

AREAS	
SITE:	580.60 m ²
GROUND FLOOR:	165.24 m ²
FIRST FLOOR:	196.75 m ²
GARAGE:	38.45 m ²
PORCH:	4.34 m ²
BALCONY:	N/A m ²
ALFRESCO:	52.29 m ²
	m ²
TOTAL:	457.37 m ²

SHEET	DESCRIPTION
2.4	SHADOW DIAGRAMS
2.3	NEIGHBOUR NOTIFICATION PLAN
2.2	SITE ANALYSIS
2.1	CONSTRUCTION MANAGEMENT
11	WET AREA DETAILS
10	WET AREA DETAILS
9	WET AREA DETAILS
8	ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET

QUOTE	DATE	QUOTE NUMBER	REV	REV	DATE	AMENDMENTS	BY
KITCHEN			-				
ZURCORP ELECTRICAL			-				
TILES			-				
CARPET			-				
ZURCORP SECURITY			-				
EHI			-	H	11.02.22	COUNCIL AMENDMENTS - ADDITION DIMENSIONS & LEVELS	M.H.
AIR CONDITIONING			-	G	25.01.22	EXTERNAL COLOURS	PG.
STAIRS			-	F	09.12.21	HYDRAULICS & LANDSCAPE CO-ORDINATED	M.H.
LANDSCAPE				E	24.11.21	DA DRAWINGS	PG.
HYDRAULICS				D	02.11.21	PCV1	PG.
ENGINEER				C	16.07.21	CONTRACT DRAWINGS	PG.
PEG OUT				B	08.12.20	CONTRACT DRAWINGS	PG.
				A	17.11.20	TENDER SITING	PJ

ClarendonHomes
 BL No. 2298C
 ABN 18 003 892 706
 Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8851 5300

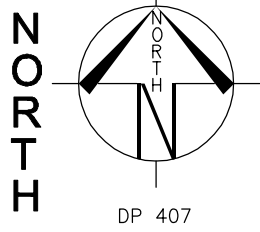
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 # ALL DIMENSIONS TO STRUCTURAL
 ELEMENTS. DIMENSIONS TO BE READ
 IN PREFERENCE TO SCALING.

PRODUCT:
BOSTON 42
 Malibu
 R/H Garage
 Sapphire Specification
 Master Issued: 14.05.19 Revision: C

CLIENT:
Ms. TAN
 SITE ADDRESS:
 Lot 36 No.13
 The Causeway
 STRATHFIELD SOUTH 2136

DA DRAWINGS

DRAWN: PG.	DATE: 08.12.20	Rev: H
RATIO @ A3: N/A	CHECKED: J.S	
SHEET: 1	JOB No: 29914372	NSW



SITE COVERAGE STORMWATER CALCULATION	
ROOF FOOTPRINT:	260.8m ²
DRIVEWAY/ PAVED AREAS:	43.5m ²
TOTAL:	304.3m ²
	52.4 %
MAX SITE COVERAGE FOR OSD:	65%

LOT 36
D.P: 407 SEC: 1
L.G.A: STRATHFIELD

**SITING HAS BEEN COMPLETED
 IN ACCORDANCE WITH
 STRATHFIELD DCP 2005**

SITE AREA	580.6 m ²
ROOF AREA	260.8 m ²

FLOOR SPACE RATIO	
GROUND FLOOR:	151.3 m ²
FIRST FLOOR:	179.5 m ²
TOTAL LIVING AREA: (EXCLUDES EXT. WALLS, GARAGE, STAIR VOID, ETC.) (EXCLUDES PORCH, ALFRESCO, ETC.)	330.8 m ²
FLOOR SPACE RATIO:	56.9 %
MAX. ALLOWABLE BY COUNCIL:	62.5 %

LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (EXCLUDES HARD SURFACES)	272.9 m ² 47.0 %
MIN. REQUIRED BY COUNCIL:	38.5 %

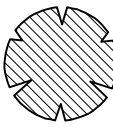
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	9.5 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

WIND CLASSIFICATION: "N2"

SLAB CLASSIFICATION: "H1"

NOTE:
 ALL GROUND LINES ARE APPROXIMATE.
 EXTENT OF FILL & BATTER WILL BE
 DETERMINED ON SITE. SEDIMENT BARRIERS
 ARE TO BE CUSTOMISED SITE SPECIFIC

NOTE:
 OWNER TO DEMOLISH & REMOVE FROM
 SITE EXISTING HOUSE, INCLUDING
 FOOTINGS & SERVICES ABOVE & BELOW
 GROUND, PATHS, DRIVE, TREES &
 FENCES ETC. PRIOR TO COMMENCEMENT
 OF CONSTRUCTION.

 DENOTES TREES TO BE
 REMOVED BY OWNER
 PRIOR TO CONSTRUCTION

SEC 1
LOT 8

SEC 1
LOT 7

SEC 1
LOT 6

APPROX. LOCATION OF SEWER SEE SEWER DIAGRAM

LOT 35
SEC 1

LOT 37
SEC 1

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

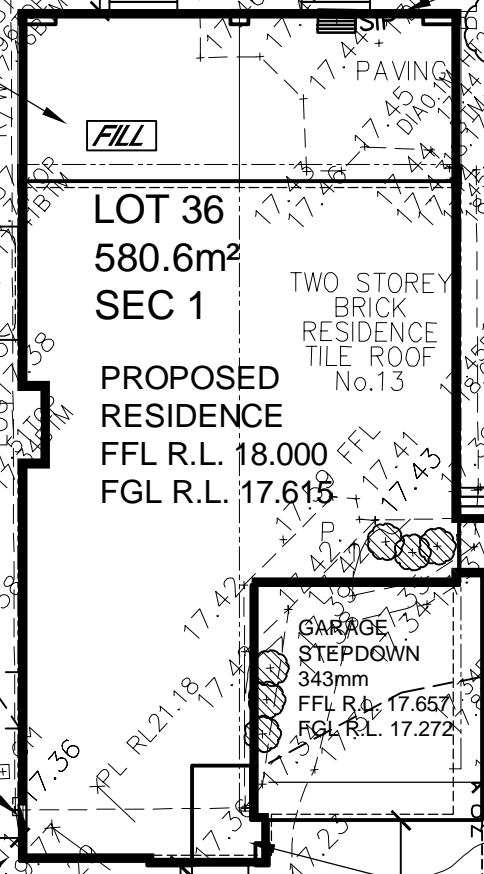
TWO STOREY
BRICK, REND.
TILE ROOF
No.15

LOCATION OF 3088L
SLIMLINE ABOVE GROUND
RAINWATER TANK
(2800Lx750Wx1560H)

LOCATION OF AIR
CONDITIONING
UNIT

LOCATION
OF METER
BOX

DROP EDGE BEAM
0.650H F.F.L TO N.G.L



SHED

DROP EDGE BEAM
0.425H F.F.L TO N.G.L

TWO STOREY
RENDERED, CLAD
TILE ROOF
No.11

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

PROPOSED DRIVEWAY
AND GRATED DRAIN,
BY OWNER AFTER
HANDOVER

EXISTING CROSSOVER
TO REMAIN

APPROX. LOCATION
OF SEWER

THE CAUSEWAY

**LEVELS TO BE STRICTLY ADHERED
 TO AS SHOWN ON SITE PLAN
 NO + OR - 100mm
 TOLERANCE TO LEVELS**

SITE PLAN
 SCALE 1:200

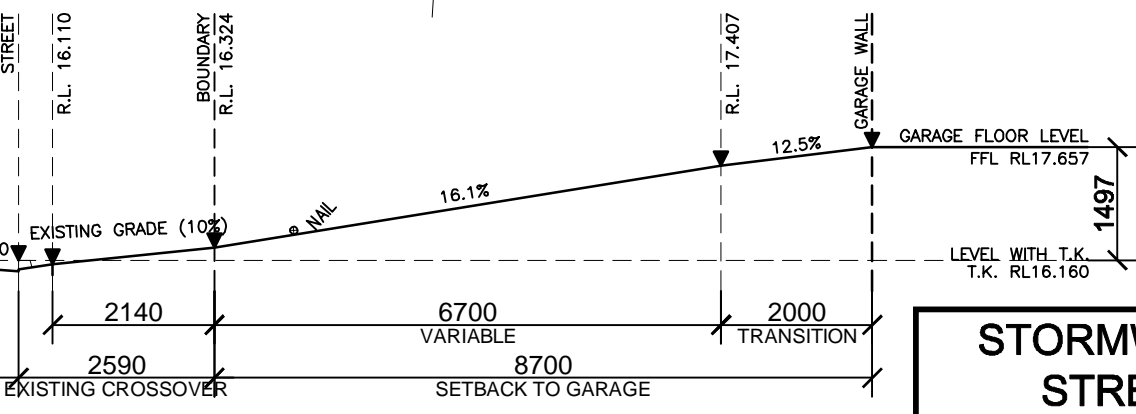
GENERAL NOTES

A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED

B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY

C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION

D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



DRIVEWAY GRADIENT PROFILE
 SCALE-1:100

**STORMWATER TO
 STREET VIA
 RAINWATER TANK**
 REFER TO HYDRAULIC DETAILS

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
 ABN 18 003 892 706

Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
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BOSTON 42
 Malibu
 R/H Garage

