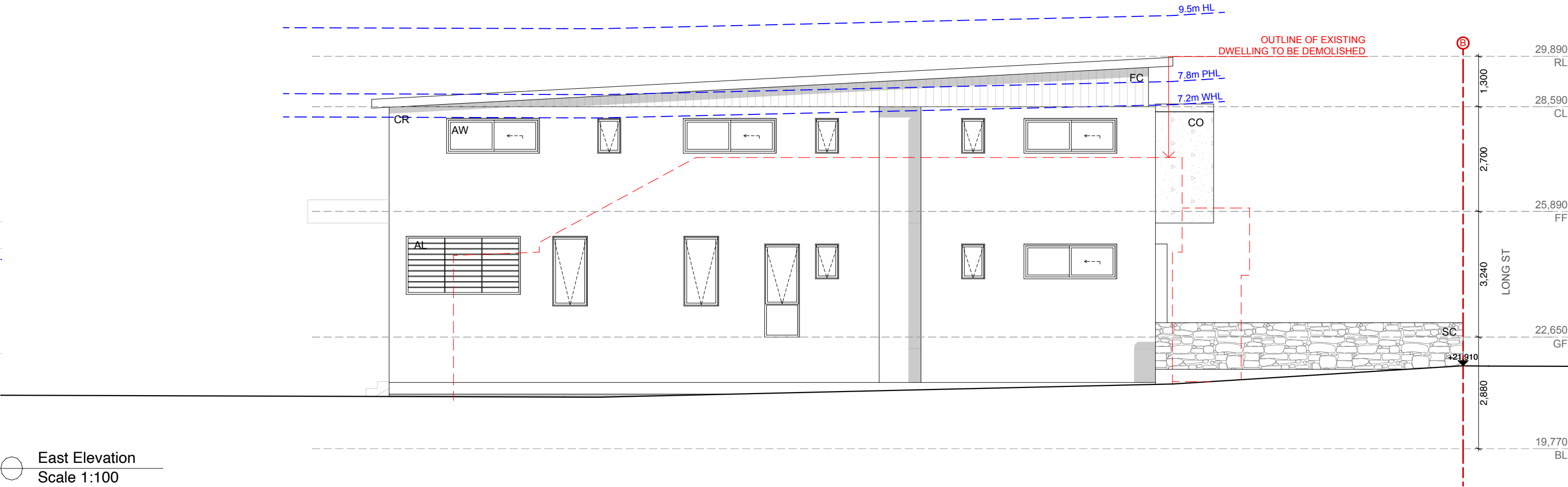
Title:	Calculation Plans	<div>DA.10</div> <div>A</div> 
Project:	46 Long Street, Strathfield, NSW 2135	
Client:	Mr. Peter Zalloua	
Date:	4th February 2022	
Scale:	1:200 @ A3	




