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# CONSERVATION MANAGEMENT PLAN

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As Part of Development Application



Alterations and Additions to Existing Dwelling, with Pool to

## 17 Coventry Street, Strathfield

**STRATHFIELD COUNCIL  
RECEIVED**

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Prepared for the Owners

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## 1.0 SUMMARY

This Conservation Management Plan for 17 Coventry Street, Strathfield has been prepared By Brad Inwood of Brad Inwood Architects for the Owners of the premises in accordance with the conservation principles outlined in the Australia ICOMOS Burra Charter 1999.

The plan consists of a conservation analysis, based on the current house's historical and physical overview, an assessment of cultural significance, conservation policies and strategies for implementation of those policies.

## 2.0 AIMS OF THE REPORT

This Conservation Management Plan (CMP) aims to be a practical document, to guide decisions that may affect the heritage value of the dwelling. It will comprise one of the bases for future planning and provide a standard against which to assess the heritage impact of proposed developments. It should be used when planning any works, both temporary and permanent, that involve alteration to the surviving fabric of the place

The Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (Burra Charter 1999) provides the Australia-wide accepted guidelines for heritage conservation.

Section 2 (Conservation and Management) of the charter states:

- 2.1 Places of cultural significance should be conserved.
- 2.2 The aim of conservation is to retain the cultural significance of a place.
- 2.3 Conservation is an integral part of good management of places of cultural significance.
- 2.4 Places of cultural significance should be safeguarded and not put at risk or left in a vulnerable state.

The aim of this Conservation Management Plan therefore, is to set out:

- The cultural significance of the place,
- The conservation policies appropriate to enable the cultural significance of the place to be retained in any future upgrading, additions and alterations, conservation work or change of use,
- The strategies for implementing these policies.

### 3.0 LIMITATIONS

A land titles search and a detailed history were not provided.

The scope of this report did not allow for:

- Any invasive investigation of structures (any assessment of condition has been based on a visual inspection only).
- Detailed archaeological field survey.

## 4.0 TERMS

The following terms used in this report are defined in the Australian ICOMOS Burra Charter. The definition of terms that are related to curtilage are from the Heritage Office and DUAP 1996 Heritage Curtilages.

**Adaptation** means modifying a place to suit proposed compatible uses.

**Compatible** use means a use, which involves no change to the culturally significant fabric, changes that are substantially reversible, or changes which require minimal impact. Conservation means the continuous protective care of the fabric so as to retain its cultural, natural and Indigenous significance. It includes protection, maintenance and monitoring. According to circumstance it may involve preservation, restoration, reconstruction, reinstatement or adaptation and will be commonly a combination of more than one of these. For Indigenous communities, it can include conserving relationships between people and places that embrace spiritual as well as historical values and protecting Aboriginal sites in order to protect their significance to people.

**Cultural significance** means aesthetic, historic, scientific or social value for past, present or future generations.

**Delegation:** A number of agencies with significant heritage portfolios and appropriate heritage expertise are able to deal with minor applications for change to heritage items under delegation. In 2004 the authorisation to endorse CMP's, consider applications under S.60 and 140 of Heritage Act, exemptions, exceptions from excavation permit under s.139 (1) and (2) of the Heritage Act was extended to officers of the Department of Environment and Climate Change (DECC). The use of these exemptions, authorisations and delegations streamlines the approval and exemption notification processes involving these agencies.

**Fabric** means all the physical material of the place. Indigenous significance refers to Indigenous heritage value and includes Aboriginal sites showing evidence of Aboriginal occupation and Aboriginal places, which are of contemporary or spiritual importance according to Aboriginal culture or custom.

**Interpretation** means all the ways of presenting the cultural significance of a place.

**Maintenance** means upkeep of fabric and places to the standards required by the NSW Heritage Act 1977, and does not involve restoration, reconstruction or reinstatement.

**Movable heritage** is a term used to define any natural or manufactured object or collection of heritage significance.

**Natural significance** means the importance of ecosystems, biological diversity and geodiversity for their existence value for present or future generations in terms of their scientific, aesthetic and life-support value.

**Place** means Site, area, building or other work, group of buildings or other works together with associated contents and surround.

**Preservation** means maintaining the fabric of a place in its existing state and retarding deterioration

**Restoration** means returning the existing fabric, habitat or place to a known earlier state by repairing degradation, removing accretions or introduced species or by reassembling existing components without the introduction of new material.

**Reconstruction** means returning a place to a known earlier state and is distinguished from restoration by the introduction of new material into the fabric

**Reinstatement or reintroduction** means to introduce to a place one or more species or elements of habitat or geodiversity that are known to have existed there naturally at a previous time, but that can no longer be found at that place Setting means the area around a place, which may include the visual catchment.

**Use** means the functions of a place, as well as the activities and practices that may occur at the place. The following terms are defined in the Heritage Office guidelines Heritage Curtilage (1996). This document illustrates several types of curtilage pertaining to a heritage item. The types of curtilage include the following:

**Lot Boundary Heritage Curtilage:** the most common type of heritage curtilage comprises the boundary of the property containing the heritage item as shown on the lot plan.

**Reduced Heritage Curtilage:** This type applies when the heritage curtilage is less than the property boundary, and the significance does not relate to the total lot, but to a lesser area. This type of curtilage is often only defined when subdivision occurs.

**Expanded Heritage Curtilage:** This type applies when the heritage curtilage may need to be greater than the property boundary. An expanded curtilage may be required to protect the landscape setting or visual catchment of a heritage item.

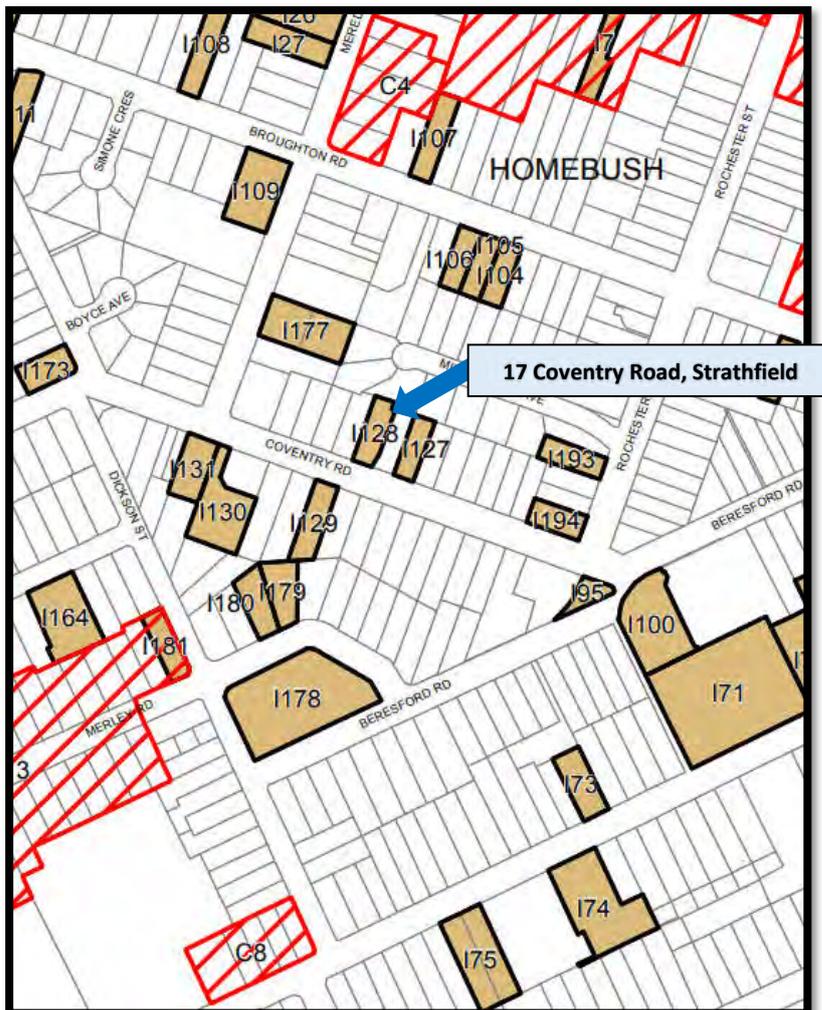
**Composite Heritage Curtilage:** This type generally applies to heritage conservation areas.

