

Statement of Environmental Effects

Report prepared for development at:

14 Broughton Street Strathfield

Proposed development:

**Demolition of existing structures and the construction of
new double storey home with basement, inground
swimming pool and associated landscaping**

January 2022

Local authority:
Strathfield Council

**STRATHFIELD COUNCIL
RECEIVED**

DA2022.17

DATE 2 February 2022

Table Of Contents

Introduction	3
Location	3
Site Analysis	5
Proposal	5
State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004	6
State Environmental Planning Policy No 55 – Remediation of Land	7
Strathfield Local Environmental Plan 2012	8
Strathfield Development Consolidated Control Plan (DCP) 2005	9
Conclusion	24

Introduction

This document has been prepared to provide supporting information for application at 14 Broughton Road Strathfield. This application proposes the demolition of the existing structures and trees and the construction of a two storey dwelling and basement, swimming pool and the associated landscaping.

This report should be read in conjunction with the following documents:

Document:	Prepared by:
Arboricultural Impact Assessment	Abnoba Arbor
Design Drawings	CLD Studio
Contour Survey	Azimuth Surveyors PTY LTD
Stormwater Plans	NY Civil Engineering
Flood Impact Statement	NY Civil Engineering
Geotech Report	Eswnman PTY LTD
BASIX and NatHERS Certificates	Sustainability-Z PTY LTD
Cost Estimate	Duotax

Location

The subject site is located at 14 Broughton Road Strathfield and is legally known as 1/-/923396. The site has a site area of 556.4m² and is of rectangular shape.



Figure 1: Zoning Map Overlay – Planning Portal Spatial View

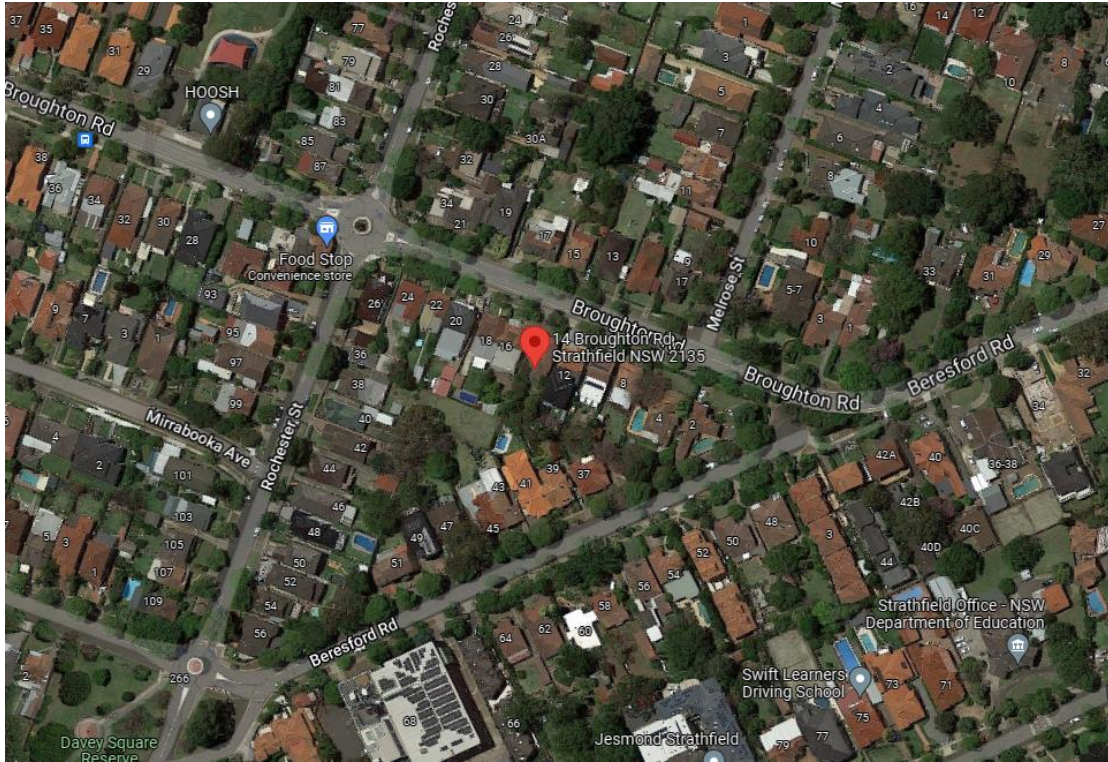


Figure 2: Aerial View – Google Maps



Figure 3: Streetview of subject site – Google Maps

Site Analysis

The subject site is rectangular and faces Broughton Road. The block is 12.19m wide and 45.72m deep with an area of 556.4m². The site has approximately 0.75m fall from the rear boundary to the front boundary. The block is not burdened with any registered easements. The subject block faces north. Currently a single storey brick residence with tiled roof resides on site.

12 Broughton Road adjoins the site to the east and is occupied by a two storey rendered brick residence. The single storey section towards the front has been renovated and the addition of a two storey section has been attached to the existing dwelling. 16 Brought Road adjoins the site to the west and is occupied by a rendered brick and tiled roof residence. No garage is visible from the street.

Proposal

The Development Application proposes the demolition of all existing structures and marked trees on the site and the construction of a double storey home with basement, inground swimming and associated landscaping at 14 Broughton Road Strathfield. The dwelling contains 5 bedrooms, 4 bathrooms, 1 study, 6 living areas and 2 car spaces.

The total GFA of the proposed development is 342.2m² which equates to 0.61:1. The total proposed landscaped area is 196.68m² which equates to 35.3%.