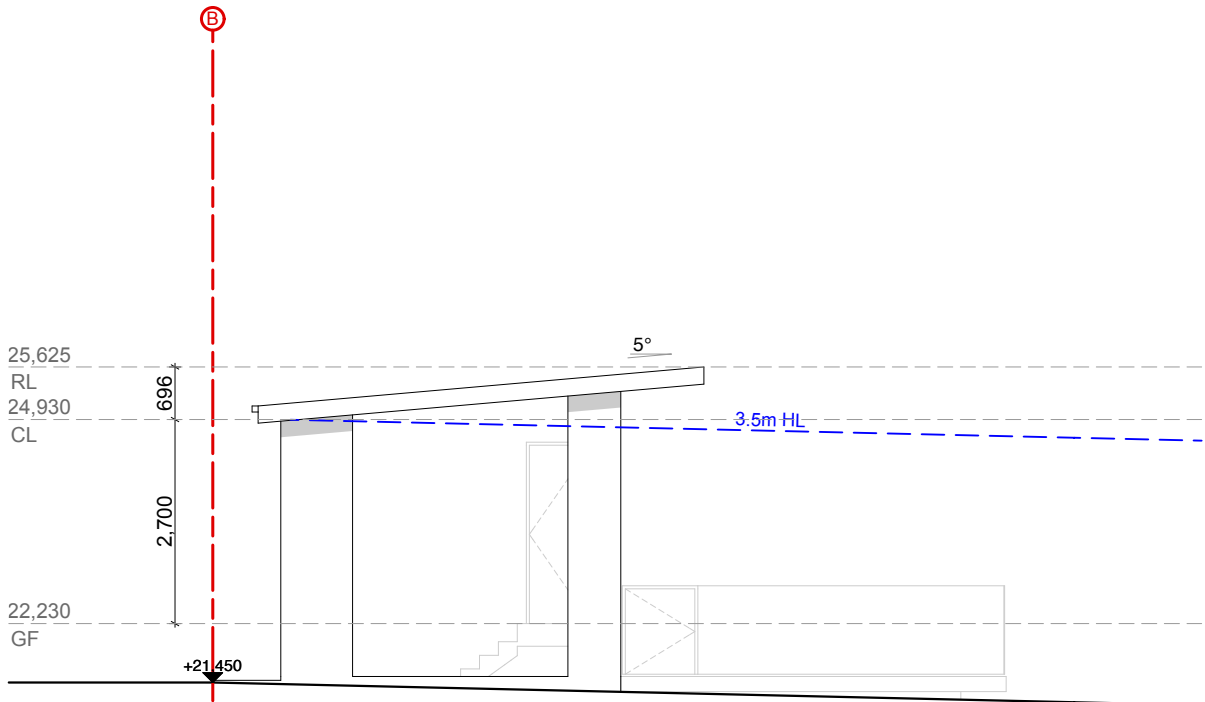
AS - ALUMINIUM ROOF SHEETING	OC - OFF FORM CONCRETE	AD - ALUMINIUM DOOR	M - MECHANICAL VENTILATION	<p>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</p> <p>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</p> <p>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS</p> <p>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</p> <p>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</p>	Issue	Description	Date	 <p>Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 m: 0410 504 589 - o: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</p>	Title:	North & Internal South Elevations	DA.11	A
CT - CONCRETE ROOF TILE	AL - ALUMINIUM	AW - ALUMINIUM WINDOW	S - SMOKE ALARM		A	Development Application	04 - 02 - 2022		Project:	46 Long Street, Strathfield, NSW 2135		
RT - ROOF TILE	AC - ALUMINIUM CLADDING	TW - TIMBER DOOR	W - NEW WINDOW		B				Client:	Mr. Peter Zalloua		
BW - FACE BRICK WORK	FC - FIBRE CEMENT	TW - TIMBER WINDOW	D - NEW DOOR		C				Date:	4th February 2022		
AR - ACRYLIC RENDER	TC - TIMBER CLADDING	FW - FIXED WINDOW							Scale:	1:100 @ A3		
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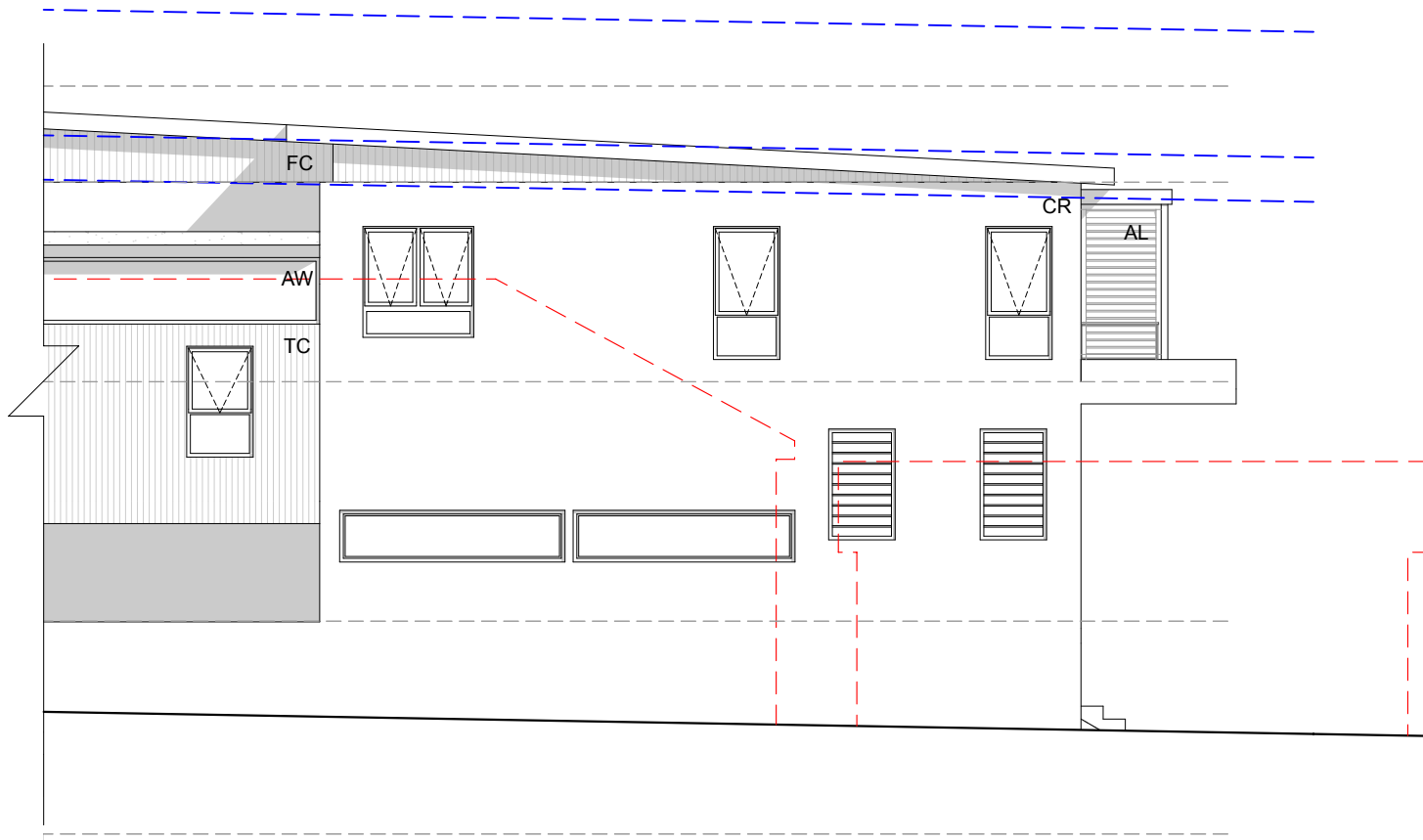