## 5.0 STATUTORY AND NON-STATUTORY LISTINGS

No 17 Coventry Road, Strathfield is heritage listed as a heritage item (I127) by Schedule 5, Part 1 of the Strathfield LEP 2012, and is referred to as 'Ophir' - Federation house.

No 17 Coventry Road, Strathfield is not listed on the NSW State Heritage Register Under the NSW Heritage Act, 1977.

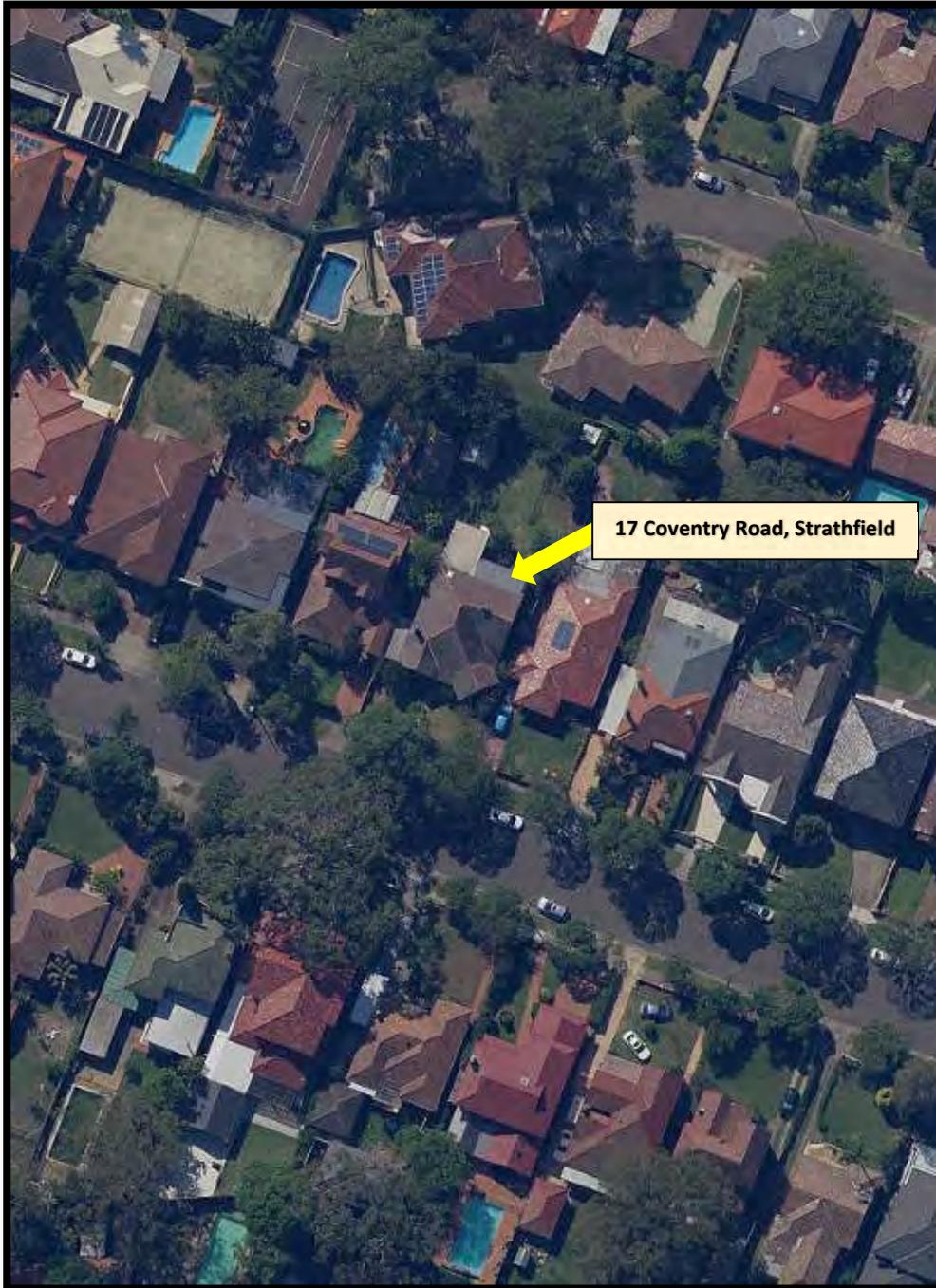
17 Coventry Road, Strathfield is not located in any Heritage Conservation Area as defined by Schedule 5, Part 2 of the Strathfield LEP 2012.



**Strathfield LEP 2012 – Heritage maps**



**Aerial View of Site – Six Maps**



**Aerial View of Site – Six Maps**

## 6.0 HISTORY OF THE ALLOTMENT AND THE DWELLING

The allotment was part of a subdivision in December 1878, from the original larger farm estates within the area, which mainly occurred after the construction of the Strathfield Railway station which occurred in 1876.

The site original contained the adjoining three other allotment (to the rear and east of the site), with the allotment's current boundaries being established after 1943.

The rear section of the allotment was subdivided after the construction of Mirrabooka Ave in the 1960's.

The dwelling was constructed most likely between 1900 and 1905 and exhibits a clear indication of Federation Bungalow attributes.

The rear addition to the dwelling most likely was constructed in the late 1960's or early 1970's.

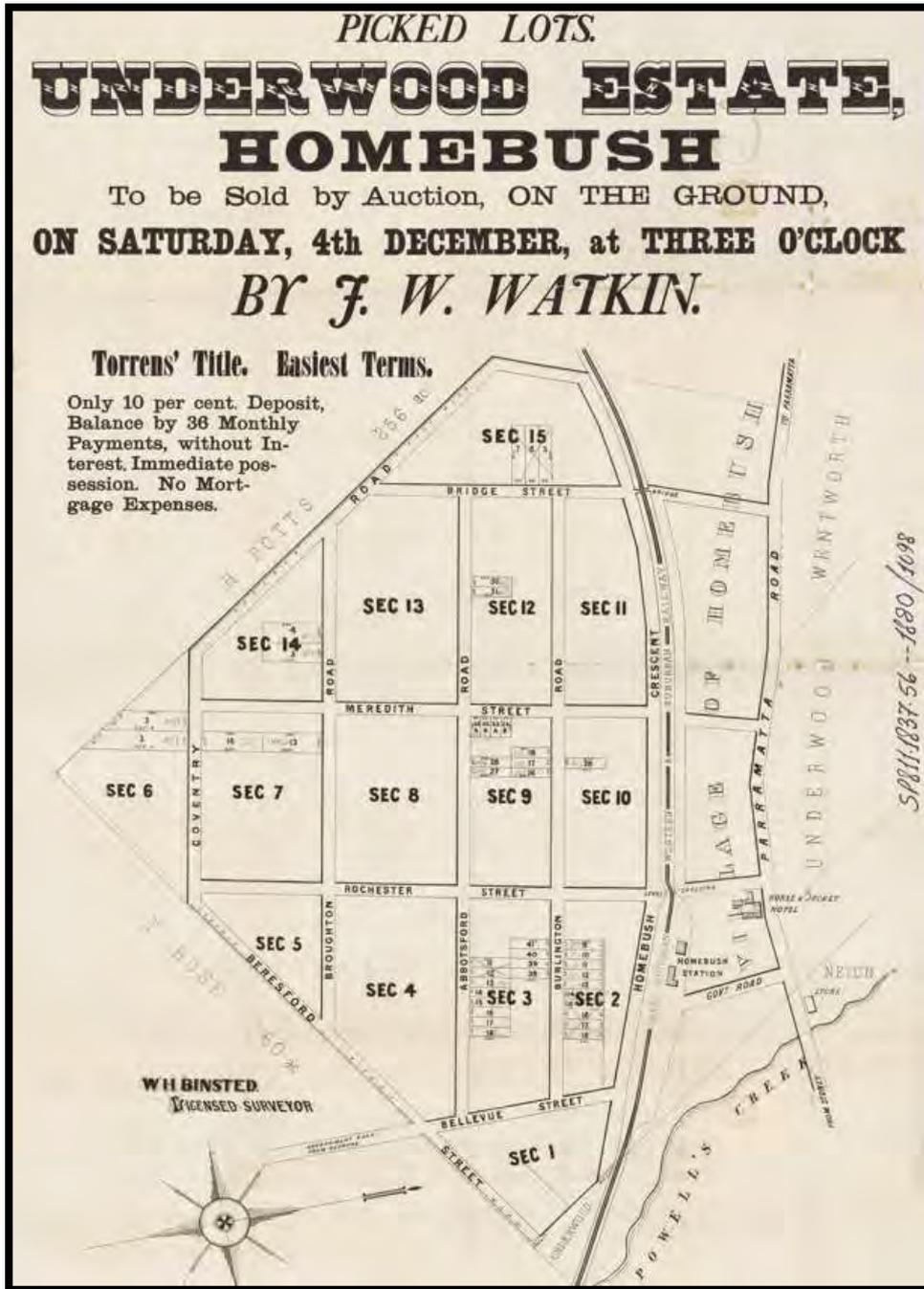
The house, being constructed at a time when Strathfield was renowned for its 'gentlemen's residences', exhibits extensive and ornate detailing, with generous proportions for a home of this period.