Sapphire Specification

CLIENT:
 Ms. TAN

SITE ADDRESS:
 Lot 36 No.13
 The Causeway
 STRATHFIELD SOUTH 2136

DA DRAWINGS			
DRAWN: PG.	DATE: 08.12.20	Rev:	
RATIO @ A3: 1:200	CHECKED: J.S	H	
SHEET: 2	JOB No: 29914372	NSW	

● AIR CONDITIONING DUCT

Ⓢ SMOKE ALARM

⊗ EXHAUST FAN

DP ○ DOWN PIPE LOCATION

⊕ LIFT OFF HINGES

SP ○ STEEL POST

TSP ○ TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

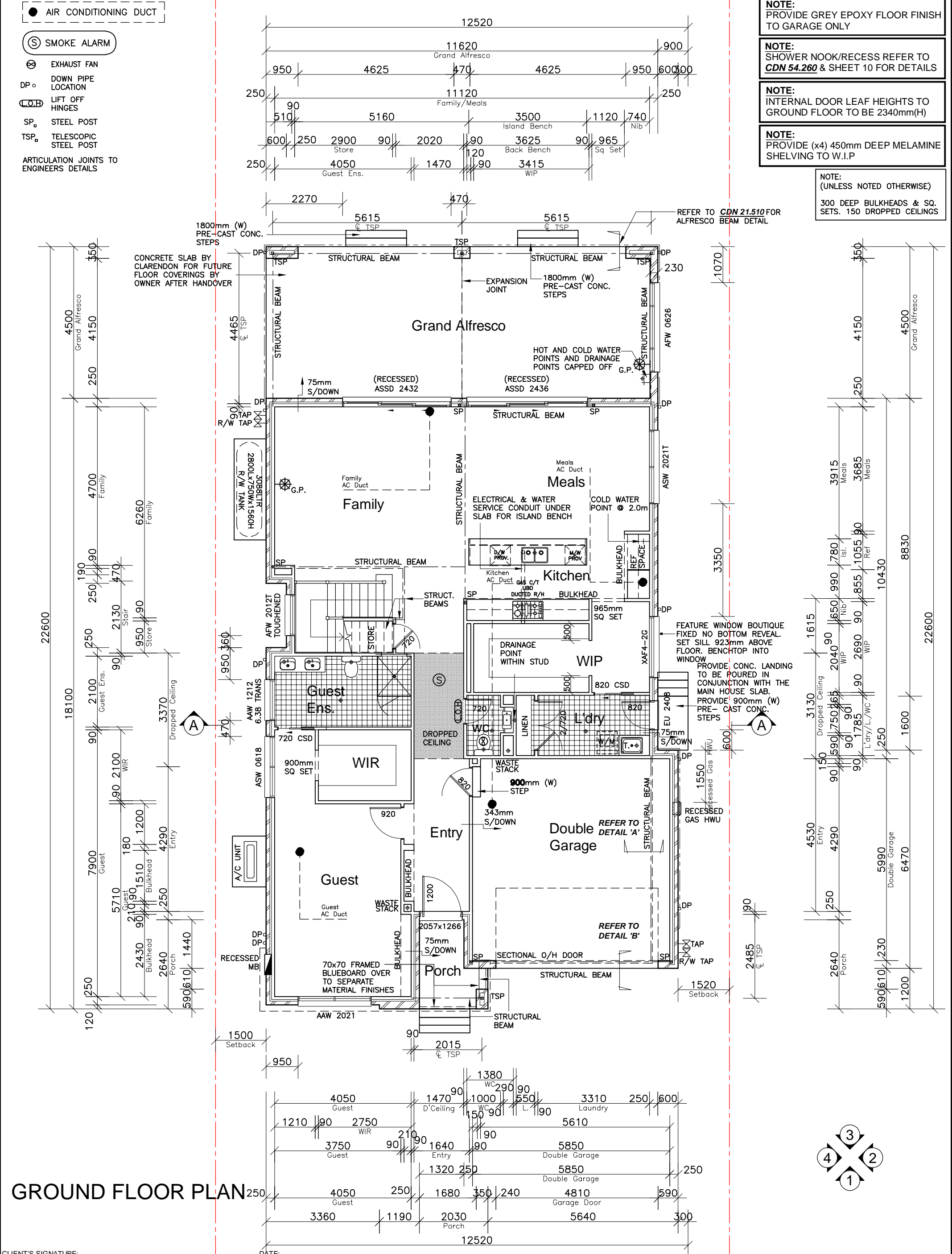
NOTE:
PROVIDE GREY EPOXY FLOOR FINISH TO GARAGE ONLY

NOTE:
SHOWER NOOK/RECESS REFER TO **CDN 54.260** & SHEET 10 FOR DETAILS

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO GROUND FLOOR TO BE 2340mm(H)

NOTE:
PROVIDE (x4) 450mm DEEP MELAMINE SHELIVING TO W.I.P

NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS



GROUND FLOOR PLAN

CLIENT'S SIGNATURE: _____

DATE: _____

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Malibu
R/H Garage
Sapphire Specification