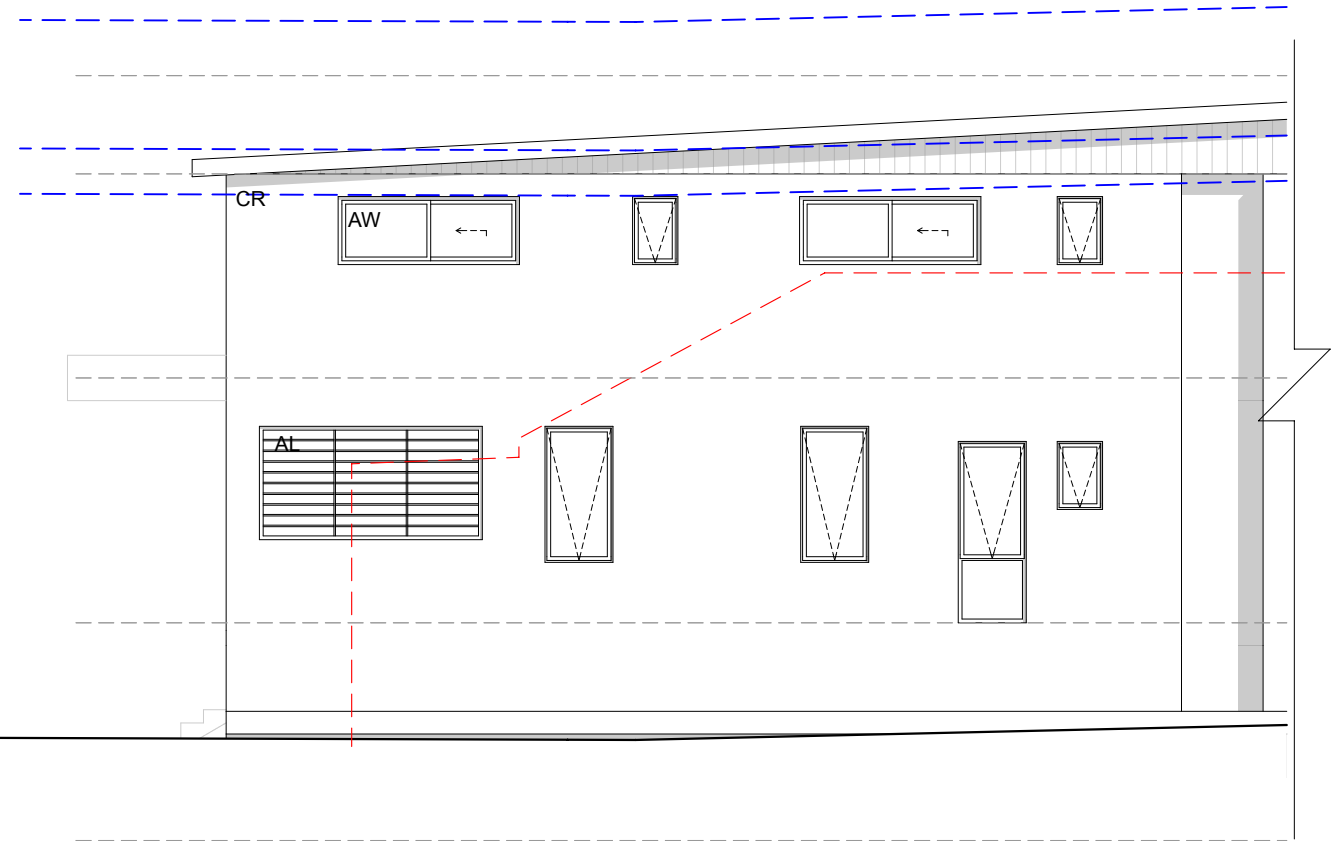
AS - ALUMINIUM ROOF SHEETING	OC - OFF FORM CONCRETE	AD - ALUMINIUM DOOR	Ⓜ - MECHANICAL VENTILATION	<p>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</p> <p>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</p> <p>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS</p> <p>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART, THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</p> <p>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</p>	Issue	Description	Date	 <p>Unit 15 / 43 - 53 Bridge Road, Starnore, NSW 2048 m: 0410 504 589 - o: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</p>	Title:	South & Internal North Elevations	DA.12
CT - CONCRETE ROOF TILE	AL - ALUMINIUM	AW - ALUMINIUM WINDOW	Ⓢ - SMOKE ALARM		A	Development Application	04 - 02 - 2022		Project:	46 Long Street, Strathfield, NSW 2135	
RT - ROOF TILE	AC - ALUMINIUM CLADDING	TD - TIMBER DOOR	Ⓦ - NEW WINDOW		B				Client:	Mr. Peter Zalloua	
BW - FACE BRICK WORK	FC - FIBRE CEMENT	TW - TIMBER WINDOW	ⓓ - NEW DOOR		C				Date:	4th February 2022	
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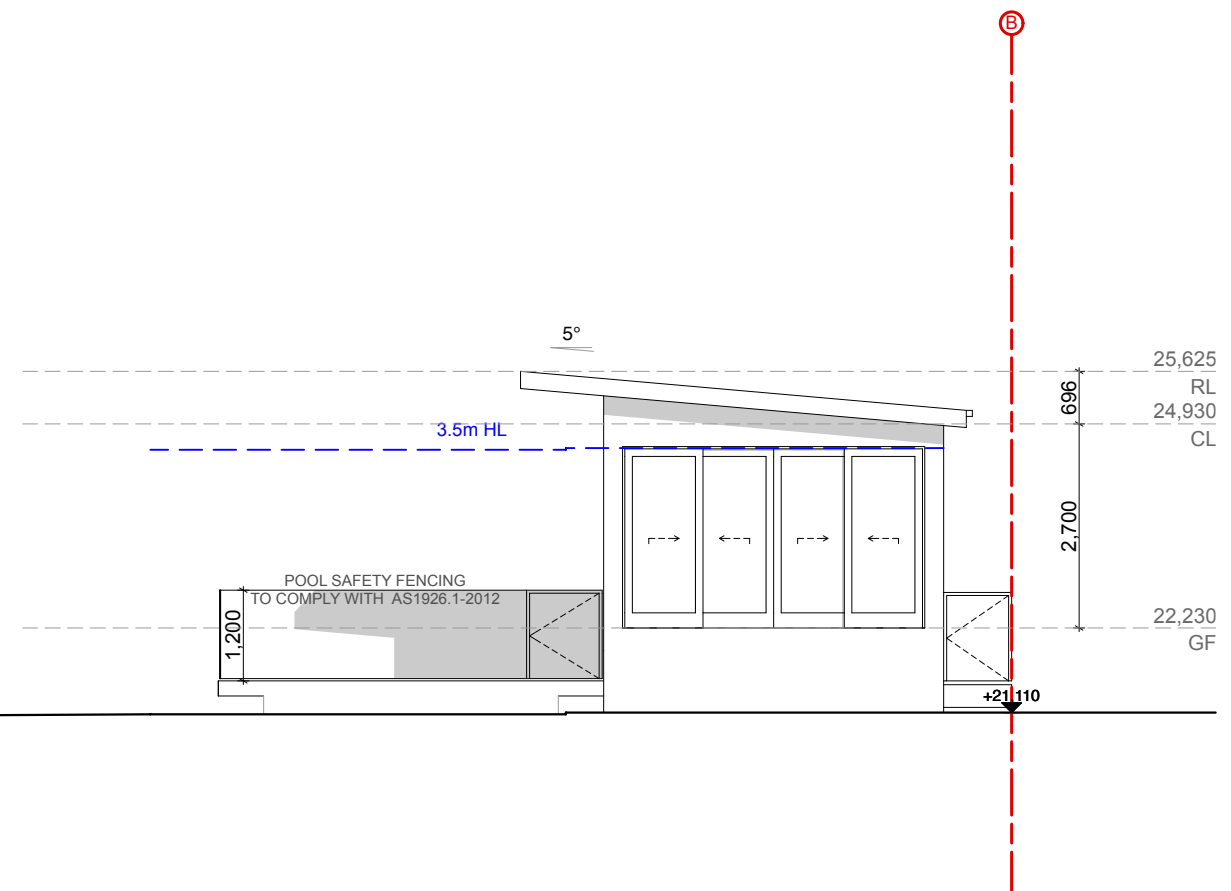
AS - ALUMINIUM ROOF SHEETING			OC - OFF FORM CONCRETE	AD - ALUMINIUM DOOR	Ⓜ - MECHANICAL VENTILATION	<div>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</div> <div>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</div> <div>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS</div> <div>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</div> <div>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</div>	Issue	Description	Date	<div><div>Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 m: 0410 504 589 - c: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</div></div>	Title:	East & West Elevations	DA.13	
CT - CONCRETE ROOF TILE			AL - ALUMINIUM	AW - ALUMINIUM WINDOW	Ⓢ - SMOKE ALARM		A	Development Application	04 - 02 - 2022		Project:	46 Long Street, Strathfield, NSW 2135		
RT - ROOF TILE			AC - ALUMINIUM CLADDING	TD - TIMBER DOOR	Ⓦ - NEW WINDOW		B				Client:	Mr. Peter Zalloua		
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AR - ACRYLIC RENDER			TC - TIMBER CLADDING	FW - FIXED WINDOW							Scale:	1:100 @ A3		
CR - CEMENT RENDER			SC - STONE CLADDING	GB - GLASS FRAMED BALUSTRADE										