The house is constructed of brickwork, the front façade being tuckpointed brick. The roof is slate to the front with metal to the rear later works. The chimneys to the roof are still evident.

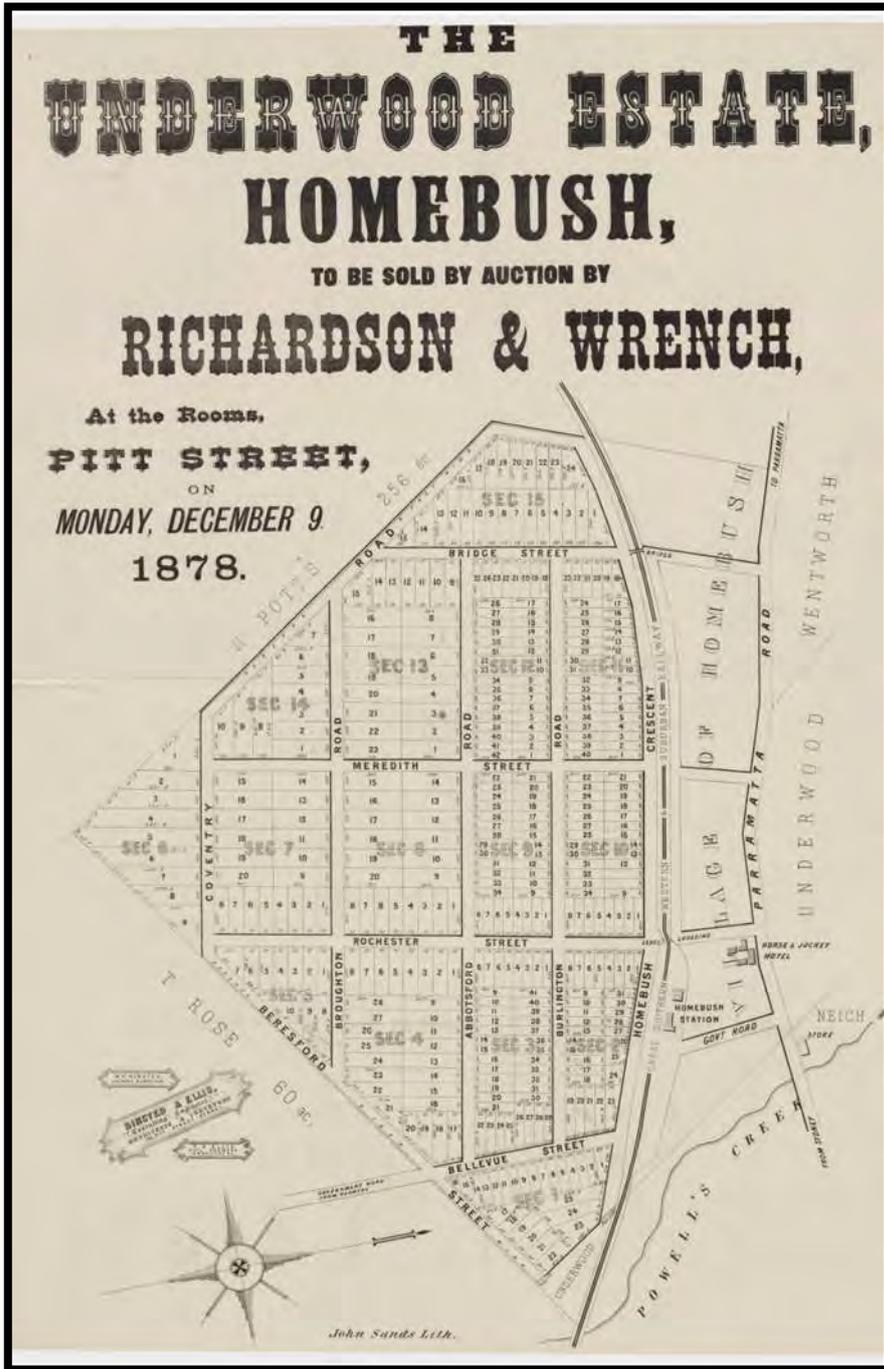
Most windows doors, verandah brackets and fenestration are constructed of timber.



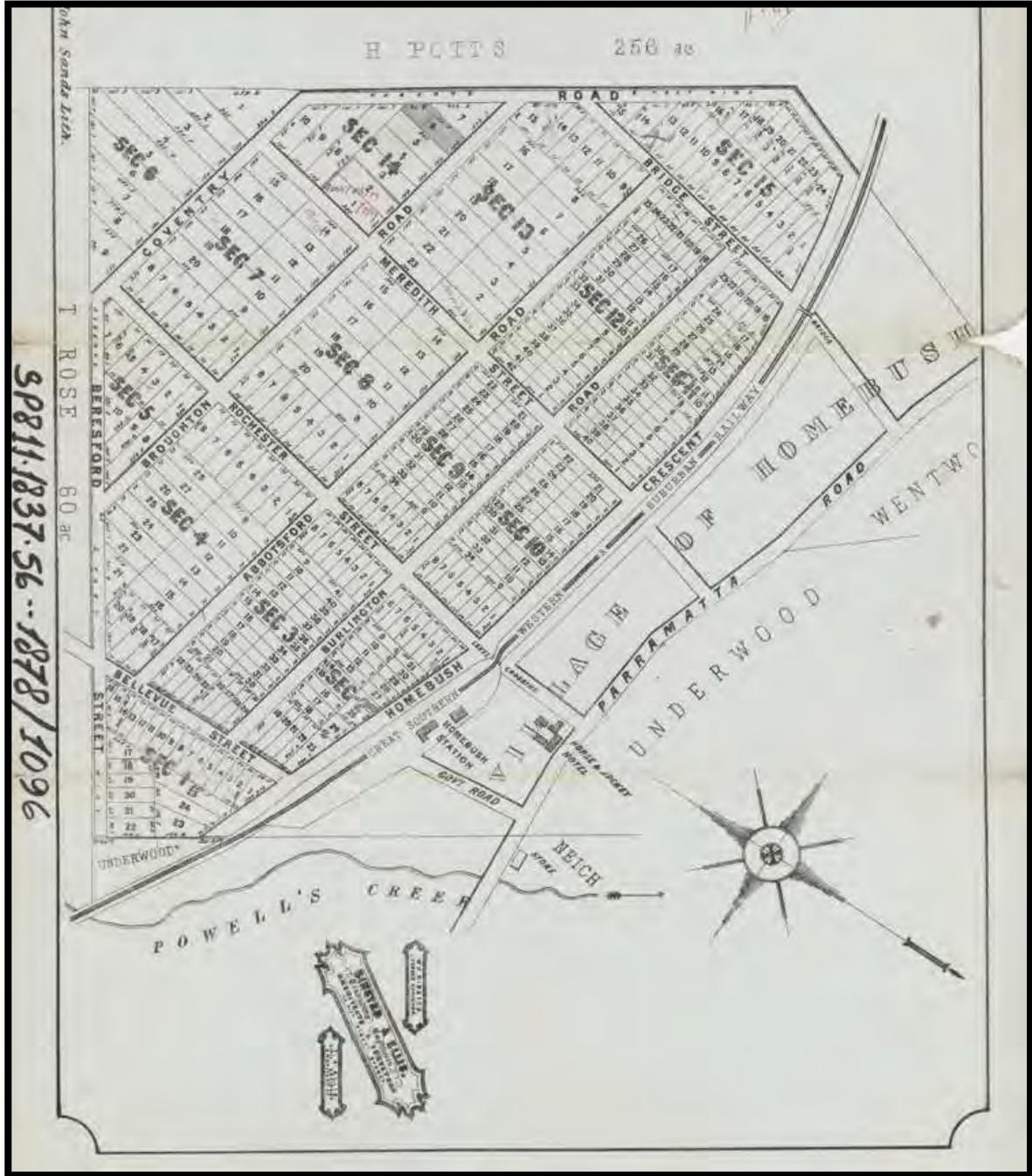
Early plan of Strathfield (c.??)  
NSW State Library



Early plan of Strathfield (c.??)  
NSW State Library



**Underwood Estate land Sale (c.1878)**  
NSW State Library



Early plan of Strathfield (c.??)  
NSW State Library



**17 Coventry Road, Strathfield (c.1943)**  
**Six maps**

## **7.0 PHYSICAL ANALYSIS**

### **7.1 Natural landscape and Site**

The property is rectangular in shape with a frontage of 15.24 metres to Coventry Road and a depth of 48.77 metres. The total site area is 817.2m<sup>2</sup>.