CLIENT:
Ms. TAN
SITE ADDRESS:
Lot 36 No.13
The Causeway
STRATHFIELD SOUTH 2136

DA DRAWINGS		
DRAWN: PG.	DATE: 08.12.20	Rev:
RATIO @ A3: 1:100	CHECKED: J.S	H
SHEET: 3	JOB No: 29914372	NSW

● AIR CONDITIONING DUCT

Ⓢ SMOKE ALARM

DP ○ DOWN PIPE LOCATION

ⓁⓁ LIFT OFF HINGES

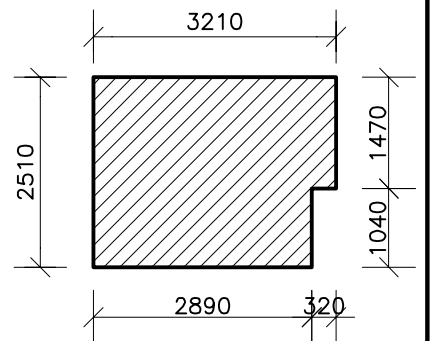
SP ○ STEEL POST

TSP ○ TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

⊗ EXHAUST FAN

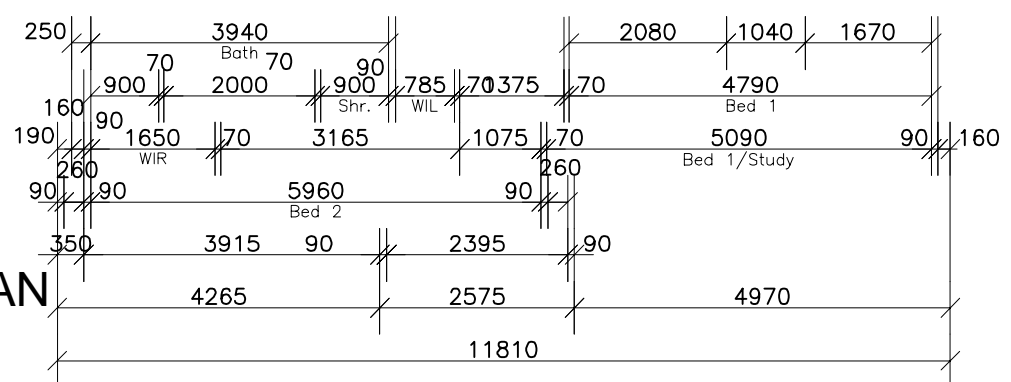
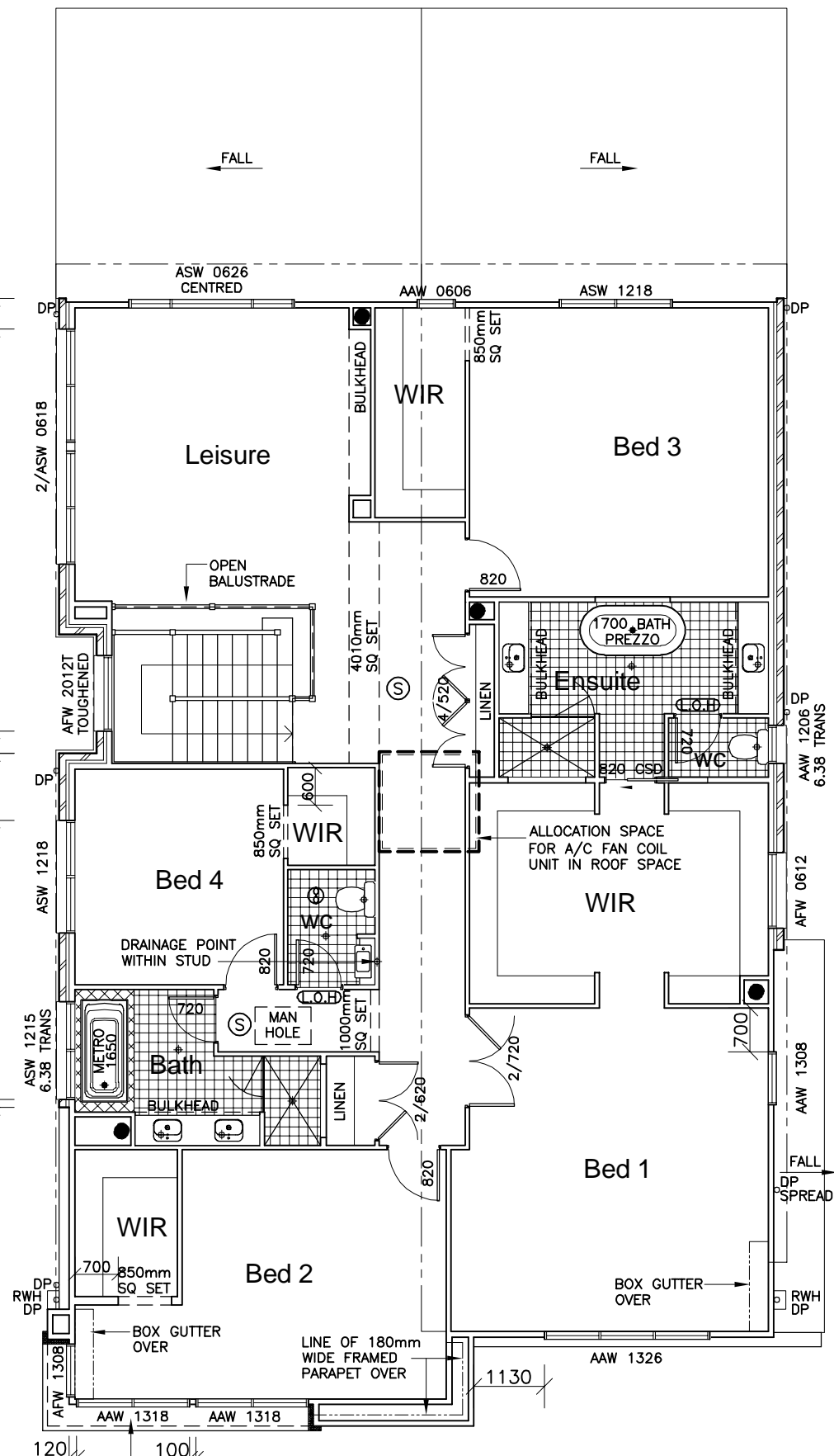
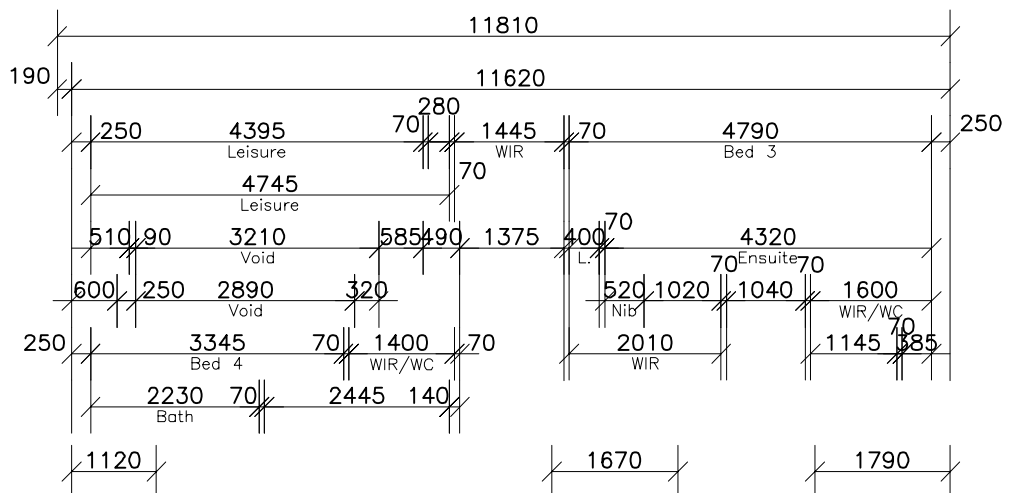
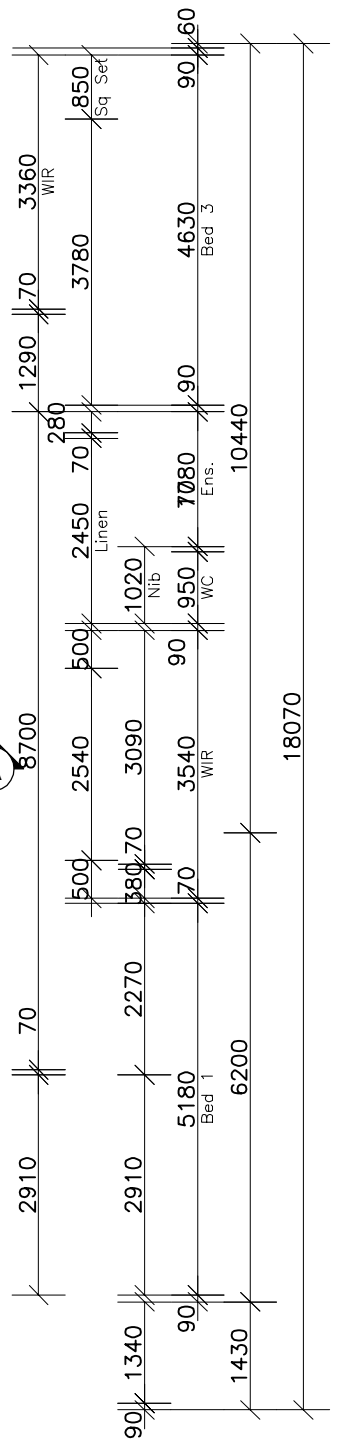
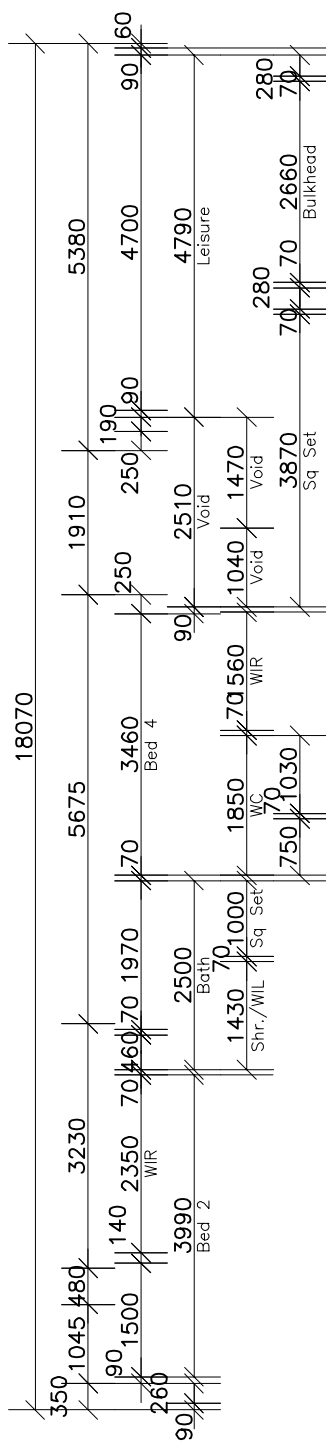
NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS