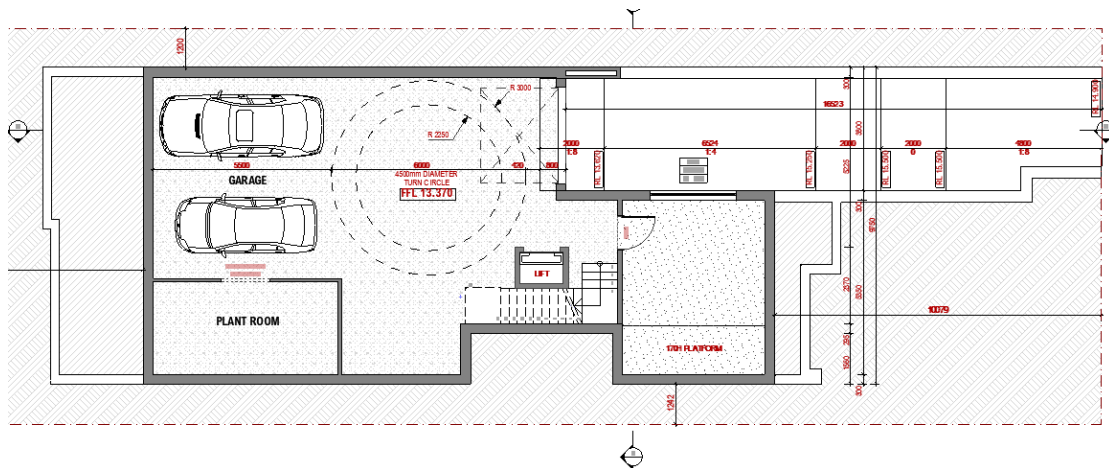


Figure 4: Basement Level – CLD Studio

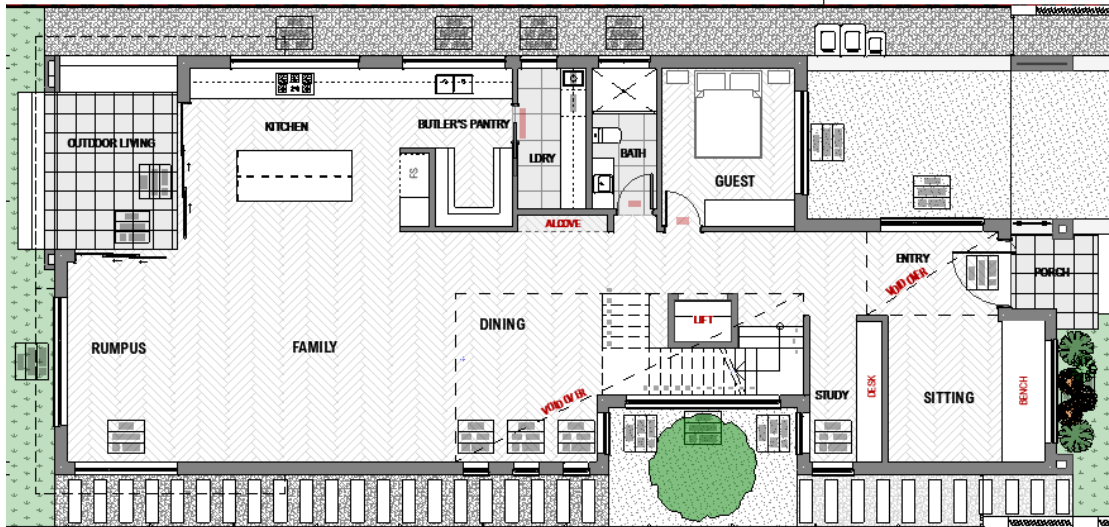


Figure 5: Ground Level – CLD Studio

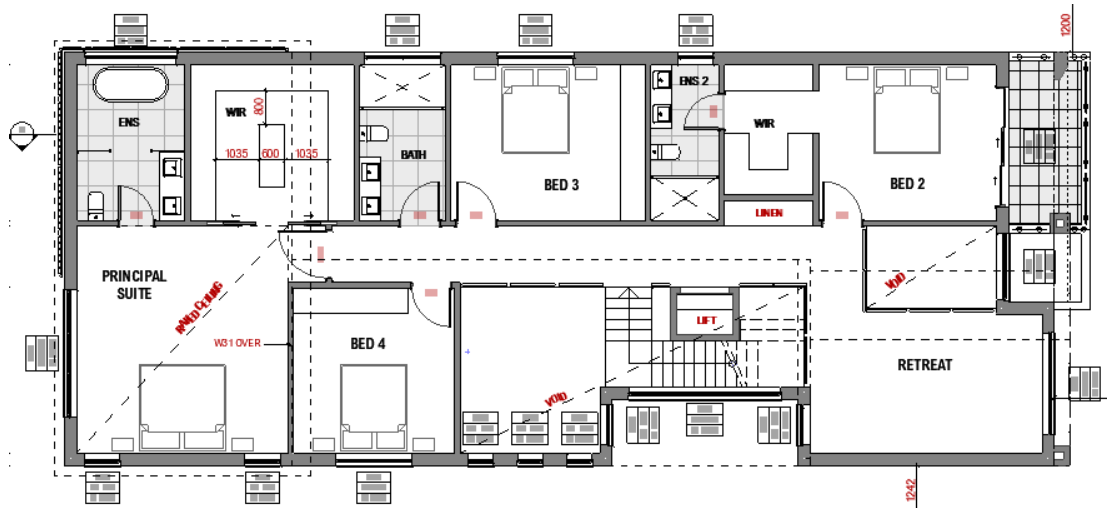


Figure 6: First Level – CLD Studio

State Environmental Planning Policy (BASIX) 2004

The proposed development has been assessed under the Building Sustainability Index (BASIX) and is accompanied by a BASIX and NatHERS certificate. Refer to the supporting BASIX and NatHERS for further detail.