The site is generally level.

The site has no rock formations or other interested natural features to the site.

No 17 Coventry Road, Strathfield has minimal planting and landscaping to the site. Some mature bushes are located on the site, although none present as anything of significance.

There is a brush box tree in front of the allotment along the council reserve.

### **7.2 Dwelling**

The site contains a single storey dwelling.

The house is constructed of brickwork, the front façade being tuckpointed brick. The roof is slate to the front with metal to the later rear works. The chimneys to the roof are still evident.

Most windows doors, verandah brackets and fenestration are constructed of timber.

There is a later single garage to the rear of the allotment, which was constructed most likely in the 1930's or 1940's.

The building demonstrates a high degree of integrity to the front section of the dwelling. The rear section of the dwelling has a lower degree of integrity.

The original front section of the building can be clearly understood in terms of its original configuration and detailing, however, the following alterations and additions have been noted:

- The handrail to the front terrace has been replaced with a later addition low height wrought iron handrail.
- The tessellated tiles to the front terrace have been replaced with new.
- The kitchen is a later renovation.

- The bathroom has been renovated in a modern style.
- The rear verandah has been enclosed to generate a sunroom and store.
- It is most likely that the original external WC has been converted into the kitchen pantry.
- There has been a later constructed laundry and WC addition to the rear.
- Most original finishes to the rear section of the dwelling, such as ceilings and trims have been replaced with a more contemporary finish.

The internal layout of the house is typical for its time of construction,

A verandah faces the front and eastern sides, with a bay window to the SE corner of the dwelling. Highly ornate verandah brackets are still evident, pertaining to late Victorian detailing.

Entry to the dwelling is to the centre, where a hallway is flanked by rooms on both sides of the hallway. Most rooms are of generous proportions or have ornate detailing that is typical for substantial homes for the period.

There is a gable with rough-cast render facing the southern and eastern elevations, both of which have quite distinctively different designs. Under the front gable is a slate roofed, timber frames window awning.

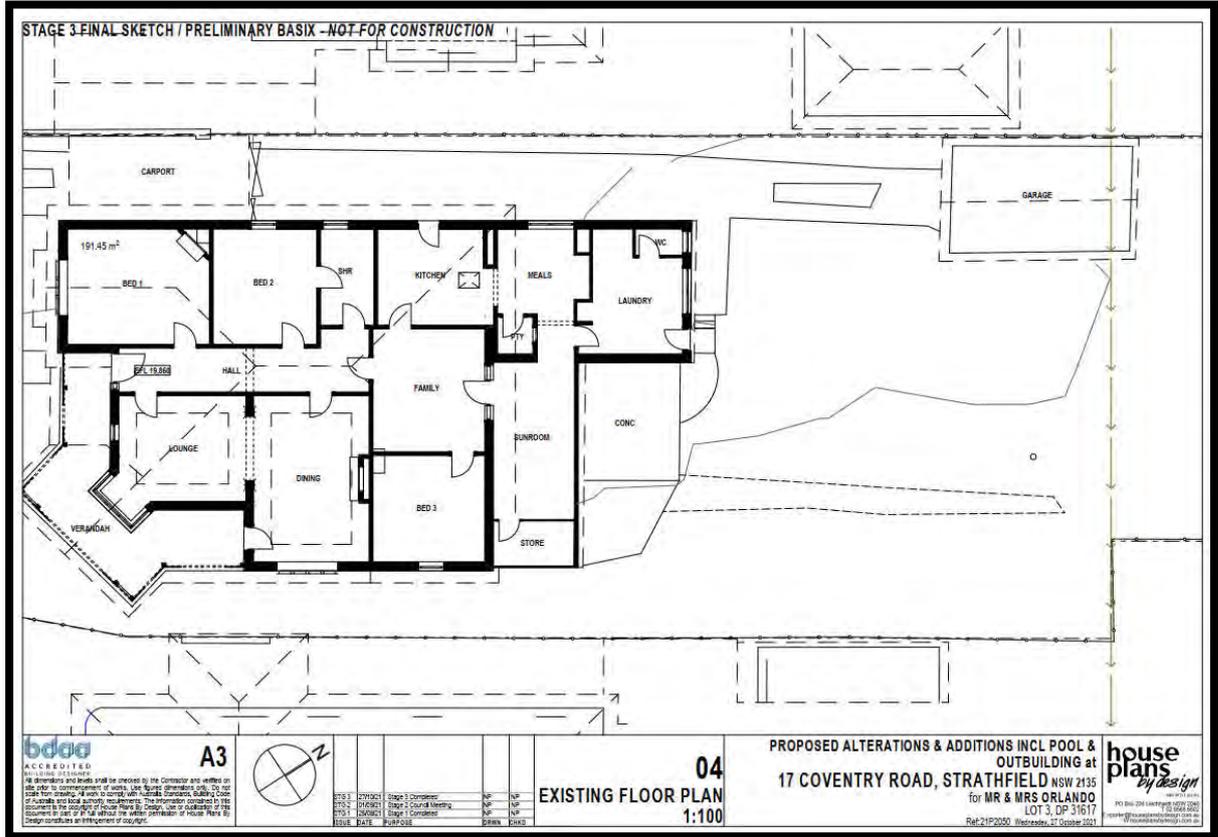
To the rear of the hallway is the family room, which serves another bedroom and the kitchen. To the rear of the family room is the original external open terrace which is now the enclosed sunroom.

Following is the later added meals and laundry. Access to the rear garden is via the laundry.

The site is fully fenced with a low height brick wall along Coventry Street which most likely is a later addition.

No 17 Coventry Road, Strathfield has minimal planting and landscaping to the site. Some mature bushes are located on the site, although none present as anything of significance.

There is a brush box tree in front of the allotment along the council reserve.