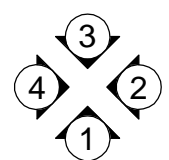
STAIR CUTOUT
SCALE 1:100

NOTE:
ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 3.9.2.5 OF THE B.C.A - PROTECTION OF OPENABLE WINDOWS

NOTE:
SHOWER NOOK/RECESS REFER TO CDN 54.260 & SHEET 11 FOR DETAILS



FIRST FLOOR PLAN



CLIENT'S SIGNATURE: _____

DATE: _____

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BL No. 2298C
ABN 18 003 892 706
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Sapphire Specification

CLIENT:
Ms. TAN
SITE ADDRESS:
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The Causeway
STRATHFIELD SOUTH 2136

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DRAWN: PG.	DATE: 08.12.20	Rev: H
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 4	JOB No: 29914372	NSW

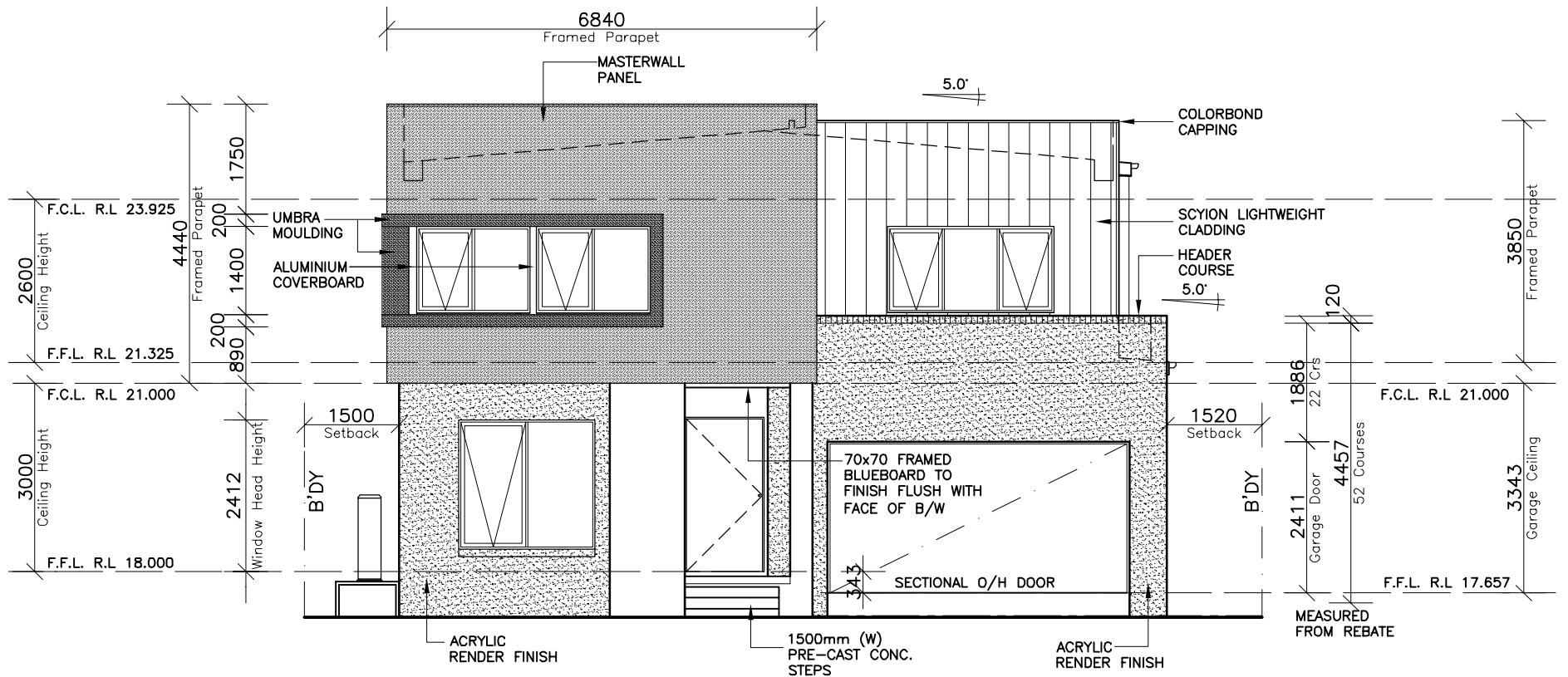
NOTE:
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS

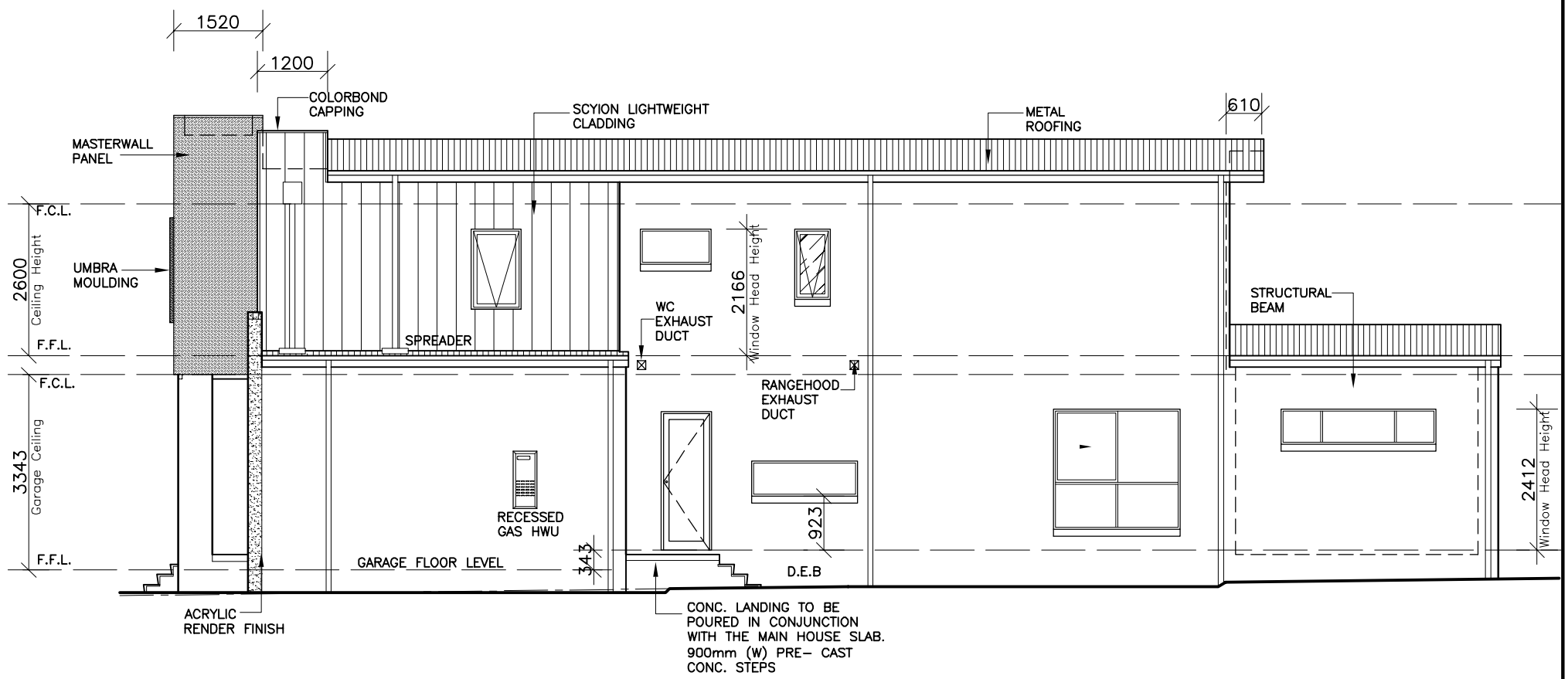
 DENOTES WINDOWS WITH 6.38MM TRANSLUCENT LAMINATED GLAZING

NOTES:
FOR DROP-OFF'S REFER TO FRAMING DETAILS
CDN 21.010-21.080

NOTE:
FOR ROOF PITCHES 20° OR LOWER - ROOF TILE SELECTION WILL BE IMPACTED.