State Environmental Planning Policy No 55 – Remediation of Land**7 Contamination and remediation to be considered in determining development application**

- (1) A consent authority must not consent to the carrying out of any development on land unless:
- (a) it has considered whether the land is contaminated, and
 - (b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and
 - (c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.
- (2) Before determining an application for consent to carry out development that would involve a change of use on any of the land specified in subclause (4), the consent authority must consider a report specifying the findings of a preliminary investigation of the land concerned carried out in accordance with the contaminated land planning guidelines.
- (3) The applicant for development consent must carry out the investigation required by subclause (2) and must provide a report on it to the consent authority. The consent authority may require the applicant to carry out, and provide a report on, a detailed investigation (as referred to in the contaminated land planning guidelines) if it considers that the findings of the preliminary investigation warrant such an investigation.
- (4) The land concerned is:
- (a) land that is within an investigation area,
 - (b) land on which development for a purpose referred to in Table 1 to the contaminated land planning guidelines is being, or is known to have been, carried out,
 - (c) to the extent to which it is proposed to carry out development on it for residential, educational, recreational or childcare purposes, or for the purposes of a hospital—land:
 - (i) in relation to which there is no knowledge (or incomplete knowledge) as to whether development for a purpose referred to in Table 1 to the contaminated land planning guidelines has been carried out, and
 - (ii) on which it would have been lawful to carry out such development during any period in respect of which there is no knowledge (or incomplete knowledge).

The subject site is not considered to be of contaminated or remediation land

Strathfield Local Environmental Plan 2012

The site is zoned R2 Low Density Residential under the provision of the Strathfield Local Environmental Plan 2012. The proposed development is permissible with Council's consent.

	Control	Proposed	Compliance
2.1 Zoning	R2 – Low Density Residential	Dwelling house and swimming pool	Yes
4.1 Minimum subdivision lot size	560m ²	No subdivision is proposed	Yes
4.3 Height of Building	9.5m	9.1m	Yes
4.4 Floor Space Ratio	0.625:1	0.615:1	Yes
5.1 Heritage Conservation	Conservation area: No 11-17 Broughton Road General item: No 4, 5 and 16 Broughton Road	The proposed development will not adversely impact the indicated heritage conservation dwellings	Yes
6.1 Acid Sulfate Soils	Class 5		Yes

Table 1: LEP Compliance table

Strathfield Development Consolidated Control (DCP) 2005

The site has been assessed against the current Strathfield Consolidated Development Control Plan 2005. It was adopted by the Strathfield Council on 4 April 2006 and came into effect on 3 May 2006.

Compliance with Part A of SDCP2005 provisions are detailed as table follows:

Strathfield Council Part A of Strathfield Consolidated DCP 2005 – Dwelling Houses and Ancillary Structures			
Clause	Control	Proposed	Complies
2.2.1 Streetscape Presentation	New dwellings must be positioned and oriented on their site to address the street frontage with a clearly identifiable entry.	The proposed dwelling is orientated on the site to clearly address the street frontage and to provide a clear entry.	YES
	Consistently occurring positive building façade features within the existing streetscape should be incorporated into the proposed dwelling design such as roof shape, pitch and overhangs; entry porches, verandas, balconies and terraces; materials, finishes, fixtures, patterns, fenestrations, colours and detailing; and the location and proportion of windows and doors. Excessive parapets, irregular-shaped and irregular-spaced windows, excessive glazing to building facades and double-height vertical elements including columns are not permitted	The proposed dwelling is designed whilst considering and drawing dominant features from immediate streetscape. The dwelling will seemingly fit within the streetscape and provide a positive impact to it's neighbouring properties..	YES
	Streetscape elements that should be taken into account in the design of new and altered residential development include topography; width and location of	The design of dwelling has taken into account of the existing topography and the immediate height, scale,	YES

	carriageway; street tree planting and landscaping; allotment size/width; boundary fences; setbacks; building character and scale; bulk; setback and rhythm; and roof forms.	character and form of the existing streetscape.	
	Where security grilles/screens, ventilation louvres and garage doors are proposed, they must be integrated into facade designs. Solid security shutters will not be permitted.	The proposed garage door is at basement level, well below the ground level and setback from the public domain that it has little visual presence in the streetscape.	YES
2.2.2 Scale, Massing and Rhythm of Street	The building form must be articulated to avoid large expanses of unbroken wall. Articulation can be provided by setbacks, verandahs, awnings, recesses, blade walls or projecting bays.	The proposed design have provided recesses, courtyards, blade walls, parapet walls and screening features to provide well articulated forms on all four elevation and to avoid long expansion of unbroken walls.	YES
	Where a dwelling is located on a street corner it shall be designed to address both street frontages as shown in Figures A.5 and A.6. Blank walls shall not be presented to either frontage and walls shall be articulated or staggered so as to avoid appearing unduly bulky or long.	N/A	YES
	An attic may be built in the roof space of either a two (2) storey dwelling or a single storey dwelling or garage provided access to the attic is via internal stairs.	No attic is proposed.	YES
	Attics are prohibited in flat roofed developments.	No attic is proposed.	YES
	Rooftop terraces are prohibited in dwelling houses, secondary dwellings and ancillary developments.	No rooftop terrace is proposed.	YES
2.2.4 Architectural Detailing, including Roof Forms, Materials and Colours	The proposed roof design must be similar in pitch, materials and colour to roofs in the immediate streetscape. Roof forms should complement, but not necessarily replicate the predominant form in the locality.	The proposed roof form complements the immediate streetscape to be consistent streetscape form.	YES
	The proposed roof form shall minimise the appearance of bulk and scale of the building and be treated as an important architectural element in the street. First floor additions must complement the architectural style of the ground floor and where possible permit the existing roof form, slope and ridge to be easily discerned.	The proposed roof form is designed to minimize the appearance of bulk and scale. Horizontal elements and parapet walls are used to articulate the façade to minimize the scale and bulk appearance of the dwelling.	YES
	For flat roofed dwellings, the height of the parapet is to be kept to the minimum height required to ensure adequate screening of the proposed flat or low pitch skillion roof.	The parapets enclosing the low pitch room on the western boundary is kept to a minimum.	YES