**Current floor plan of 17 Coventry Road, Strathfield with site**



*Front of the dwelling*



*Front gable roof form*



*Front gable roof form*



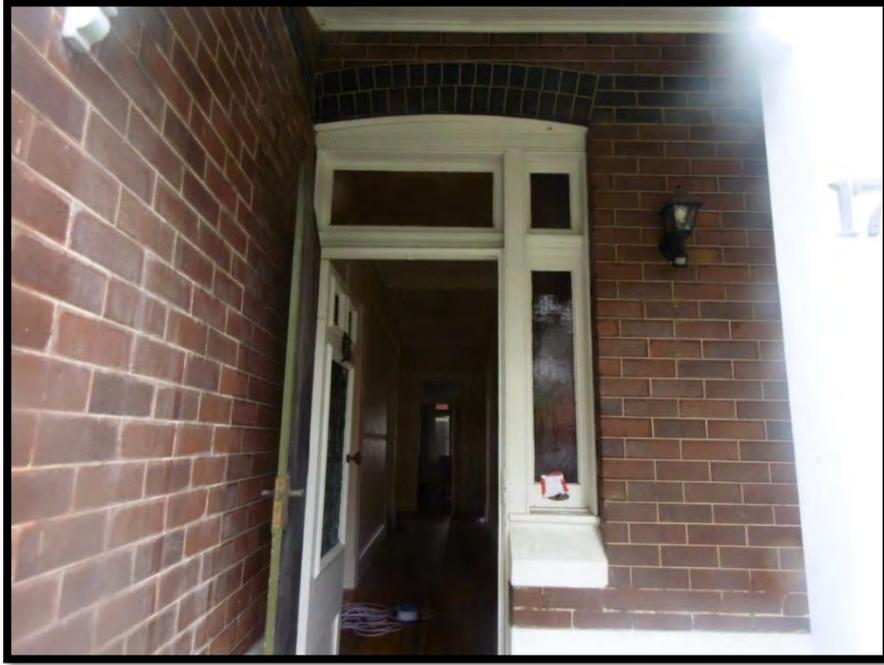
*Front window awning bracket*



*Brick pattern with rendered base*



*Front brickwork*



*Front gable roof form*



*Front verandah*



*Front verandah steps*



*Front verandah handrail*



*Front verandah tessellated tiles*



*Front verandah oiel-de-boeuf window*



*Front verandah brackets*



*Front verandah brackets*



*Front verandah brackets*



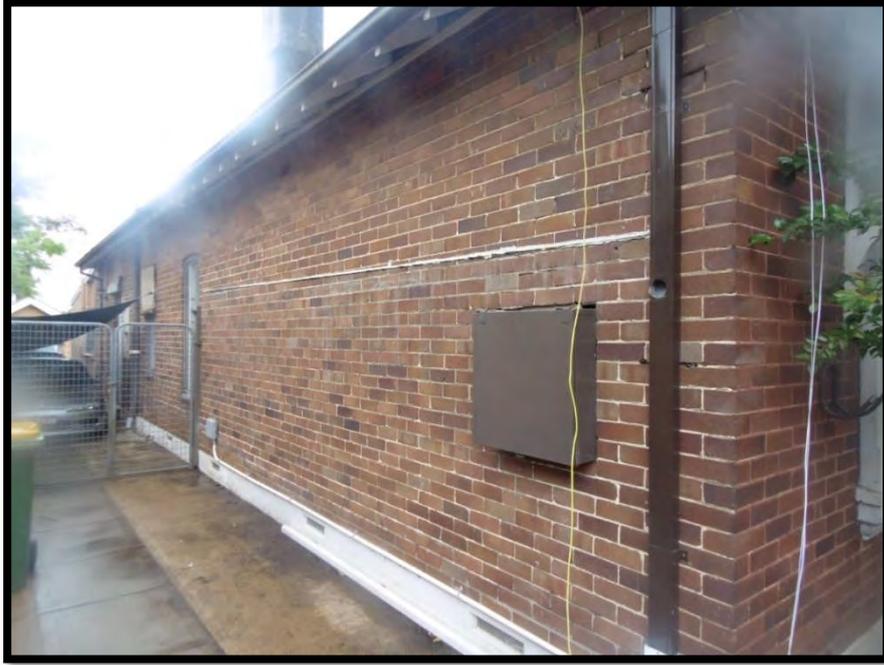
*Front verandah bay window*



*Front verandah ceiling lining*



*Front verandah bay window*



**West elevation**



**Rear west elevation**



*Slate roof*



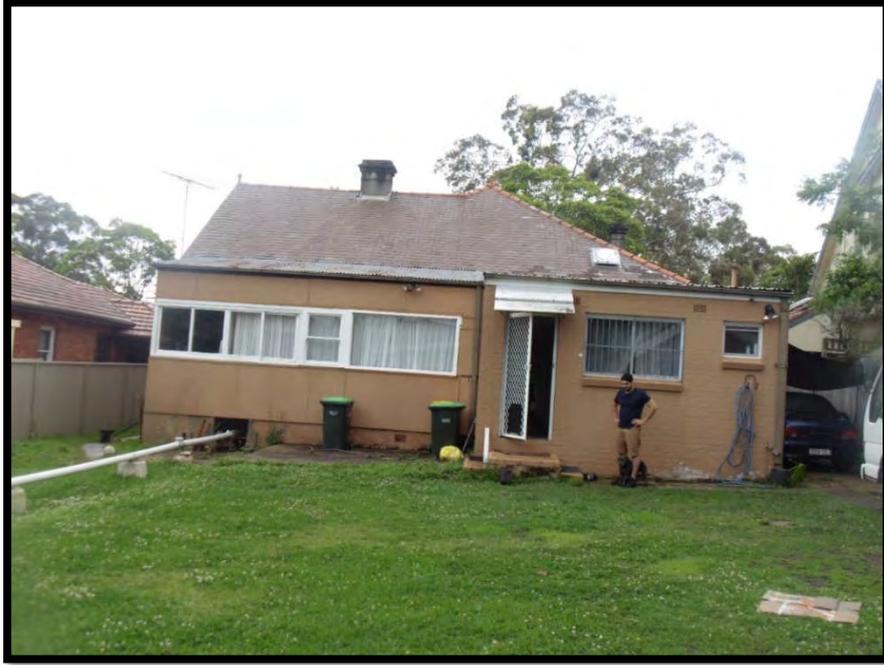
*Chimneys*



*Gable to east elevation*



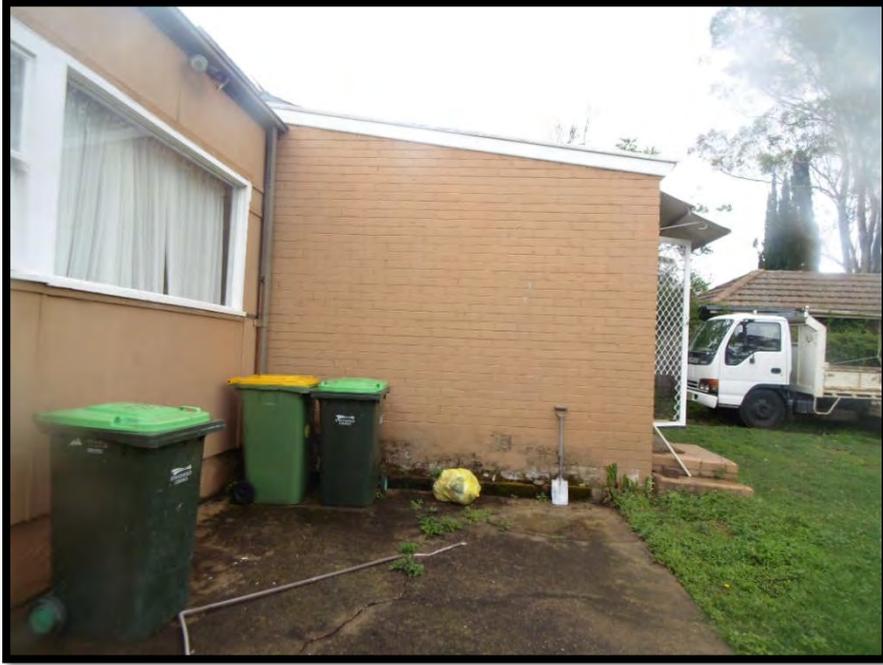
*East elevation*



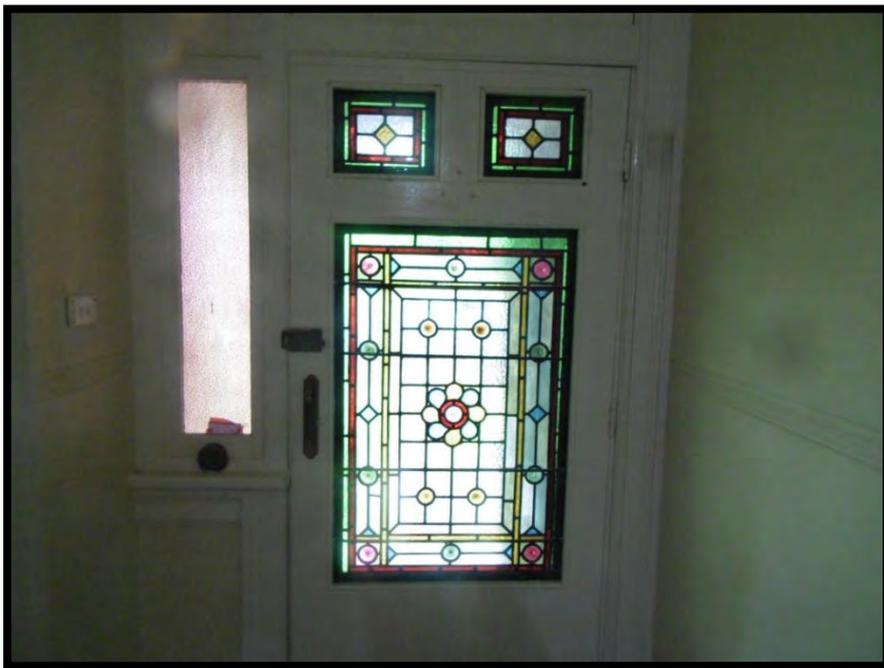
*Rear elevation*



*Rear elevation*



*Rear elevation*



*Front door*



*Living room bay window*



*Oiel-de-boeuf window to living room*



*Typical door architraves*



*Cornice to living room*



*Cornice to living room*



*Window to bay window to living room*



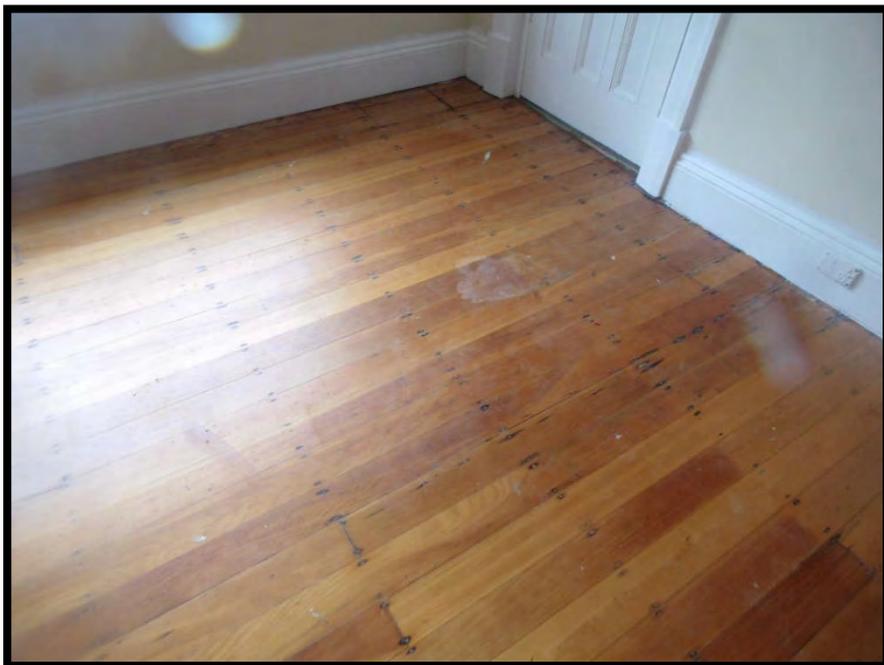
*Typical skirting boards*



*Dining room fireplace*



*Dining Room window*



*Dining room floorboards*



*Pilaster between living room and dining room*



*Typical door frame detail*



*Typical door detail*



*Typical door handle detail*



**Fireplace to Bed 1**



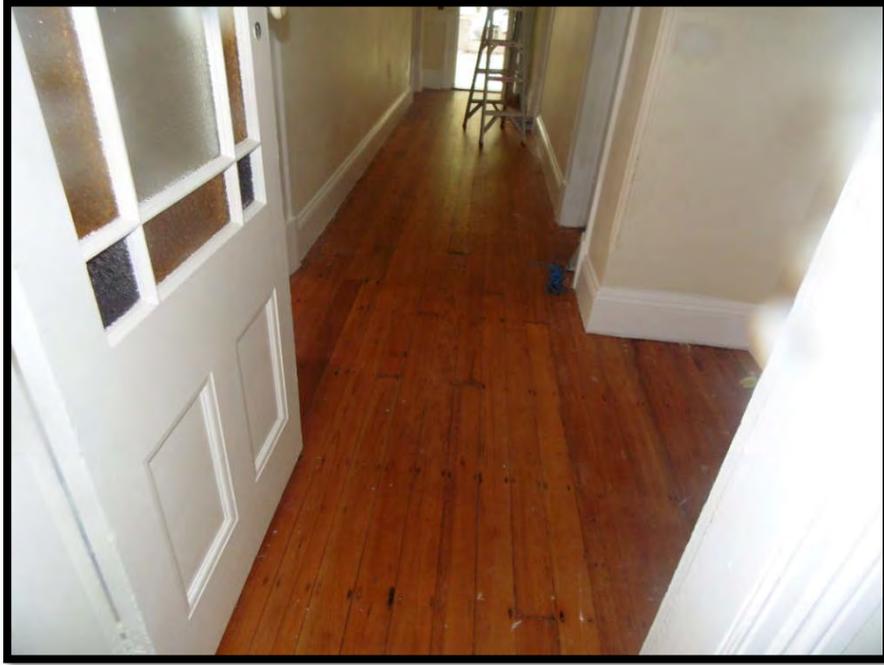
**Cornice to Bed 1**



***Cornice to Bed 1***



***Ceiling Hallway***



*Floor to Hallway*



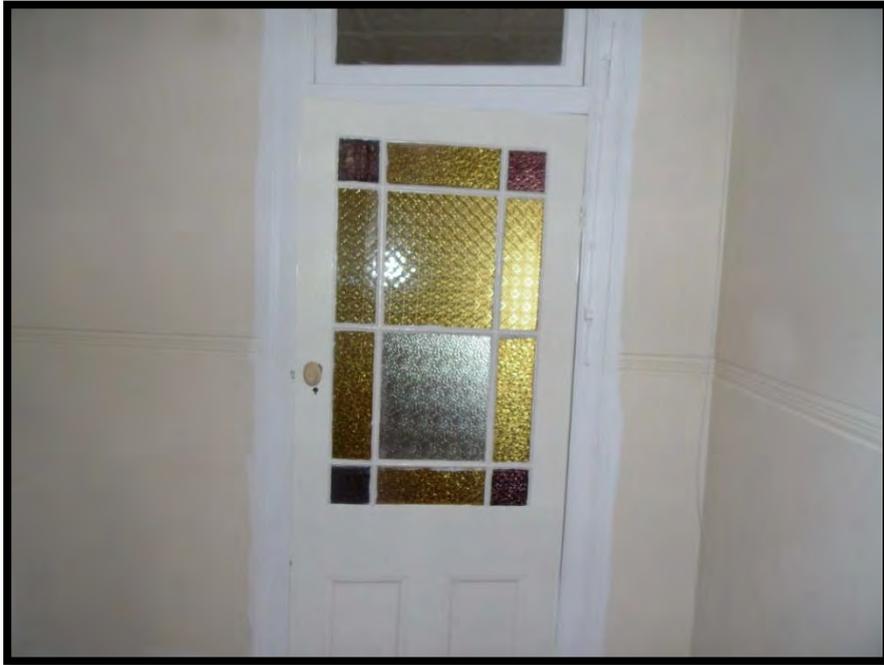
*Rendered scribe to hallway wall*



***Ceiling to Bed 2***



***Bathroom to Bed 2***



*Rear hallway door*



*Kitchen*



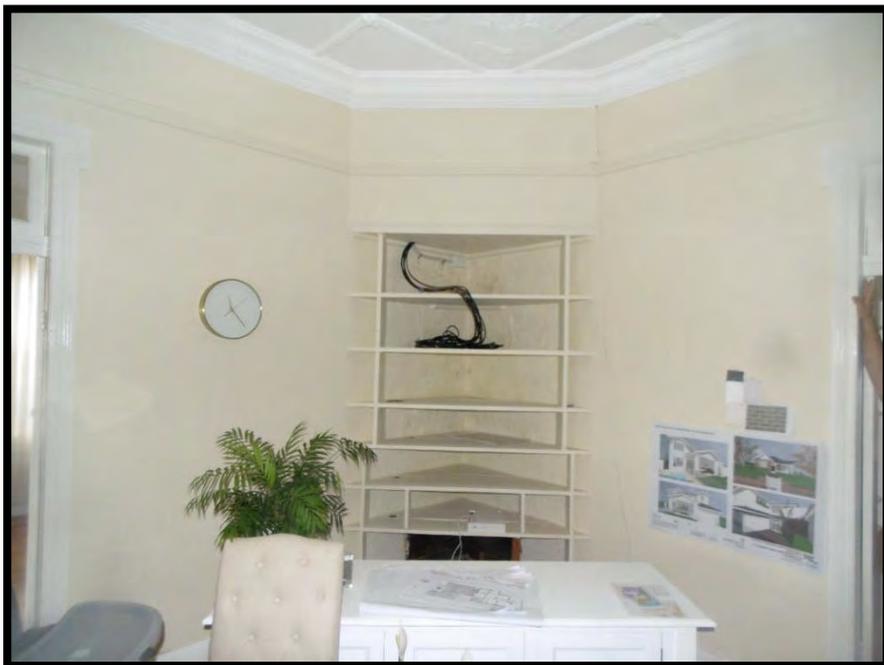
***Kitchen***



***Kitchen ceiling***



**Family Room**



**Removed fireplace to Family Room**



***Doors to Family room***



***Ceiling to Family Room***



**Rear Sunroom**



**Storeroom to rear Sunroom**



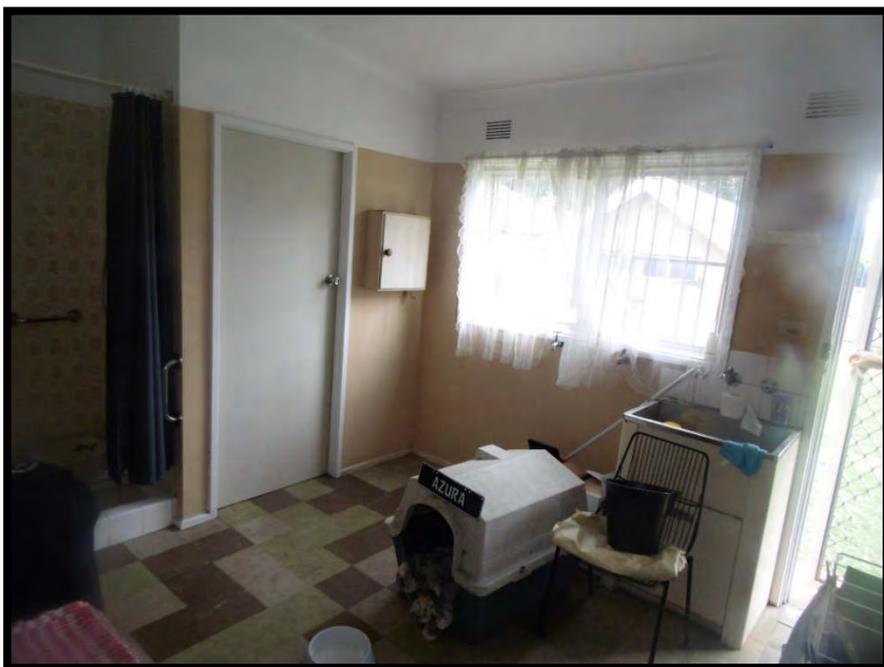
**Rear Sunroom**



**Rear Sunroom**



*Floor to rear Sunroom*



*Laundry*



*Laundry floor*



*Garage*



**Garage**



**Front fence**



**Front fence**



**Gate to front fence**

## 8.0 HERITAGE SIGNIFICANCE

### 8.1 NSW Heritage Office Criteria – 17 Coventry Road, Strathfield

17 Coventry Road, Strathfield is assessed for significance according to the criteria of the New South Wales Heritage Office.

Few of the aspects of significance discussed below are exclusive: a characteristic may, for example, have both historical and aesthetic significance.

#### 8.2.1 Criterion (a) - an item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area).

The house is a typical example of Federation Bungalow housing in Sydney and its surroundings.

The house is of local significance for its architectural qualities.

#### 8.2.2 Criterion (b) - an item has strong or special association with the life works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area).

The house has no strong or special association with the life work of a person or group of persons of importance in NSW cultural or natural history.

Therefore, the house does not have significant criterion with respect to the life work of a persons or group of persons.