**ELEVATION 1
-SOUTH-**



**ELEVATION 2
-EAST-**

CLIENT'S SIGNATURE: _____ DATE: _____

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BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
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Malibu
R/H Garage
Sapphire Specification

CLIENT:
Ms. TAN
SITE ADDRESS:
Lot 36 No.13
The Causeway
STRATHFIELD SOUTH 2136

DA DRAWINGS			
DRAWN: PG.	DATE: 08.12.20	Rev:	H
RATIO @ A3: 1:100	CHECKED: J.S		
SHEET: 5	JOB No: 29914372		NSW

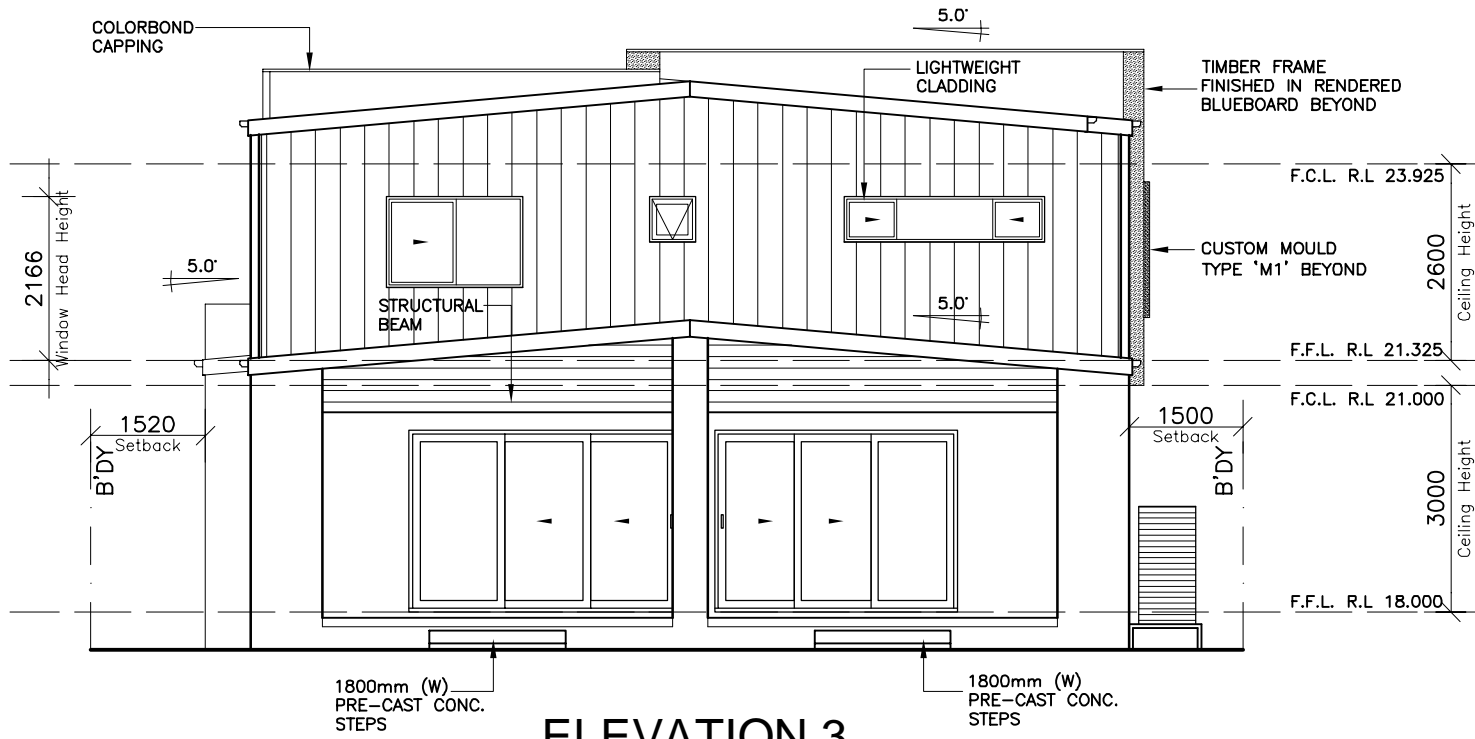
NOTE:
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS

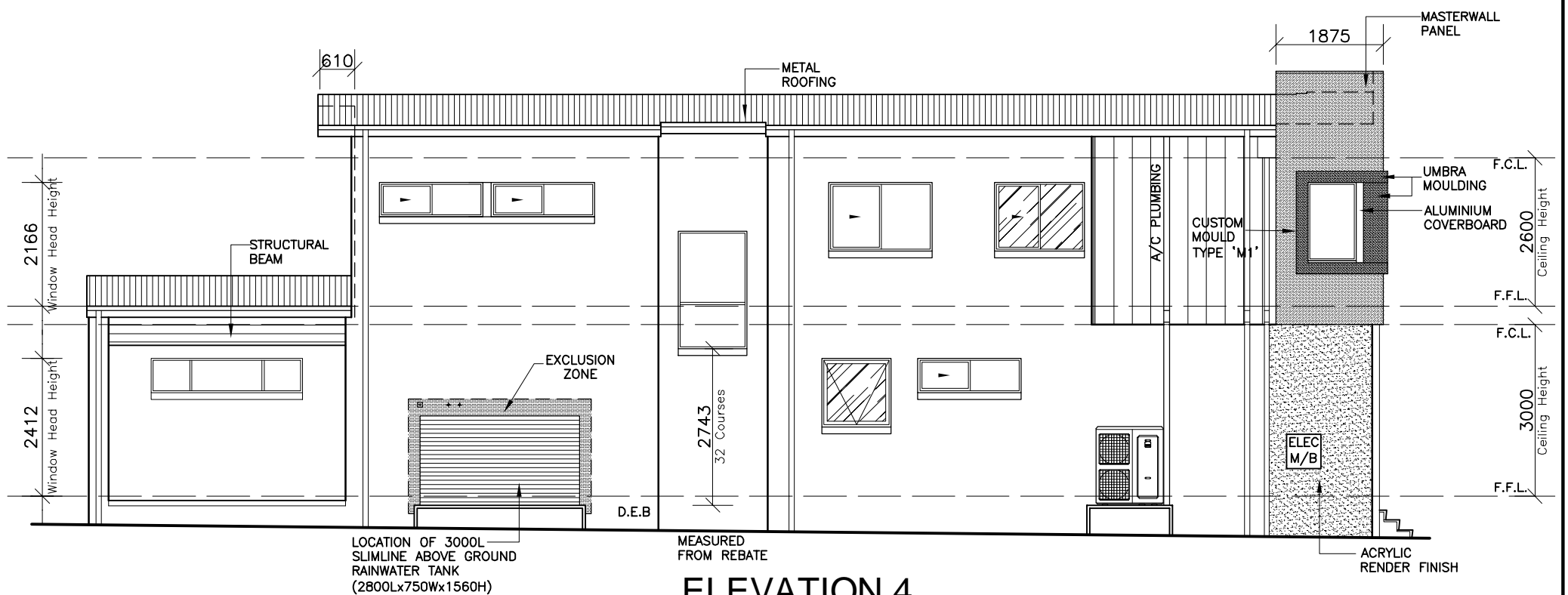
 DENOTES WINDOWS WITH 6.38MM TRANSLUCENT LAMINATED GLAZING

NOTES:
FOR DROP-OFF'S REFER TO FRAMING DETAILS
CDN 21.010-21.080

NOTE:
FOR ROOF PITCHES 20° OR LOWER - ROOF TILE SELECTION WILL BE IMPACTED.