	Roof structures must be designed so that roof installations including solar energy panels, telecommunication facilities, hot water tanks or skylights are not visible from the public domain and are integrated into the design of the development.	Roof structures are located to be not visible from the public domain.	YES
	Materials must be compatible with the existing dwelling house (in the case of alterations and additions) and compatible with adjoining dwelling houses and the streetscape in terms of type, form and colour.	The building material used are considered compatible with adjoining properties, noting that masonry brickwork is the dominant material of the streetscape.	YES
	Monotone face brick walls and terracotta tiles for roofs shall be used where they are existing in the immediate streetscape. Alternative materials may be considered as architecturally appropriate to the style of the dwelling and the locality in some circumstances.	Whilst brick and tiled roofs are the dominant existing material of the streetscape, the proposed dwelling and its materials were designed to be sympathetic to the streetscape and to fit into street seemingly while also considering the use of modern materials and finishes.	YES
	Highly reflective materials are not acceptable for roof or wall cladding. New buildings and facades must not result in glare that causes discomfort or threaten the safety of pedestrians or motorists. A Reflectivity Report that analyses the effects of potential glare from the proposed new development on pedestrian and motorists may be required by Council.	Materials selected are of low reflectivity and will not result in glare that causes discomfort or threaten the safety of pedestrians or motorists.	YES
	New development must incorporate colour schemes that have a hue and tonal relationship with the traditional colours or the predominant colours of the street.	Refer to the accompany material palette. The scheme is designed to be sympathetic with the traditional colours of the streetscape.	YES
	The colours of garages, window frames, ventilation and downpipes and balustrading on main facades and elevations must be integrated harmoniously with the external design of the building.	Refer to the accompany material palette. The scheme is designed to ensured that these elements are integrated harmoniously with the external design of the building.	YES
2.2.5 Two (2) Storey Porticoes	Two (2) storey porticoes may be considered only where they are in scale with the proposed dwelling and compatible with the streetscape and any adjoining heritage items.	No two storey porticos are proposed.	YES
	Two (2) storey porticoes are to be vertically articulated or broken to reduce their height as illustrated in Figure A.7.	No two storey porticos are proposed.	YES
	No porticoes or associated porches shall protrude more than 1m forward of the front building façade.	That proposed portico slab extends 0.96m forward of the front building façade.	YES
	Porticoes are not to extend higher than the understorey of the eaves/guttering.	No two storey porticos are proposed.	YES

2.2.6 Dormers	Where compatible with the architectural design of a dwelling, dormers (whether gabled, hipped or eye-lid) need to be traditionally proportioned and rectilinear.	No dormers are proposed.	YES
	The form and location of dormer windows to existing buildings should not overwhelm or detract from the integrity of the original building, especially heritage items and dwellings in heritage conservation areas.	No dormers are proposed.	YES
3 HERITAGE	REFER TO PART P	N/A	YES
4.2.1 Floor Space Ratio	The maximum floor space ratio (FSR) permitted on a site is indicated on the SLEP 2012 Floor Space Ratio Map.	0.625:1 = 347.75m ² Provided FSR = 342.23m ²	YES
	Development must be compatible with the lot size. Larger sites should not allow dwellings that are so large and bulky that they would create undesirable environmental impacts. Smaller sites must provide for adequate sized dwellings.	The proposed dwelling meets the maximum FSR, refer to the above.	YES
4.2.2 Building Height	The maximum height of dwelling houses in accordance with the SLEP 2012 Height of Buildings Map is 9.5 metres.	The proposed height of the building is 9.09m	YES
	The maximum height to the top of parapet for flat roofed dwelling houses is to be 7.8 metres.	The proposed height of the parapet wall is 8.3m from natural ground. A variation is requested as this is considered minor and a result from the floor level required to sufficiently satisfy the overland flow requirement. Additionally the parapet wall is kept to a minimum height and is non-compliant at the front north west corner. The overall building height is well within the council limits. This non-compliance does not adversely impact the neighbouring amenities.	NO – Merit
	The maximum height of the parapet wall for flat roofed dwelling houses is to be 0.8 metres above the uppermost ceiling level.	The proposed height of the parapet wall is 0.86m from the uppermost ceiling level. A variation is requested as this is considered minor and a the wall is kept to a minimum to allow for adequate flashing and drainage of the roof.	NO – Minor discrepancy
	The maximum height of the external wall from the existing ground level to the underside of the uppermost ceiling level is to be 7.2 metres.	The proposed dwelling has a 7.45m external wall height from the uppermost ceiling to the existing ground level. A variation is requested as this is considered minor and a result from the floor level required to sufficiently satisfy the overland flow requirement.	NO – Minor discrepancy

		Additionally, the non-compliance is only at at the north west corner of the first floor and the remaining 90% is compliant. This non-compliance is considered not to adversely impact the neighbouring amenities.	
	The maximum internal floor to ceiling height is to be 3.0 metres for any residential level.	The proposed ceiling height for ground floor is 2.9m and first floor is 2.7m.	YES
	The maximum height of outbuildings, detached garages and carports is to be 3.5m to the highest point on the roof above natural ground level	No outbuilding is proposed.	YES
	Dwelling houses and any ancillary structures are to be no more than two (2) storeys high.	The proposed dwelling comprises of two storeys plus basement level	YES
	The building height should respond to the gradient of any given site and minimise the need for cut and fill.	N/A	YES
4.2.3.1 Street Setbacks	Minimum street setback required: 9m Despite Subclause 1 above, a primary street setback of less than 9m may be considered where: a) The predominant front setback in the street is less than 9m; b) The proposed setback is not less than the setback of the existing dwelling; or c) The proposed setback would not conflict with the character of the existing streetscape.	9m front setback to the main building façade is provided.	YES
4.2.3.2 Side and Rear Setbacks	New dwellings and extensions (where the building footprint is proposed to be altered) are to have a combined side setback equivalent to 20% of the width of the block (measured at right angles for splayed frontages). The combined side setback may be unevenly distributed between both sides as long as a minimum side setback of 1.2m is provided on each side. Where an allotment is deemed to be undersized or irregular, a variation to the minimum setback may be considered (e.g. blocks less than 12m wide). Examples of side and rear setbacks are provided in Figure A.11.	$12.19 \times 20\% = 2.438\text{m}$ The combined setback provided = $1.242 + 1.2 = 2.442\text{m}$	YES
	Dwellings are to have a minimum rear setback of 6m to provide adequate open space and deep soil areas for shading/screening trees.	Provided rear setback is 13.078m	YES
	Subject to meeting the minimum landscaped area (as per section 5 of this part of the DCP) in the rear of the site,	N/A	YES