#### 8.2.3 Criterion (c) - an item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area).

The house represents a typical aesthetic characteristic in regard to residential Federation Bungalow and suburban architecture.

It also exerts a reasonable degree of creative technical achievement, although materials used on the dwelling were common for its time of construction.

The house is of local significance for its architectural qualities.

#### 8.2.4 Criterion (d) - an item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural, or spiritual reasons.

Research has noted that the house is not significant under the criterion.

No social, cultural or spiritual group in NSW is associated with the house.

**8.2.5 Criterion (e) - an item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area).**

The house does not yield or contribute to a further understanding of the cultural and history of NSW.

The house is a typical, Federation Bungalow suburban dwelling, which are very numerous in the Sydney surrounds.

Therefore, the house does not have significant criterion with respect to a further understanding of the NSW cultural and natural history.

**8.2.6 Criterion (f) - an item possesses uncommon, rare or endangered aspects of New South Wales' cultural or natural history (of the cultural or natural history of the local area).**

The house is not significant under the criterion or it being uncommon, rare or endangered.

Therefore, the house does not have significant criterion with respect to a further understanding of the NSW cultural and natural history.

**8.2.7 Criterion (g) - an item is important in demonstrating the principal characteristics of a class of NSW's:**

- **cultural or natural places; or**
- **cultural or natural environments; or**
- **cultural or natural places; or**
- **cultural or natural environments.**

The house illustrates the range of housing from the turn of the century found in Strathfield.

## 9.0 GRADING OF SIGNIFICANCE

The Grading of Significance of the various components and spaces of a place is an important management tool for places of heritage significance. It enables decisions on the future conservation and development of a place to be made based on an understanding of the nature and degree of significance of the various components and qualities which comprise the place.

When developing conservation policies, the Grading of Significance should be taken into account alongside other considerations such as client and statutory requirements and physical constraints. The grading should be used as the essential guide to determining how particular components and areas should be treated.

The various elements and fabric have been graded in accordance with the levels identified in James Kerr's The Conservation Plan (1996) and NSW Heritage Manual:

### **Exceptional**

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Items of exceptional significance are rare or outstanding items that feature a high degree of original fabric and intactness or are integral to understanding the place as a whole. Their loss would have a serious and negative impact on the heritage significance of the place as a whole. This loss would be irreversible and would represent a loss to the people of NSW as a whole. Their conservation maintains the key characteristics that make the place interesting and unique.