**ELEVATION 3
-NORTH-**



**ELEVATION 4
-WEST-**

CLIENT'S SIGNATURE: _____ DATE: _____

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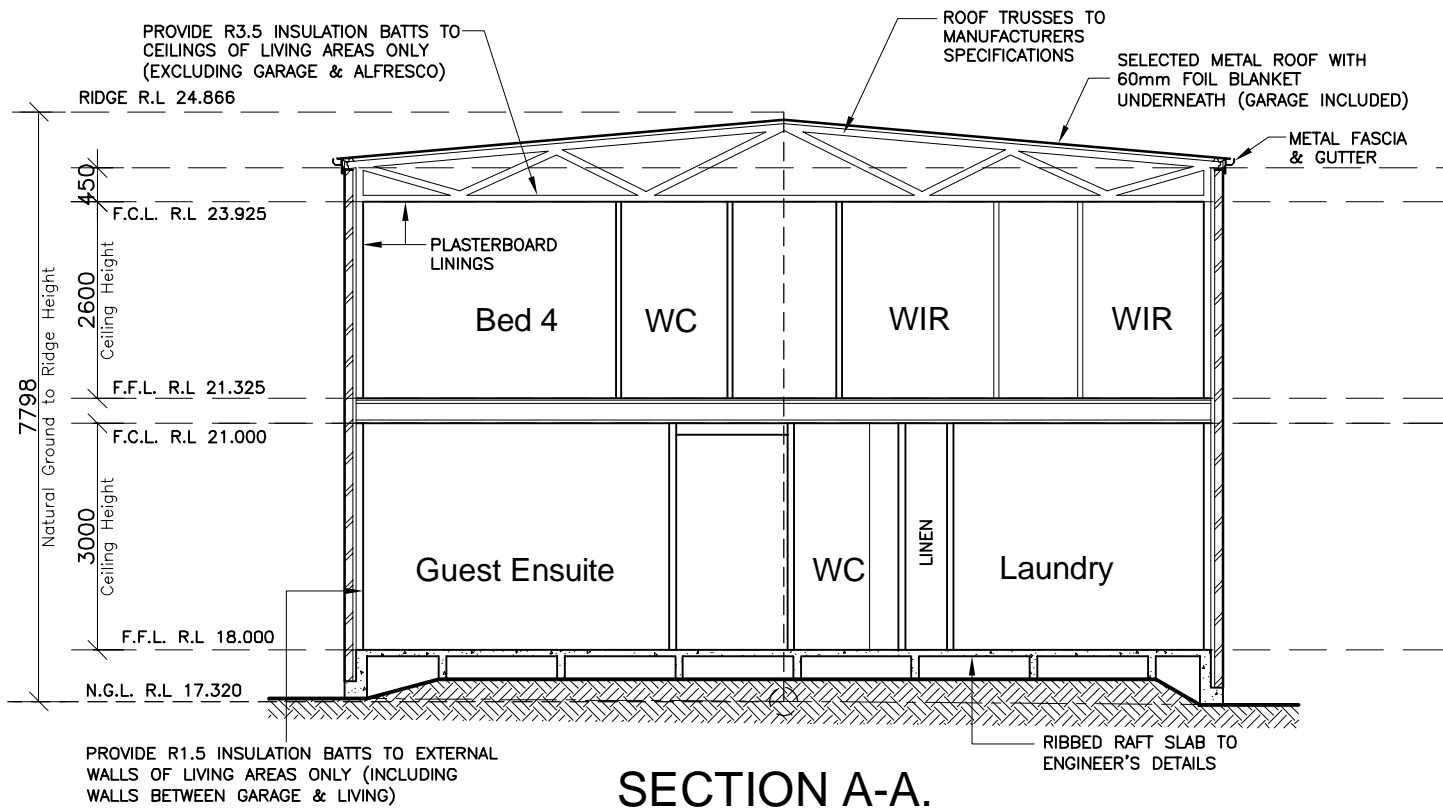
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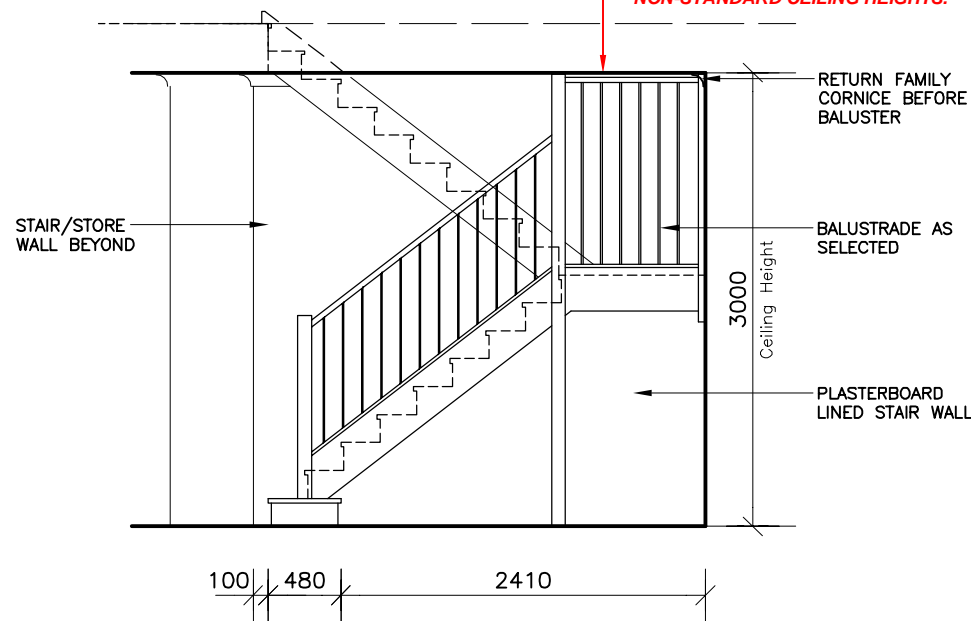
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The Causeway
STRATHFIELD SOUTH 2136

DA DRAWINGS			
DRAWN: PG.	DATE: 08.12.20	Rev:	H
RATIO @ A3: 1:100	CHECKED: J.S		
SHEET: 6	JOB No: 29914372		NSW

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND FLOOR TO BE 2340mm(H)

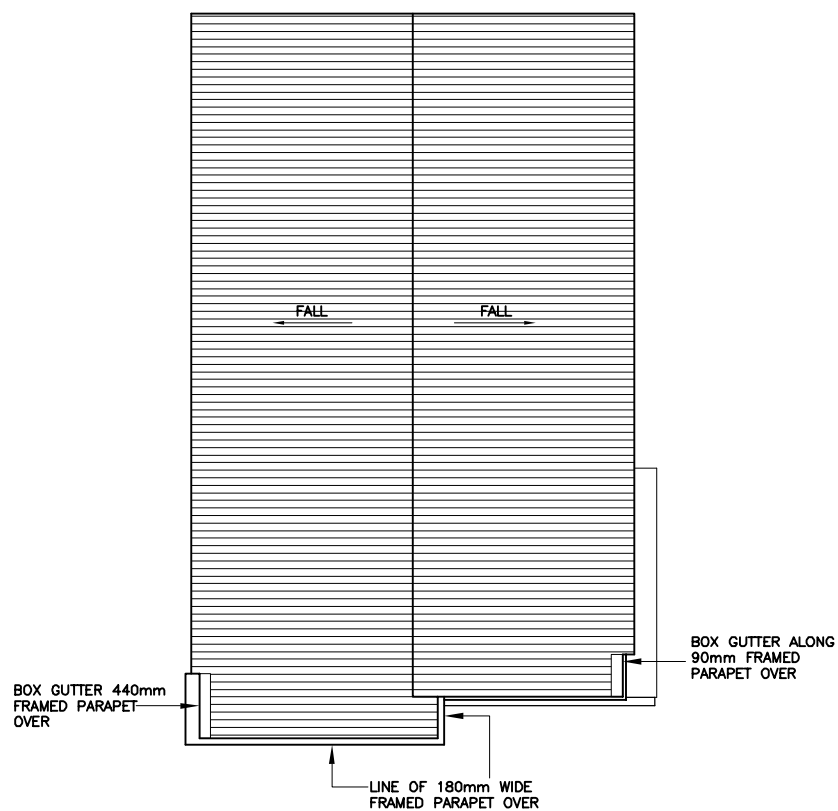


NOTE: THIS SECTION OF BALUSTRADE IS TO FINISH TO UNDERSIDE OF CEILING AND TO BE ADJUSTED AS REQUIRED FOR NON-STANDARD CEILING HEIGHTS.