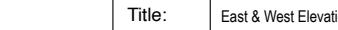


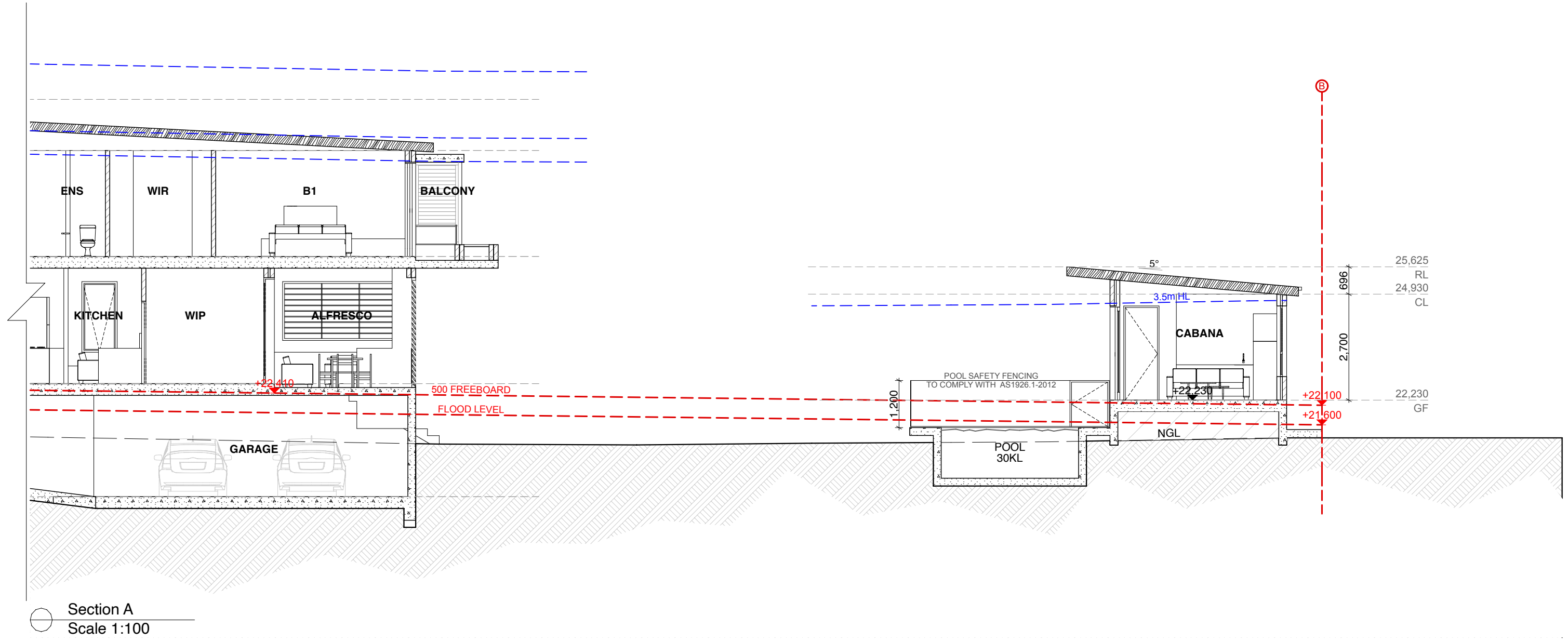
East Elevation
Scale 1:100



West Elevation
Scale 1:100

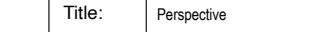


AS - ALUMINIUM ROOF SHEETING			OC - OFF FORM CONCRETE			AD - ALUMINIUM DOOR			Ⓜ - MECHANICAL VENTILATION			<div>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</div> <div>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</div> <div>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS</div> <div>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</div> <div>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</div>			Issue			Description			Date			<div><div>Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 m: 0410 504 589 - o: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</div></div>			Title:			East & West Elevations Rear			DA.14			A		
CT - CONCRETE ROOF TILE			AL - ALUMINIUM			AW - ALUMINIUM WINDOW			Ⓢ - SMOKE ALARM						Project:			46 Long Street, Strathfield, NSW 2135																				
RT - ROOF TILE			AC - ALUMINIUM CLADDING			TD - TIMBER DOOR			Ⓦ - NEW WINDOW						Client:			Mr. Peter Zalloua																				
BW - FACE BRICK WORK			FC - FIBRE CEMENT			TW - TIMBER WINDOW			ⓓ - NEW DOOR						Date:			4th February 2022																				
AR - ACRYLIC RENDER			TC - TIMBER CLADDING			FW - FIXED WINDOW									Scale:			1:100 @ A3																				
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AS - ALUMINIUM ROOF SHEETING	OC - OFF FORM CONCRETE	AD - ALUMINIUM DOOR	Ⓜ - MECHANICAL VENTILATION	<div>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</div> <div>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</div> <div>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS</div> <div>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</div> <div>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</div>	Issue	Description	Date	<div><div><div><div></div><div>BLU PRINT DESIGNS</div></div><div><div>Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048</div><div>m: 0410 504 589 - o: 9517 9652</div><div>info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</div></div></div></div>	Title:	Sections	DA.16	A
CT - CONCRETE ROOF TILE	AL - ALUMINIUM	AW - ALUMINIUM WINDOW	Ⓢ - SMOKE ALARM		A	Development Application	04 - 02 - 2022		Project:	46 Long Street, Strathfield, NSW 2135		
RT - ROOF TILE	AC - ALUMINIUM CLADDING	TD - TIMBER DOOR	Ⓦ - NEW WINDOW		B				Client:	Mr. Peter Zalloua		
BW - FACE BRICK WORK	FC - FIBRE CEMENT	TW - TIMBER WINDOW	ⓓ - NEW DOOR		C				Date:	4th February 2022		
AR - ACRYLIC RENDER	TC - TIMBER CLADDING	FW - FIXED WINDOW							Scale:	1:100 @ A3		
CR - CEMENT RENDER	SC - STONE CLADDING	GB - GLASS FRAMED BALUSTRADE										