### **High**

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Items in this category have a high degree of original fabric and demonstrate key elements of their significance, with a degree of alteration that does not unduly detract from that significance. They are important to understanding the place as a whole. Their loss would have a negative impact on the heritage significance of the place as a whole. Their conservation maintains important characteristics that are central to the significance of the place.

### **Moderate**

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The fabric, buildings or elements of moderate significance are altered or modified elements or elements of lesser historic value, but contribute to the overall character and significance of the place. Their loss would detract from the overall significance of the place and the context of the elements of exceptional and high significance.

### **Low / Neutral**

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Includes fabric which make little contribution to heritage value of the item, but which also are neutral in terms of intrusiveness. May also include fabric required to accommodate changing functional requirements. These are components generally of neutral impact on the complex's significance. Elements assessed as being of little significance and neutral elements are generally not regarded as essential to the major aspects of significance of a building or place, often fulfilling a functional role. Both retention and removal are acceptable options, depending on the element. Any major interventions to the item should be confined to areas where the fabric is of little significance.

### **Intrusive Items**

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Are considered to be physically or visually damaging to the overall significance of the place, an aspect of the site's significance and/or significance fabric are identified as "Intrusive". Their removal will lessen and in some cases reverse this negative impact on significance.

This significance grading of components reflects the extent to which particular components of the place embody its overall heritage significance taking into account the relative importance of later additions and overall physical condition.

### 10.0 SUMMARY OF RANKING OF BUILT ELEMENTS

Below is a summary of the relevant components of the current building, and the relevance of these parts to the overall dwelling's historical significance. (Exceptional, High, Medium, Low, Intrusive)

Area	Condition	Level of significance	Conservation value
Original front section of the dwelling (main dwelling)	Largely intact	Exceptional, with some internal areas such as the Kitchen being Moderate.  The Bathroom and Family room being High.	This section of the dwelling should generally be maintained in its current form, with any works undertaken to either match the original detailing, or return any previously altered sections back to their original detail and fenestration.
Rear enclosed Sunroom and Meals room	Poorly maintained and modified since its construction	Low	Could be demolished. Has been substantially altered and is in a poor condition with rotting and deterioration.  Simple timber and lightweight clad addition.
Rear laundry	Largely intact	Intrusive	Different finishing and style to the main dwelling. Detracts from the overall aesthetic of the dwelling.  Painted brick and an unsympathetic form and detail.

Rear Garage	Poorly maintained	Low	Poor condition with little or no value.  Could be demolished.
Site carport	Poorly maintained	Intrusive	Poor condition with little or no value.



