

DETAILED CALCULATION SCHEDULE			
SITE AREA		673.5m <sup>2</sup> BY DP CALCULATION	
SITE CALCULATIONS	REQUIREMENT	PROPOSED	COMPLIES
LOT SIZE	MIN 560.00m <sup>2</sup>	MIN 673.50m <sup>2</sup>	YES
FRONTAGE	15m	15.24m	YES
STRATHFIELD LEP CALCULATIONS			
FLOOR SPACE RATIO	REQUIREMENT	PROPOSED	
0.60:1 = 404.1 m <sup>2</sup>		m <sup>2</sup> 404 m <sup>2</sup>	YES
(Measured to the internal side of external wall)		GF = 204 m <sup>2</sup>	
		LVL 1 = 200 m <sup>2</sup>	
MAXIMUM H.O.B	MAX . 9.5m	< 9.5m	YES
SETBACKS			
FRONT SETBACK	GROUND FLOOR = 9000MM	= >9000MM	YES
	LEVEL 01 = 9000MM	= >9000MM	
SIDE SETBACK			
GROUND FLOOR	Combined Side Setbacks = 20% of lot width MIN 1.2m setback provided on each side	= mm >1524 MM	YES
LEVEL ONE	Combined Side Setbacks = 20% of lot width MIN 1.2m setback provided on each side	= mm >1524 MM	YES
REAR SETBACK			
GROUND FLOOR	= 6000 mm	= mm >9000MM	YES
LEVEL ONE	= 6000 mm	= mm	YES
LANDSCAPING	> 41.5% of Area of Site	= 41.5% or 280 m <sup>2</sup>	YES
CUT AND FILL	REFER TO SECTIONS	< mm	YES
PRIVATE OPEN SPACE	= M2	= 65 M2	

DETAILED CALCULATIONS

SCALE 1:100

Drawing No:	Description	Issue / Revision
DA001	COVER	
DA1001	DETAILED CALCULATIONS	
DA1002	SURVEY	
DA1003	SITE LOCATION & ANALYSIS	
DA1004	SITE PLAN	
DA1005	DEMOLITION PLAN	
DA2001	BASEMENT	
DA2001	GROUND FLOOR	
DA2002	LEVEL 01	
DA2004	ROOF PLAN	
DA2902	PLAN SOLAR ACCESS	
DA2903	VIEW FROM THE SUN	
DA2904	FRONT SOLAR ACCESS	
DA2905	REAR SOLAR ACCESS	
DA2907	SCEHDULE OF COLOURS AND MATERIALS	
DA3001	ELEVATIONS	
DA3002	STREETSCAPE	
DA4001	SECTIONS	

Sheet Index DA

SCALE 2:1

## BASIX Commitments

Basix Certificate No: 1262918S

### HOT WATER

- Gas Instantaneous -5.5 star

### VENTILATION

- Bathrooms: Individual fan ducted to façade or roof with interlock to light switch
- Kitchen: individual fan, not ducted with manual ON /OFF
- Laundry:No Mechanical ventilation

### AIR CON:

- Cooling & Heating : 3- Phase Air con-EER 2.5-3.0 (Zoned)

### LIGHTING

- Energy efficient light fittings (LED or fluorescent for each individual spaces)

### KITCHEN

- Gas cooktop & electric oven

### CLOTHES DRYING LINE

- No, In door Clothes drying line
- Yes, outdoor clothing drying line

### VENTILATED SPACE

No, Ventilated refrigerated space

### WATER SAVING

- 4 star shower heads
- 3 star toilets or better
- 4 star kitchen tap
- 4 Star bathroom tap

### RAIN WATER&STORM WATER TANK:

- 3000 L rain water tank used for landscape & Laundry

### POOL & SPA:

- 36kL swimming pool with pool cover and timer, Heat pump pool heating

### ALTERNATIVE ENERGY:

- 1.5 kW solar PV panel



STRATHFIELD COUNCIL  
RECEIVED

DA2022.03  
24 January 2022

## Assessor Certificate

Issued in accordance with  
BASIX Thermal Comfort Simulation Method.

Assessor No # **DMN/19/1938** Projects: **STRARHFIELD**

Thermal performance specifications

Following specification must apply to all instances of that element for the whole project. If different construction elements are applied then the Assessor Certificate is no longer valid.

Certificate No: **0006832166** **45 Meredith Street**

External walls Construction **Added Insulation**

Cavity Brick-Ground& FF **Nil**

Concrete block (Earth)-Garage **Nil**

Internal walls Construction

Single skin **Nil**

Roof Construction

Tile Roof **Foil**

Colour **Medium**

Ceilings Construction

Plaster board **R3.0**

Floors Construction **Covering**

Concrete (above carpark) **As drawn Nil**

Concrete (Floor between) **As drawn Nil**

Concrete (suspended) **As drawn Nil**

Windows & Glazed door

All window and glazed door to be selected as per AFRC. Deviation is accepted ±5%. : This tolerance ONLY applies to SHGC, the U-value can always be lower but not higher than the values stated.