	ancillary facilities such as garages/outbuildings may be located within the rear setback area.		
4.2.4 East-West Lots	For east-west oriented lots with the primary street frontage facing east, the minimum side setback should be on the north and the larger side setback should be on the south so that overshadowing is reduced.	N/A	YES
	The southern side setback should be utilised for the driveway/garage entry so that potential overshadowing of adjacent properties is reduced.	N/A	YES
5.2.1 Landscaped Area	The minimum landscaped area required: 38.5%	35.3% (196.68m ²) of site is landscaped area. Refer to the accompany design drawings for calculation. A variation to this control is requested as this is considered to be a minor discrepancy. The considered landscaped areas does not include the pool and areas less than 1.5m. If the pool is removed the landscaped area would be 41.1% (228.83m ²). For a block this size, the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008, requires a minimum landscaped area of 20% (111.28m ²) which the proposed application exceeds significantly. On this basis, we request that council considers a variation for the minor non-compliance of the landscaped area.	NO-Minor discrepancy.
	At least 50% of the minimum landscaped area should be located behind the building line to the rear boundary.	This control has been achieved.	YES
	At least 50% of the front yard should be maintained as deep soil soft landscaping.	This control has been achieved.	YES
	The amount of hard surface area (in the form of concrete/brick/stone paving and bitumen) shall be minimised to reduce run-off and to maintain the prevailing early twentieth century garden character. Run off from hard surfaces is to be directed to permeable surfaces such as garden beds.	The amount of hardscaped areas are minimized and limited to only the driveway.	YES
	Planting areas shall include a mix of low-lying shrubs, medium-high shrubs and canopy trees in locations where they will soften the built form.	Refer to the accompanying landscape concept design.	YES
	The design and quality of front gardens	Refer to the accompanying	YES

	must respond to the character of the street and surrounding area and contribute to the garden character of Strathfield.	landscape concept design.	
	Where the landscape pattern in the prevailing streetscape and surrounding locality is desirable, this must be retained and reinforced, particularly in relation to heritage items and heritage conservation areas.	Refer to the accompanying landscape concept design.	YES
	In relation to conservation and energy efficiency, plant species must be retained, selected and planted to: - shade buildings in summer; - reduce glare from hard surfaces; - permit sunlight access into living rooms in cooler months; - cool air currents channeled into the dwelling in summer; and - act as windbreaks where desirable.	Refer to the accompanying landscape concept design.	YES
5.2.2 Tree Protection	Applicants must engage an Australian Qualification Framework (AQF) Level 5 Arborist to prepare an Arboricultural Impact Assessment Report in accordance with Australian Standards 4970: Protection of trees on development sites to determine the feasibility of retaining existing site trees prior to the design of a development.	Refer to the accompanying Arborist Impact Assessment Report prepared by Abnoba Arbor	YES
5.2.3 Private Open Space	Private open space is to be provided in a single parcel rather than a fragmented space and shall be directly accessible from internal living areas of the dwelling.	The private open space is proposed at the rear of the dwelling which is directly accessible from the internal living room.	YES
	The principal private open space area should be generally level and may be in the form of a deck, patio, terrace or paved area. The principal private open space must include a deep soil area compliant with the minimum landscaped area.	The area of private open space is both level and appropriately landscaped and includes the provision of sufficient deep soil area.	YES
	For terraces and decks to be included in calculations of areas for private open space, they must be of a usable size (at least 10m ²) with one length or width being at least 3 metres and be directly accessible from an internal living area of the dwelling. To be included in a calculation of private open space, decks cannot be located more than 500mm above natural ground level.	N/A	YES
	Areas within setbacks are not to be included as private open space unless they have a minimum width of 3m.	Area within the side setback is not used as the private open space.	YES
	The primary private open space is to be located at the rear of the property.	The private open space is proposed at the rear of the dwelling.	YES
5.2.4 Fencing	Front and side fencing including fencing facing the secondary street on a corner site must be designed to be sympathetic to the	The front fencing is designed to be sympathetic with the existing streetscape. Brick and	YES

	particular style of the dwelling and be compatible with the style and height of fencing on adjoining properties and the streetscape. A number of different styles of fencing appropriate to particular architectural styles are illustrated in Figure A.12 and Figure A.14 below.	infill panels dominate the streetscape of Broughton Road and the proposed design will fit seemingly within the streetscape.	
	Front fences must not be erected where the streetscape is characterised by an absence of front fences. In these instances, landscaping shall be used to create identifiable street address and privacy.	Front fences is a dominant feature of the immediate streetscape.	YES
	Fencing forward of the building line (including the building line to a secondary street frontage on a corner site) shall not exceed a height of 1.5m. In these cases, a solid fence shall not exceed a height of 0.7m above natural ground level and may be topped by an additional maximum 0.8m high open timber picket, wrought iron, palisade or similar element. Brick piers over 1m in height are permitted to support the decorative elements, provided they are equally spaced along the street and do not exceed a height of 1.5m. Where the predominant height of fencing in the street is higher, the solid fence component shall not exceed a height of 1m.	The proposed fence is a maximum height of 1.3m above the natural ground level. The solid fence is a maximum 0.6m with metal slats above. Brick piers of a height of approximate 1.2m is proposed to support the decorative sections of the front fence.	YES
	Solid fencing up to a maximum 1.8m in height may be permitted along a secondary street frontage, provided it only encloses private open space. The design of any section of solid fencing along a secondary street frontage shall be consistent and compatible with the style of fencing provided along the primary frontage.	N/A	YES
	Side and rear fences (including any retaining walls) are to be no taller than 1.8m, but may be capped with a maximum 300mm of open weave timber lattice privacy screen where the consent of the neighbouring property owner has agreed.	Existing fence is to retained.	YES
	Side fences forward of the front building line shall be designed to taper down to the height of the front fence.	Side fence forward of the building line is consistent with the front fence.	YES
	Front fences should be designed to be visually permeable and where applicable, the main infill panels should have an appropriate width and spacing to provide an open appearance and enable casual surveillance.	Infill panels are proposed in the front fence design.	YES
	Front fences, particularly on busy roads, must be designed to provide adequate acoustic attenuation whilst ensuring an appropriate level of visibility and outlook, casual surveillance, privacy and security.	N/A	YES