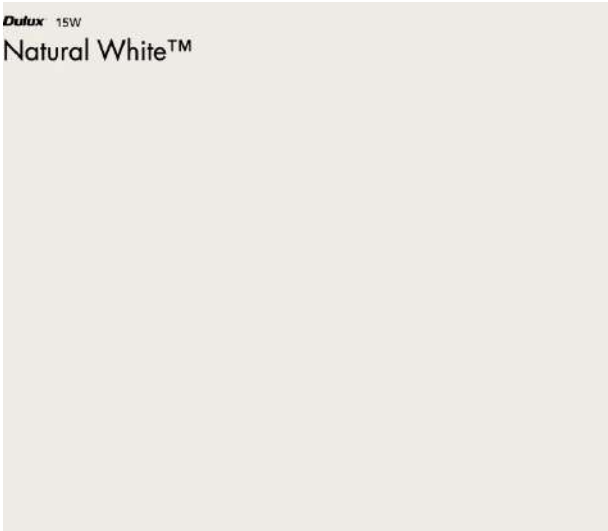
AS - ALUMINIUM ROOF SHEETING			OC - OFF FORM CONCRETE	AD - ALUMINIUM DOOR	Ⓜ - MECHANICAL VENTILATION	<div>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</div> <div>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</div> <div>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS</div> <div>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</div> <div>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</div>	Issue	Description	Date	<div><div>Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 m: 0410 504 589 - c: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</div></div>	Title:	Perspective	DA.18	A
CT - CONCRETE ROOF TILE			AL - ALUMINIUM	AW - ALUMINIUM WINDOW	Ⓢ - SMOKE ALARM		A	Development Application	04 - 02 - 2022		Project:	46 Long Street, Strathfield, NSW 2135		
RT - ROOF TILE			AC - ALUMINIUM CLADDING	TD - TIMBER DOOR	Ⓦ - NEW WINDOW		B				Client:	Mr. Peter Zalloua		
BW - FACE BRICK WORK			FC - FIBRE CEMENT	TW - TIMBER WINDOW	Ⓓ - NEW DOOR		C				Date:	4th February 2022		
AR - ACRYLIC RENDER			TC - TIMBER CLADDING	FW - FIXED WINDOW							Scale:	NTS		
CR - CEMENT RENDER			SC - STONE CLADDING	GB - GLASS FRAMED BALUSTRADE										