Area(M <sup>2</sup> )	Frame	Ext. cover	U Val	SHGC	Glazing
All other	Alum/slud/fi	As drawn	6.7	0.70	Single clear
	Alum/Awning	As drawn	6.7	0.57	Single clear

Skylights

Area (M <sup>2</sup> )	Type	Glazing
As drawn	Nil	Nil

Fixed shading (eaves, pergolas, verandas , awnings)

All shade elements modelled as drawn

Weather seals to windows and doors **Be provided**

All down lights be sealed **Yes**

### LEGEND

	200MM DINCEL WALL
	250MM BRICK VENEER CONSTRUCTION
	270MM DOUBLE BRICK CONSTRUCTION
	110MM SINGLE BRICK CONSTRUCTION
	110MM STUD WALL
	200MM BLOCK WALL CONSTRUCTION

EX XXXX EXISTING NATURAL GROUND LEVELS

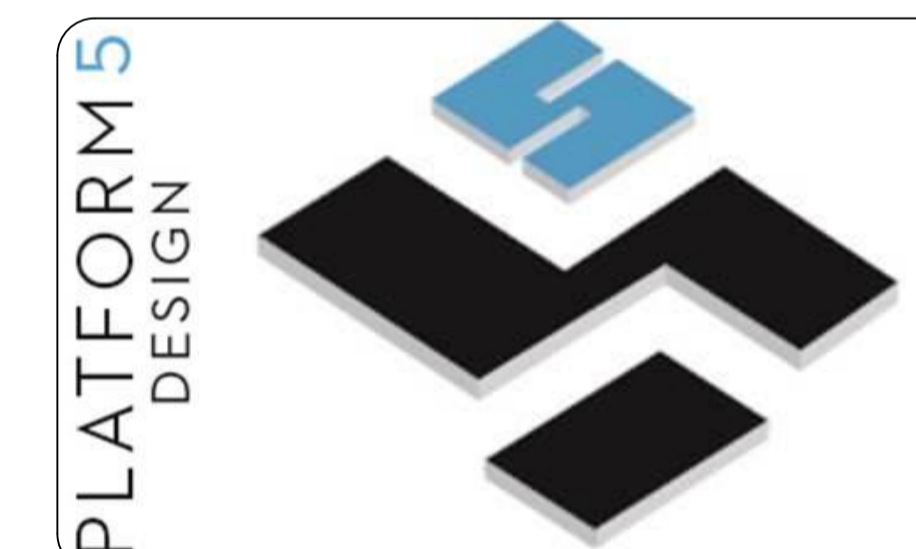
SET DOWN IN BATHROOMS

SSL - STRUCTURAL SLAB LEVEL

EXISTING STRUCTURES TO BE DEMOLISHED.

#### GENERAL NOTES:

1. Written dimensions to take precedence over scale
2. Builder to verify all boundary clearances and site set out dimensions prior to commencement of construction
3. Levels and contours are based on supplied datum, prior to construction the relevant authority should be contacted for possible minimum floor level requirements and flood information
4. All works to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity and Water Authorities concerned.
5. All structural work and site drainage to be subject to the Engineers details or certification where required by Council.
6. Articulation joints in masonry to be provided as per Engineers Details and/or in accordance with BCA clause 3.3.1.8
7. Retaining walls are required to be engineer designed and certified where required.
8. All plumbing works to be strictly in accordance with A.S. 3500 and approved by relevant authorities.
9. All drawings are to be read in conjunction with the Engineer's Structural Drawings.
10. All windows and glazing to comply with A.S. 1288 & A.S. 2047.
11. Batters to comply with appropriate soil classification described in Table 3.1.1.1 BCA Vol 2
12. Engineer to provide design to address footings if built in close proximity to sewer, stormwater easements.
13. Vehicular crossover to be constructed as per Council requirements.
14. Articulated joints in accordance with BCA 3.3.1.8 (Vol2)
15. Ventilation to ac to be an exhaust fan in accordance with BCA-14.5 & As-1668.2
16. Provide cold water connection & gpo to dishwasher space
17. Hotwater system to comply with A.S.3500
18. Downpipes to be a maximum 12m spacing and adjacent to valley intersections
19. Drainage to be in accordance with part 3 of the BCA, point of discharge to meet local authority requirement



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#### PROJECT TITLE

45 MEREDITH STREET, STRATHFIELD - NSW - 2135

#### CLIENT

MR HANI BADRAN

REV	DESCRIPTION	DATE
A01	ISSUE FOR REVIEW	24/08/2021
B01	ISSUE FOR REVIEW	25/08/2021
C01	ISSUE FOR INFORMATION	16/11/2021
D01	ISSUE FOR INFORMATION	25/11/2021
E01	ISSUE FOR DA SUBMISSION	29/11/2021

DRAWING TITLE:

**DETAILED CALCULATIONS**

PROJECT NUMBER:

**20-059**

DRAWING NUMBER: **DA1001**

DATE OF ISSUE **29/11/2021**

**C01**

**N**

SCALE: **AS SHOWN**

**DEVELOPMENT APPLICATION**