	The following materials and finishes are not permitted to be used in any fence forward of the front building line (including the building line to a secondary street frontage on a corner site): <input type="checkbox"/> unrendered cement block; <input type="checkbox"/> galvanised or aluminium sheeting; <input type="checkbox"/> fibre-cement board; <input type="checkbox"/> brushwood; or <input type="checkbox"/> barbed wire.	Face brickwork, rendered brickwork and powdercoated metal slats are proposed materials for the front fence.	YES
	Fencing on corner allotments shall incorporate a minimum 1.5m x 1.5m splay adjacent to the road intersection to maintain sight distances for pedestrians and motorists as illustrated in Figure A.13.	N/A	YES
	Solid fences adjoining vehicular access driveways (including driveways on adjoining properties) are to be provided with a minimum 1m x 1m splay to maintain sight distances for pedestrians and motorists.	Sight distances is maintained with the proposed fence design.	YES
	The remaining areas created by providing a splay adjacent to a road intersection or driveway entrance must be landscaped with low-growing vegetation or suitable paving.	N/A	YES
	Council will not allow significant trees to be removed to facilitate a fence design.	No significant trees are proposed to be removed as result of front fence.	YES
	Side and rear fences on a slope must be designed to allow stormwater to flow through or under the fence without the flow becoming unduly concentrated.	N/A	YES
	Dividing fences between private property and Council parks, reserves, open space, etc. must be constructed only of timber palings (lapped and capped) with a maximum height of 1.8m.	N/A	YES
	Gates or entries from private property onto Council parks, reserves, open space, etc. are permitted, subject to them being kept locked when not in use.	N/A	YES
	Gatehouses are not permitted unless they are compatible with the surrounding streetscape.	N/A	YES
6.2.1 Sunlight access	In new dwellings, solar access to the windows of habitable rooms and to at least 50% of private open space must be provided or achieved for a minimum period of 3 hours between 9.00am and 3.00pm at the winter solstice (June 21).	Refer to the accompanying design drawings, in particular the particular the shadow analysis. The windows of habitable room and private open space will receive a minimum of 3 hours of sun between 9.00am and 3.00pm at the winter solstice (June 21).	YES

	In the case of alterations or additions to existing dwellings, solar access to the windows of habitable rooms and to the majority of private open space must be substantially maintained or achieved for a minimum period of 3 hours between 9.00am and 3.00pm at the winter solstice (June 21).	N/A	YES
	50% of the principal private open space of any adjoining premises should receive solar access for a minimum period of 3 hours between 9.00am and 3.00pm at the winter solstice (June 21).	Refer to the accompanying design drawings, in particular the particular the shadow analysis. The 50% of the principal private open space of neighbouring properties will maintain solar access for a minimum period of 3 hours between 9.00am and 3.00pm at the winter solstice (June 21).	YES
	Where the principal private open space of an adjoining development currently receives less than the required amount of solar access (on 21 June), the proposed development must not further reduce the amount of solar access.		
7.2.1 Building Envelope and Dwelling Layout	Private open space, bedrooms, balconies and living rooms of proposed and any existing adjoining dwellings are to be protected from direct overlooking by locating living areas on the ground floor and orientating them towards the rear and front setback.	Main living areas of the proposed dwelling are located to the rear and front of the dwelling to protect the privacy of the neighbouring properties.	YES
	Provide adequate separation of buildings	Building setbacks are consistent with the streetscape and conforms to the minimum required side setbacks stipulated in the DCP.	YES
	Ensure finished floor levels are not excessively elevated above natural ground level.	The finished floor level is approximately 250mm above the existing dwelling finished floor level and is located as close as practicable.	YES
	Appropriate evergreen screen plants and trees may assist in providing improved privacy to adjacent properties.	Refer to the accompanying landscape concept plan. Evergreen screen planting is provided to improve the privacy of neighbouring properties.	YES
7.2.2 Windows	Windows should not directly face the windows, balconies and courtyards of adjoining dwellings.	Proposed windows of habitable rooms have been placed to avoid directly facing neighbouring habitable rooms and private courtyards.	YES
	Where a transparent window is to be located within 9m of any window of a habitable room of an adjoining dwelling,	Proposed windows of habitable rooms have been placed to avoid directly facing	YES

	<p>the window must:</p> <p>a) be offset from the edge of any windows in an adjoining dwelling by a distance of at least 0.5m; or</p> <p>b) have a sill height of at least 1.7m above the finished floor level or have fixed, obscure glazing in any part of the window less than 1.7m above the floor level.</p> <p>Where windows directly face a balcony or courtyard of an adjoining dwelling, the windows should:</p> <p>a) be narrow; and/or</p> <p>b) incorporate obscure glazing; and/or</p> <p>c) have a sill height of at least 1.7m above the finished floor level.</p>	neighbouring habitable rooms.	
7.2.3 Elevated Decks, Verandahs and Balconies	Elevated decks, verandahs and upper storey balconies are not permitted on side boundaries, except where facing the secondary frontage of a corner lot, and provided other setback controls can be achieved.	No elevated decks are proposed to face side boundaries.	YES
	Elevated decks, verandahs and balconies shall incorporate privacy screens where necessary.	The front balcony is of a size that will not adversely impact the privacy of the neighbouring property.	YES
	Small upper floor rear balconies measuring no more than 1m in depth by 2m in length may be permitted where an applicant can demonstrate that the balcony would not unreasonably impact upon the privacy of adjoining premises (including buildings and outdoor spaces).	No rear balcony is proposed.	YES
7.2.4 Acoustic Privacy	The provisions of State Environmental Planning Policy (Infrastructure) 2007 and Development near Rail Corridors and Busy Roads Interim Guideline must be taken into consideration when designing a development to minimise impacts of busy roads and railway corridors on dwelling houses.	N/A	YES
	Noise-sensitive rooms, such as bedrooms, should be located away from noise sources, including main roads, parking areas, living areas, recreation areas and the like. Conversely, entries, halls, storage rooms, bathrooms and laundries should be located in areas more affected by noise.	The proposed home has been designed to orientate private open spaces and noise sensitive rooms away from noise sources and to result in any unreasonable impact to the acoustic privacy to neighbouring dwellings.	YES
	Suitable acoustic screen barriers or other noise mitigation measures such as double glazing, laminated glass, vibration-reducing footings or other materials, should be considered to minimise the effects of noise and/or vibrations where physical separation cannot be achieved.	N/A	YES
	Development applications for dwellings	N/A	YES