Corrugated Roof Sheetting
Dulux Colorbond - Shale Grey



Fascia, Gutters & Down Pipes - Steel
Dulux Colorbond - Shale Grey



Cement Render
Dulux – Natural White



Front Balcony
Off Form Concrete Finish



FC Cladding
Boral Scyon Axon Smooth 133
Dulux Colorbond - Monument




Timber Board Cladding.
Shiplap Profile Mounted

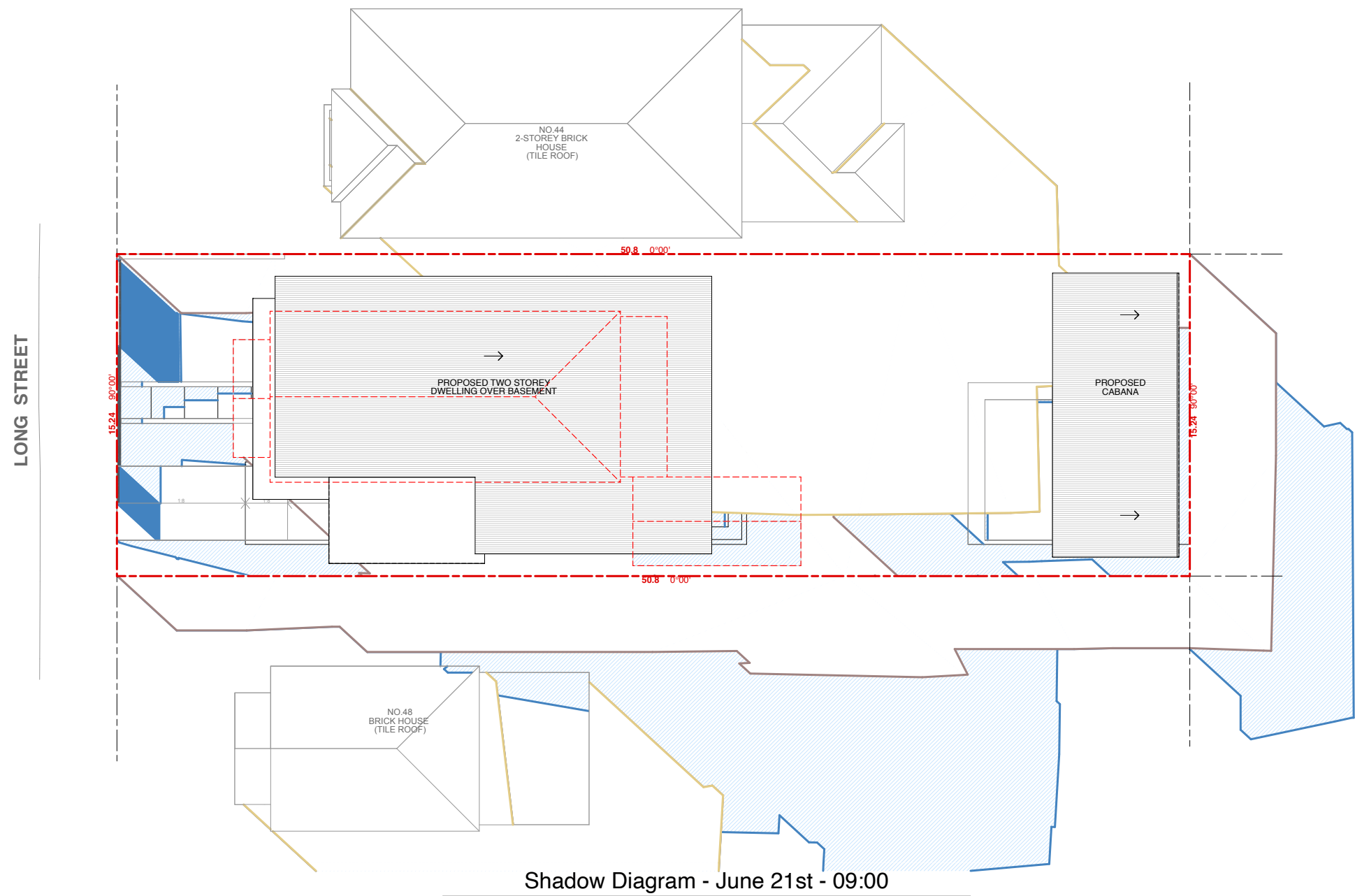


Front Fence walls
Sandstone Clad






Doors & Windows - Aluminium / Steel
Powder Coat - Black


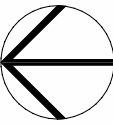
AS - ALUMINIUM ROOF SHEETING	OC - OFF FORM CONCRETE	AD - ALUMINIUM DOOR	Ⓜ - MECHANICAL VENTILATION	<p>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</p> <p>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</p> <p>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS</p> <p>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</p> <p>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</p>	Issue	Description	Date	<div><p>Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 m: 0410 504 589 - c: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</p></div>	Title:	Material Sample Board	DA.19	A
CT - CONCRETE ROOF TILE	AL - ALUMINIUM	AW - ALUMINIUM WINDOW	Ⓢ - SMOKE ALARM		A	Development Application	04 - 02 - 2022		Project:	46 Long Street, Strathfield, NSW 2135		
RT - ROOF TILE	AC - ALUMINIUM CLADDING	TD - TIMBER DOOR	Ⓦ - NEW WINDOW		B				Client:	Mr. Peter Zalloua		
BW - FACE BRICK WORK	FC - FIBRE CEMENT	TW - TIMBER WINDOW	ⓓ - NEW DOOR		C				Date:	4th February 2022		
AR - ACRYLIC RENDER	TC - TIMBER CLADDING	FW - FIXED WINDOW							Scale:	NTS		
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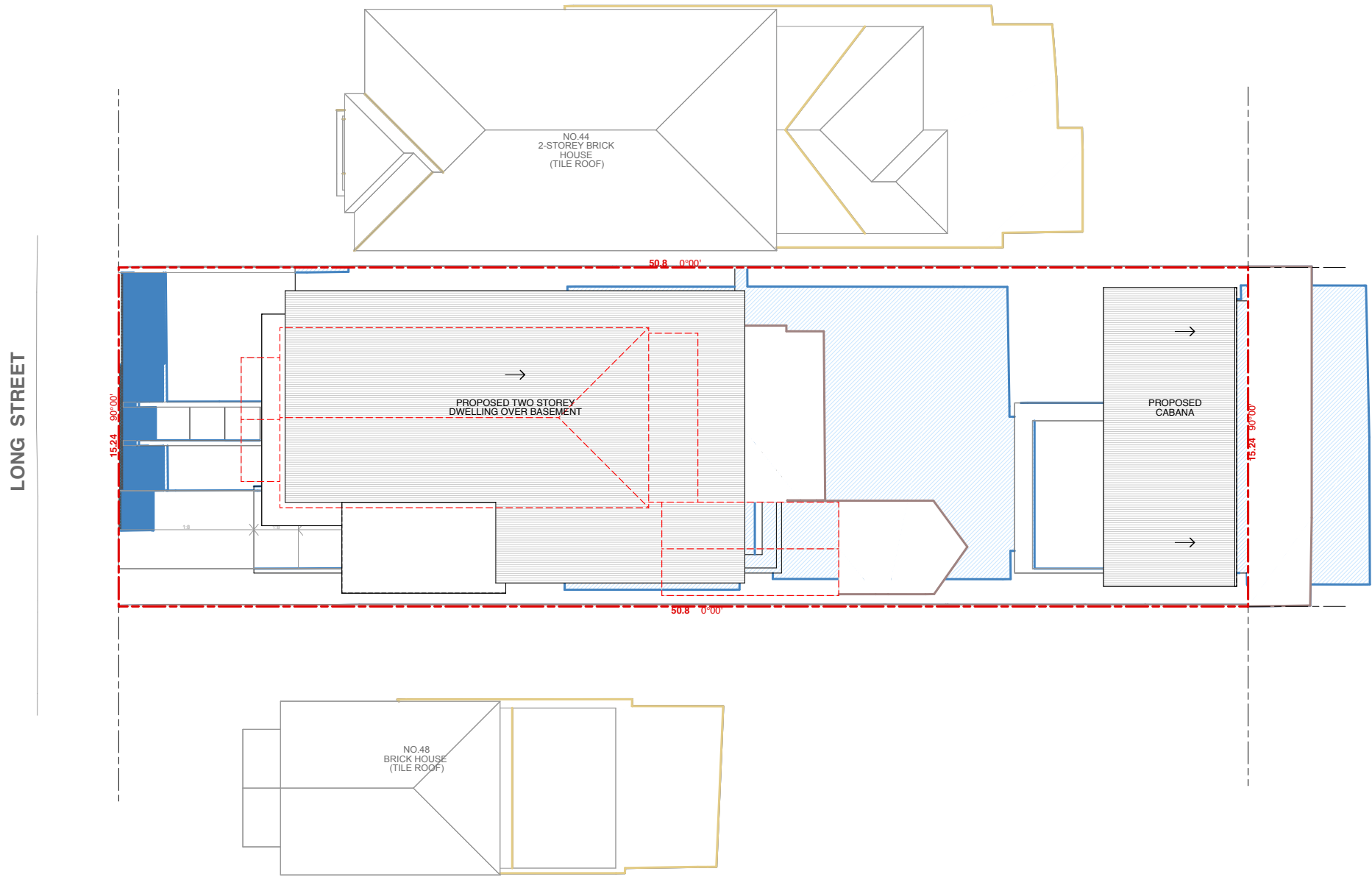