STAIR ELEVATION

VIEWED FROM FAMILY
SCALE 1:50



ROOF PLAN

SCALE: 1:200

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

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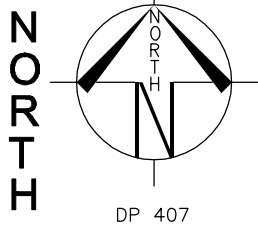
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R/H Garage
Sapphire Specification

CLIENT:
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The Causeway
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DA DRAWINGS

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RATIO @ A3: 1:100	CHECKED: J.S	H
SHEET: 7	JOB No: 29914372	NSW



LOT 36
D.P: 407 SEC: 1
L.G.A: STRATHFIELD

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
STRATHFIELD DCP 2005

SEC 1
 LOT 8

SEC 1
 LOT 7

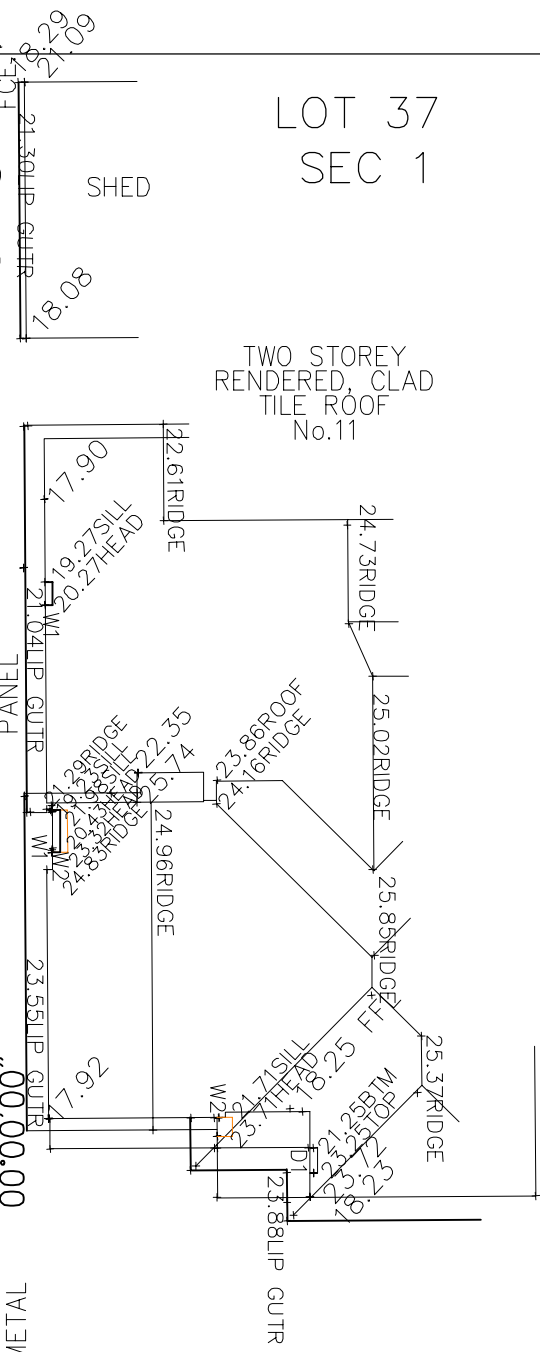
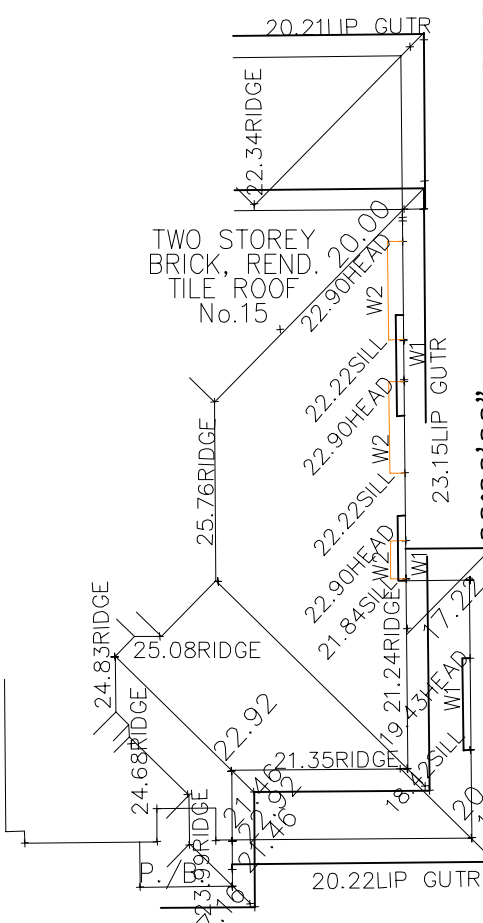
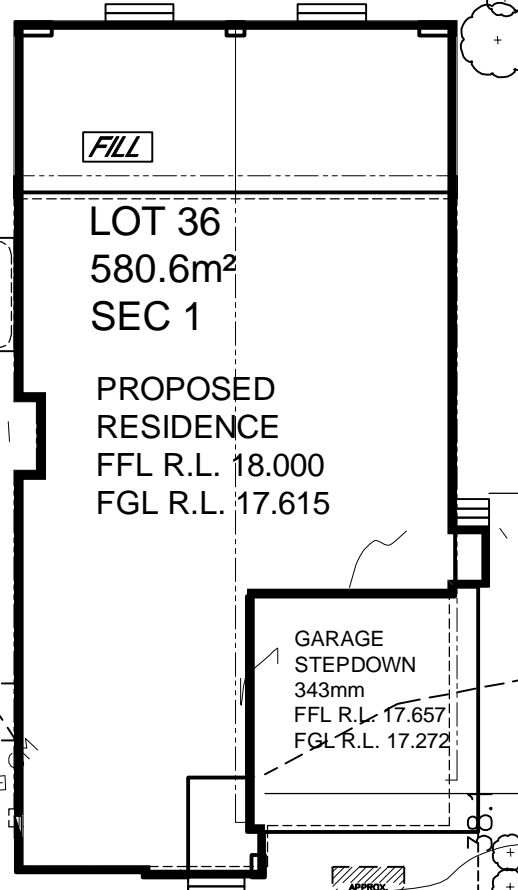
SEC 1
 LOT 6

APPROX. LOCATION OF SEWER SEE SEWER DIAGRAM

LOT 35
 SEC 1

LOT 37
 SEC 1

APPROXIMATE LOCATION OF SEDIMENT FENCE



SEDIMENT FENCE AROUND WASTE MATERIALS
 PORTABLE TOILET

ALL WEATHER ACCESS POSITION

NOTE:
 TEMPORARY SECURITY FENCING TO THE PERIMETER OF THE BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO THE SITE

NOTE:
 GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS

THE CAUSEWAY

SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BAGS AND TRAPS SHALL BE CLEARED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