	affected by high levels of external noise must be accompanied by an acoustic report demonstrating that habitable rooms of dwellings may achieve internal noise levels of no greater than 35 dBA.		
8.2.1 Driveway and Grades	Existing driveways must be used unless the applicant can demonstrate that: (a) relocation would improve solar access to the property and/or adjoining properties; (b) the amenity of any adjoining residences would not be unduly affected (with regard to sleeping areas); (c) relocation would not impact on street trees, bus stops, bus zones, powerlines and other services, on street parking, heritage values or the streetscape; and (d) relocation would not adversely impact the safety of motorists or pedestrians.	Extension of the existing driveway and crossover is proposed.	YES
	The width of driveways at the property boundary is to be 3m.	The proposed driveway width is 2.7m at the property boundary.	YES
	The edge of driveway crossings, including apron and layback shall be located a minimum of 1m clear of any existing stormwater pits or poles and 2m clear of the trunk of any trees within the road reserve.	The edge of driveway crossover is not located within 1m of existing stormwater pits or 2m of tree trunks.	YES
	Vehicle access points and parking areas must: - be easily accessible and recognisable to motorists; - not disrupt pedestrian flow and safety; and - be located to minimise traffic hazards and the potential for vehicles to queue on public roads.	The existing vehicle access point is being retained and is easily identifiable.	YES
	A maximum of one (1) vehicular crossing to any public road will be permitted per property except for corner allotments where Council may consider one on each frontage in appropriate circumstances.	One vehicular crossing is proposed.	YES
	Vehicles accessing sites which front main roads shall be capable of entering and exiting in a forward direction (i.e. vehicle manoeuvring shall be fully maintained within the site).	A vehicular turn-table is proposed to allow vehicles to exit the basement in a forward direction.	YES
	Vehicular turning areas for garages shall comply with the relevant Australian Standard.	A vehicular turn-table is proposed to allow vehicles to exit the basement in a forward direction.	YES
	Where properties have access to a rear lane or secondary street frontage, parking and access shall be provided from the secondary street/lane.	N/A	YES
	Driveways must be designed to avoid a long and straight appearance by using	Driveway is staggered and landscaping adjacent to the	YES

	landscaping and variations in alignment.	driveway is provided.	
	A driveway should be set back a minimum of 0.5 metres from side boundaries to provide for landscaping between the driveway and side boundary.	The proposed driveway is 1.55m from the western side boundary.	YES
	Driveways within the property boundary should incorporate unit paving into the design.	The driveway is proposed will be coloured concrete or stencilled concrete.	YES
	Areas of concrete visible from a public road (including driveways and pedestrian ways) are to be kept to a minimum and coloured charcoal, grey orbrown.	Concrete visible from the public domain is kept to a minimum.	YES
	Kerb and footpath crossings as part of the public domain must only be finished in natural finished concrete and not customised finishes that match the property driveway. Coloured concrete is not permitted in the driveway crossing outside the property boundary.	Plain concrete finish is proposed outside the property boundaries.	YES
8.2.2 Garages, Carports and Car Spaces	Two (2) car parking spaces are to be provided and maintained behind the front building line of all new dwellings (i.e. garage, carport or car space). For lots less than 15m wide consideration may be given to one (1) car space. Where alterations and additions to existing dwellings are proposed and two (2) spaces are available, these spaces must be maintained.	Two car parking spaces located behind the building line is proposed.	YES
	Garages are to be recessed behind the main front facade of the dwelling and/or designed so as not to dominate the appearance of the building or streetscape.	Basement garage is proposed and does not does dominate the appearance of the building.	YES
	Garages should be no more than 150mm above natural ground level at their entry unless the slope of the site exceeds 1:8 (12.5%) in which case a suspended garage may be acceptable.	Basement garage is proposed and is below the natural ground.	YES
	The minimum dimensions of parking spaces and garages shall comply with the relevant Australian Standards.	Car parking spaces are designed in accordance with the relevant Australian Standards.	YES
	Garages are not to be converted or used for any purpose other than that for which they are approved, that is, garages must not be converted into rumpus rooms, living areas, bedrooms, offices, etc.	No proposal to convert the garage.	YES
8.2.3 Basements	The maximum area of a basement shall be limited to and contained within the footprint of the dwelling at ground level.	The basement is contained wholly within the dwelling footprint.	YES
	No excavation is permitted within the required minimum side setbacks. Furthermore, the location of basement walls may warrant increased setbacks to provide sufficient area for water proofing, drainage etc.	No excavation is proposed within the required side setbacks.	YES