Shadow Diagram - June 21st - 09:00

SHADOW DIAGRAM LEGEND

	NEIGHBOUR BUILDING SHADOWS
	EXISTING BUILDING SHADOWS
	PROPOSED ADDITIONAL SHADOW



<div>AS - ALUMINIUM ROOF SHEETING</div> <div>CT - CONCRETE ROOF TILE</div> <div>RT - ROOF TILE</div> <div>BW - FACE BRICK WORK</div> <div>AR - ACRYLIC RENDER</div> <div>CR - CEMENT RENDER</div> <div>OC - OFF FORM CONCRETE</div> <div>AL - ALUMINIUM</div> <div>AC - ALUMINIUM CLADDING</div> <div>FC - FIBRE CEMENT</div> <div>TC - TIMBER CLADDING</div> <div>SC - STONE CLADDING</div> <div>AD - ALUMINIUM DOOR</div> <div>AW - ALUMINIUM WINDOW</div> <div>TD - TIMBER DOOR</div> <div>TW - TIMBER WINDOW</div> <div>FW - FIXED WINDOW</div> <div>GB - GLASS FRAMED BALUSTRADE</div> <div>Ⓜ - MECHANICAL VENTILATION</div> <div>Ⓢ - SMOKE ALARM</div> <div>Ⓦ - NEW WINDOW</div> <div>ⓓ - NEW DOOR</div>	<div>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</div> <div>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</div> <div>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS</div> <div>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</div> <div>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</div>	Issue	Description	Date	<div><div>Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 m: 0410 504 589 - c: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</div></div>	Title:	Shadows Diagrams June 21st	<div>DA.20</div> <div>A</div> <div></div>
		A	Development Application	04 - 02 - 2022		Project:	46 Long Street, Strathfield, NSW 2135	
		B				Client:	Mr. Peter Zalloua	
		C				Date:	4th February 2022	
						Scale:	1:250 @ A3	



Shadow Diagram - June 21st - 12:00

SHADOW DIAGRAM LEGEND

	NEIGHBOUR BUILDING SHADOWS
	EXISTING BUILDING SHADOWS
	PROPOSED ADDITIONAL SHADOW

AS - ALUMINIUM ROOF SHEETING	OC - OFF FORM CONCRETE	AD - ALUMINIUM DOOR	Ⓜ - MECHANICAL VENTILATION	<p>THE WORK IS TO BE COMPLETED WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.</p> <p>THE BUILDER / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUND LINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.</p> <p>PREFERENCE OF DIMENSIONED MEASUREMENTS TO BE TAKEN OVER SCALED MEASUREMENTS. DO NOT SCALE OFF DRAWINGS.</p> <p>THESE DRAWINGS HAVE BEEN PREPARED BY BLU PRINT DESIGNS AND REMAIN THE PROPERTY OF THE ABOVE NAMED PART. THESE DRAWINGS ARE NOT TO BE USED IN ANY WAY WITHOUT THE PERMISSION OF BLU PRINT DESIGNS AND ARE SUBJECT TO COPYRIGHT LAWS.</p> <p>A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATER BOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.</p>	Issue	Description	Date	<div><p>Unit 15 / 43 - 53 Bridge Road, Stanmore, NSW 2048 m: 0410 504 589 - c: 9517 9652 info@bluprintdesigns.com.au - www.bluprintdesigns.com.au</p></div>	Title:	Shadows Diagrams June 21st	DA.21	
CT - CONCRETE ROOF TILE	AL - ALUMINIUM	AW - ALUMINIUM WINDOW	Ⓢ - SMOKE ALARM		A	Development Application	04 - 02 - 2022		Project:	46 Long Street, Strathfield, NSW 2135		
RT - ROOF TILE	AC - ALUMINIUM CLADDING	TD - TIMBER DOOR	Ⓦ - NEW WINDOW		B				Client:	Mr. Peter Zalloua		
BW - FACE BRICK WORK	FC - FIBRE CEMENT	TW - TIMBER WINDOW	Ⓣ - NEW DOOR		C				Date:	4th February 2022		
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CR - CEMENT RENDER	SC - STONE CLADDING	GB - GLASS FRAMED BALUSTRADE									A	