SEDIMENT FENCE
 NOT TO SCALE

CONSTRUCTION MANAGEMENT PLAN
EROSION AND SEDIMENT CONTROL PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

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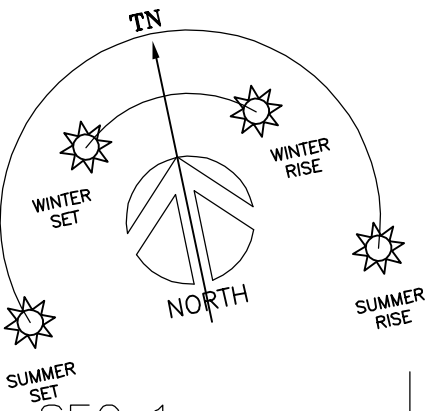
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NORTH



LOT 36
D.P: 407 SEC: 1
L.G.A: STRATHFIELD

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IN ACCORDANCE WITH
STRATHFIELD DCP 2005

SEC 1
LOT 8

SEC 1
LOT 7

SEC 1
LOT 6

APPROX. LOCATION OF SEWER SEE SEWER DIAGRAM

LOT 35
SEC 1

LOT 37
SEC 1

LOT 36
580.6m²
SEC 1
PROPOSED RESIDENCE
FFL R.L. 18.000
FGL R.L. 17.615

GARAGE
STEPDOWN
343mm
FFL R.L. 17.657
FGL R.L. 17.272

TWO STOREY
RENDERED, CLAD
TILE ROOF
No.11

TWO STOREY
BRICK, REND.
TILE ROOF
No.15

1/2 NUMBER OF STOREYS

P PRINCIPAL PRIVATE OPEN SPACE

MAIN VIEWS

NOISE IMPACT

PREVAILING WINDS

THE CAUSEWAY

SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: DATE:

ClarendonHomes

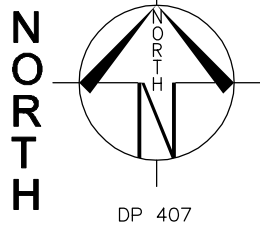
BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
BOSTON 42
Malibu
R/H Garage
Sapphire Specification

CLIENT:
Ms. TAN
SITE ADDRESS:
Lot 36 No.13
The Causeway
STRATHFIELD SOUTH 2136

DA DRAWINGS		
DRAWN: PG.	DATE: 08.12.20	Rev:
RATIO @ A3: 1:200	CHECKED: J.S	H
SHEET: 2.2	JOB No: 29914372	NSW



LOT 36
D.P: 407 SEC: 1
L.G.A: STRATHFIELD

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
STRATHFIELD DCP 2005

SEC 1
 LOT 8

SEC 1
 LOT 7

SEC 1
 LOT 6

APPROX. LOCATION
 OF SEWER

SEE

SEWER

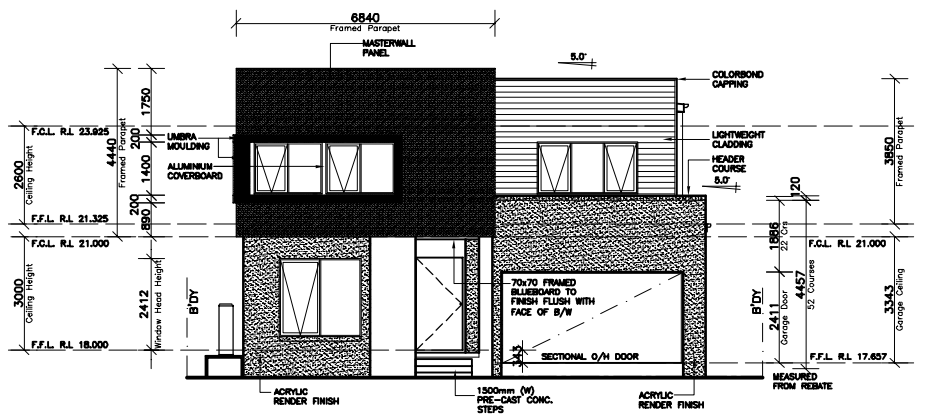
DIAGRAM

LOT 35
 SEC 1

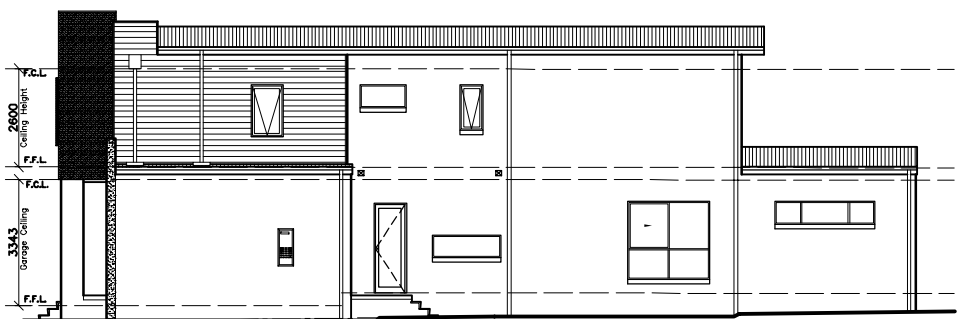
LOT 36
580.6m²
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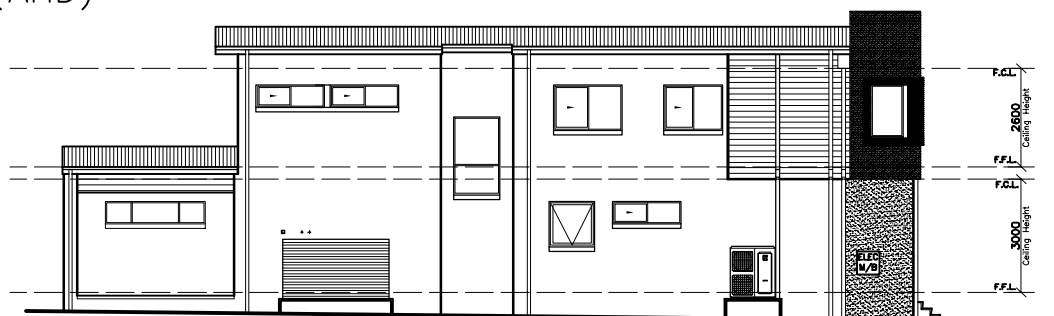
ELEVATION 1
-SOUTH-



ELEVATION 2
-EAST-



ELEVATION 3
-NORTH-



ELEVATION 4
-WEST-

THE CAUSEWAY

NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE:

DATE:

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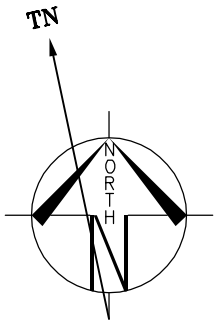
PRODUCT:
BOSTON 42
 Malibu
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 Sapphire Specification

CLIENT:
 Ms. TAN
 SITE ADDRESS:
 Lot 36 No.13
 The Causeway
 STRATHFIELD SOUTH 2136

DA DRAWINGS

DRAWN: PG.	DATE: 08.12.20	Rev: H
RATIO @ A3: 1:200	CHECKED: J.S	
SHEET: 2.3	JOB No: 29914372	NSW

North



DP 407

LOT 36
D.P: 407 SEC: 1
L.G.A: STRATHFIELD

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
STRATHFIELD DCP 2005

SEC 1
LOT 8

SEC 1
LOT 7

SEC 1
LOT 6

APPROX. LOCATION
OF SEWER

SEE

SEWER

DIAGRAM

MET 270'00'00" PAN. FCE

15.24

78.6

60.29

21.30

18.08

LOT 35
SEC 1

LOT 37
SEC 1

SHED

TWO STOREY
RENDERED, CLAD
TILE ROOF
No.11

TWO STOREY
BRICK, REND.
TILE ROOF
No.15

LOT 36
580.6m²
SEC 1

Shadow outline for JUN21-3.00pm

Shadow outline for JUN21-12.00pm

APPROX. LOCATION
OF SEWER

THE CAUSEWAY

BM 13
RL16.24
(AHD)

Shadow outline for JUN21-9.00am

SHADOW DIAGRAM @ 21st JUNE

CLIENT'S SIGNATURE:

DATE:

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
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RATIO @ A3: 1:200	CHECKED: J.S	H
SHEET: 2.4	JOB No: 29914372	NSW