	Where a basement is proposed, the maximum height of the basement above natural ground level measured to the floor level of the storey immediately above is to be less than 1 metre. Where the basement protrudes above ground level by more than 1 metre, it does not comply with the SLEP 2012 definition of a basement, it will be considered as a storey and the gross floor areas excluded within a basement under SLEP 2012 do not apply and will be included in the floor space ratio. Basement protrusion of more than 1 metre will generally not be accepted especially if it is considered to adversely impact the bulk and scale of the dwelling and may require the setback of the upper level.	The proposed basement protrudes by a maximum 0.84m from the natural ground.	YES
	Minimum internal clearance of 2.2m in accordance with the Building Code of Australia requirements.	Approximately 2.25m clearance is proposed.	YES
	Driveways shall comply with the relevant Australian Standards (AS2890.1: Parking Facilities, AS1248.1: Design for access and mobility) and a maximum 1:4 gradient.	The driveway is design in accordance with the Australian Standard with a maximum 1:4 gradient.	YES
	Basement entries and ramps/driveways within the property are to be no more than 3.5m wide.	The proposed driveway is 3.45m wide.	YES
	Driveway ramps are to be perpendicular to the property boundary at the street frontage.	Proposed driveway is perpendicular to the property boundary.	YES
	Where site and building dimensions allow it, basements shall be designed to permit vehicles to enter and exit the basement in a forward direction.	A vehicular turn-table is proposed to allow vehicles to exit the basement in a forward direction.	YES
	Basements may not be permissible on flood affected sites. Applicants should check with Council and consider submitting a pre-lodgement application.	The site is affected by overland flow and the proposal includes a crest to sufficiently distant the basement from overland flow. Refer to the Flood Impact Statement prepared by NY Civil Engineering	YES
	Provision of pump-out systems and stormwater prevention should be in accordance with Council's Stormwater Management Code.	Pump-out system is proposed. Refer to the stormwater design plans prepared by NY Civil Engineering.	YES
	Basements are not to be used for habitable purposes.	Basements is used for the required parking, plant room, storage and home theatre.	YES
9.2 Altering Natural Ground Level (Cut & Fill)	Fill is limited to a maximum of 1m above natural ground level.	No fill is proposed.	YES
	For all excavation works that require the use of fill, only clean fill is to be used.	No fill is proposed.	YES
	Cut and fill batters must be stabilised consistent with the soil properties.	No cut or fill batters are proposed.	YES

	Vegetation or structural measures are to be implemented as soon as the site is disturbed.	Structural measures will be implemented as soon as the site is disturbed.	YES
	All areas of excavation shall be setback from property boundaries in accordance with the building setback controls. No excavation is permitted within the minimum required setbacks.	No excavation is proposed within the required setbacks.	YES
	Where excavation work is proposed, the work must not affect or undermine the soil stability or structural stability of any buildings and Council assets on adjoining properties.	The basement structure will be designed by a qualified engineer to not affect or undermine any buildings and council assets of adjoining properties.	YES
	Applicants may be required to produce a dilapidation report for all buildings which adjoin proposed excavation areas, a copy of which will be made available to the relevant neighbour.	N/A	YES
	Avoid excessive fill that may create the potential for overlooking of adjoining properties.	No fill is provided.	YES
11.2.1 Address and Entry Sightlines	Buildings are to be designed to allow occupants to overlook public places in order to maximise passive surveillance.	Several opportunities are provided in the proposed design to allow for passive surveillance of the public domain. Windows provide direct views of Broughton Road.	YES
	Design landscaping around dwellings and ancillary structures so that when plants are mature they do not unreasonably restrict views of pathways, parking and open space areas.	Refer to the accompanying landscape plans.	YES
	External lighting should enhance safe access and security around the dwelling and light spill must not adversely impact on adjoining properties. Lighting must be designed and located so that it minimises the opportunity for vandalism or damage, is appropriate for the street and minimises glare.	Any external lighting provided will enhance the safe access and security of the dwelling.	YES
	The incorporation of Crime Prevention through Environmental Design (CPTED) principles in the design of developments should not detract from the amenity of the streetscape.	Provision of boundary fencing will delineate the dwelling from the public domain.	YES
11.2.2 Pedestrian Entries	Pedestrian entries and vehicular entries should be suitably separated to ensure the safety of pedestrians and residents.	Pedestrian and vehicular entries are separated by different gates.	YES
	Dwelling entrances should be easily identifiable with walkways and landscaping used to direct visitors to the main dwelling entrance.	The main dwelling entrance is directly located to the front of the dwelling and faces the public domain.	YES
	House numbers are to be clearly visible	House number is proposed on	YES

	from the street. As a minimum, one set of house numbers will be displayed on the front fence. House numbers should generally be no less than 100mm high.	the front fence above the letterbox and will be less than 100mm high.	
12.2.6 Swimming Pools	The minimum side and rear setback of a swimming pool from the outside edge of the pool concourse (and any paved/concreted area adjacent to the concourse) must be at least 1m wide and consist of a deep soil soft landscape area containing a continuous planting of screening shrubs.	The proposed pool is setback 2.36m from the eastern side boundary and 2.79m from the southern rear boundary.	YES
	Where a pool is more than 1m above ground, the space between the bond beam/concourse and the ground is to be suitably finished with decorative blocks or other approved material and landscaped to Council's satisfaction.	The proposed pool is less than 1m above the natural ground.	YES
	The pool filter and pump equipment is to be designed and located so as not to emit a noise level that exceeds 5dBA above the ambient background noise level measured at any property boundary. The pool equipment shall be located within an enclosed structure so as to not be readily visible.	The pool filter and pump equipment will be located in an enclosed structure and not exceed 5dBA.	YES
	Any lighting associated with a swimming pool should be positioned to prevent light spillage and minimise any nuisance to adjoining premises.	Any lighting associated with the swimming pool will be in accordance with the relevant control and Australian Standard.	YES
	Swimming pool enclosures shall comply with the Swimming Pools Act and relevant Australian Standards as amended.	Pool enclosures are compliant with the Swimming Pools Act and relevant Australian Standards.	YES

Conclusion

The proposed development will allow an efficient use of the site for an appropriately designed and energy efficient development which achieves the objectives of the residential zone in a landscaped setting. This statement has been prepared in support of a development application which proposes to construct a new dwelling, which is generally compatible with the surrounding residential area.

The proposed development is permissible in the zone and has been designed to comply with the objectives of the planning controls applying to the site and the objectives of the zone will be met by the proposal. The proposed development will have minimal impact on the amenity of adjoining developments. The site is free of environmental constraints that would preclude the granting of development consent.

It is considered that the proposed development will provide a positive addition to the area and will integrate with the surrounding residential development. The proposal is suitable for its location in terms of design, impact and generally complies with the planning controls of LEP and DCP.

On this basis, it is recommended that development consent be granted for the proposed development.