## 11.0 CONSERVATION GRADING AND CONSERVATION MANAGEMENT PLAN

Below is a breakdown of the relevant components each area of the dwelling, and the relevance of these parts to the overall dwelling's historical significance. (Exceptional, High, Medium, Low, Intrusive)

### EXTERNAL AREAS OF ORIGINAL FRONT SECTION OF THE BUILDING

Type of element	Level of Significance	Conservation Action or Management
Roof	High	<p>Replace slate roof with new slate roofing when required in the future.</p> <p>Use matching colour and profile slate tiles.</p> <p>Do not use 'slate look' or composite styled tiles.</p> <p>Maintain terracotta ridge capping in terracotta coloured mortar to the ridges of the roof.</p> <p>Maintain existing terracotta ridge finials.</p> <p>Replace finials with matching, if extensively deteriorated or broken.</p>
Sun awning above Bed 1 window	Exceptional	<p>Maintain existing sun awning.</p> <p>Repair any parts where missing or deteriorated with matching.</p> <p>Maintain slate roofing over sun awning.</p>
Chimneys	High	<p>Maintain existing chimneys.</p> <p>Painting of chimneys is recommended, although not essential.</p>
Guttering and downpipes	Moderate	<p>Replace any rusted or missing guttering with new colorbond or galvanised metal guttering.</p> <p>Guttering to be low front with no overflow holes to the external face of the guttering.</p>

		<p>Use Lysaght Ogee profiled guttering.</p> <p>Replace any rusted or missing downpipes with new colorbond or galvanised metal downpipes.</p> <p>Use round or rectangular shaped downpipes with decorative gutter brackets (astragals)</p> <p>Do not use UPVC guttering or downpipes.</p>
Soffit lining	High	<p>Maintain existing timber weatherboard soffit lining with exposed rafters under.</p> <p>Keep well painted.</p>
Windows	High	<p>Maintain existing windows.</p> <p>Keep well painted.</p> <p>Replace any broken glass with matching glass with appropriate pattern or colour as required.</p>
Brickwork	Moderate	<p>Maintain existing face brick walling.</p> <p>Do not paint the brick walling.</p> <p>Apply new tuckpointing application to the front and part of the side walls, where showing evidence of the same.</p> <p>Use appropriate lime-based mortar in matching colour to the side and rear walls where deterioration of the existing mortar has already occurred.</p> <p>Do not use cement-based mortar.</p>

		Consult with bricklayer with extensive experience in heritage dwellings prior to the works being undertaken.
Old Services in Existing Brick walling	Intrusive	Remove any old services that have been cut into the brickwork such as wall A/C unit, piping, etc that has been decommissioned from usage.  Make good brick walling with matching brickworks and appropriate mortar (as mentioned above).
Subfloor vents	Low	Any additional subfloor vents to the base of the walling in the future should be terracotta.  Do not use metal mesh profiled subfloor vents.  Consider replacing the current mesh vents with terracotta vents in the future.
Brickwork exposed to the rear wall of the original dwelling (to occur with the demolition of the Sunroom)	Low	The southern wall the Sunroom which originally was an external wall is to partially be external again with the demolition of the Sunroom.  Remove the existing paint finish to the southern wall of the sunroom where wall becomes external.  Use chemical removal, such as Peel-Away paint removal system.  Do not use abrasive techniques.
Brickwork exposed to the rear walls of the original dwelling with the demolition of the Meals room	Low	The southern wall the Meals room, which originally was an external wall is to partially be external again with the demolition of the Meals room.  Reuse existing bricks, or matching bricks to the rear areas of the original dwelling where exposed from the demolition of the existing Meals room.

		Do not paint the brickwork.
Cement rendered band to subfloor walling	Moderate	Patch render only to areas that are currently rendered.
Gable above Bed 1 window	High	Maintain existing gable detail and profiled timber gable boards.  Paint in appropriate heritage colours.  Refer to painting section.
Gable above Dining room window	High	Maintain existing gable.  Paint in appropriate heritage colours.  Refer to painting section.
Front terrace tiles flooring	Neutral	Maintain current floor tiles.  In future any new tiles should be tessellated pattern appropriate for Federation Bungalow dwellings.
Tiles to the Risers to the Front Steps	Low	Existing plain white tiles be replaced with a more appropriate Federation Bungalow style.
Front terrace pressed metal bay window wall cladding	High	Maintained existing pressed metal wall finish.  Keep well painted.
Front terrace posts and brackets	High	Maintain existing timber front terrace posts and verandah brackets.  Keep well painted.
Front terrace ceiling	Moderate	Maintain existing timber weatherboard ceiling to the front terrace ceiling.

		Replace any rotted or deteriorated timber with matching timber.
Front terrace handrail	Intrusive	<p>The current wrought iron metal handrail should be removed as it is a later addition.</p> <p>Either no handrail is to be installed - if permissible under the National Construction Code for the height of the front terrace floor, or a timber handrail be installed in fenestration and detailing appropriate for a Federation dwelling.</p>
Painting	Low	<p>Provide heritage appropriate colours.</p> <p>Avoid the current white colours to all external surfaces.</p> <p>Provide a mix of earthy neutral, historically appropriate colours.</p> <p>Heritage colours samples are available from most paint suppliers or can be researched online.</p>

## HALLWAY

Type of element	Level of Significance	Conservation Action or Management
Floor	High	<p>Maintain existing tongue and groove timber floorboards.</p> <p>Install new finish of covering over the existing timber flooring.</p> <p>Repair any damaged or rotting boards where required.</p>
Wall	High	<p>Maintain existing plaster render walling.</p> <p>Paint in appropriate heritage colours.</p>
Wall vents	High	<p>Maintain existing wall vents to the walling.</p> <p>If required for thermal efficiency, fill the internal opening behind the vent, while maintaining the existing vent.</p>
Skirting	High	<p>Maintain the existing timber skirting boards.</p> <p>Repair any damaged or rotting skirting boards where required.</p> <p>Paint in appropriate heritage colours.</p>
Ceiling and Cornices	Exceptional	<p>Maintain the existing ceiling and cornices.</p> <p>Repair any damaged plasterworks where required.</p> <p>Paint in appropriate heritage colours.</p>
Front Door	High	<p>Maintain existing door.</p> <p>Repair any damaged timberworks where required.</p>

		<p>Maintain existing leadlight windows. Repair professionally if required.</p> <p>Ensure all glazing to the leadlight matches the original pattern and colouring.</p> <p>Paint in appropriate heritage colours.</p>
Door frame and architrave	High	<p>Maintain existing door frame and architrave</p> <p>Repair any damaged timberwork where required.</p> <p>Paint in appropriate heritage colours</p>
Door lockets	Moderate	<p>Maintain or upgrade door locks with an appropriate heritage profile.</p>
Windows	High	<p>Maintain the existing timber windows.</p> <p>Repair any damaged or rotting timberwork where required.</p> <p>Paint in appropriate heritage colours.</p>
Window frame and architrave	High	<p>Maintain existing door frame and architrave</p> <p>Repair any damaged timberwork where required.</p> <p>Paint in appropriate heritage colours</p>
Window glazing	High	<p>Replace any broken glazing with original pattern or colour.</p>
Lights and light switches	Low	<p>Ensure any lighting or light switches are selected to be of an appropriate heritage profile or detail.</p> <p>Avoid additional holes inserted into the ceiling for new lighting.</p>

		Do not install downlights.
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**LIVING ROOM**

Type of element	Level of Significance	Conservation Action or Management
Floor	High	Maintain existing tongue and groove timber floorboards.  Install new finish of covering over the existing timber flooring.  Repair any damaged or rotting boards where required.
Wall	High	Maintain existing plaster render walling.  Paint in appropriate heritage colours.
Wall vents	High	Maintain existing wall vents to the walling.  If required If required for thermal efficiency, fill the internal opening behind the vent, while maintaining the existing vent.
Skirting	High	Maintain the existing timber skirting boards.  Repair any damaged or rotting skirting boards where required.  Paint in appropriate heritage colours.
Ceiling and Cornices	Exceptional	Maintain the existing ceiling and cornices.  Repair any damaged plasterworks where required.  Paint in appropriate heritage colours.
Door	High	Maintain existing door.  Repair any damaged timberwork where required.

		Paint in appropriate heritage colours.
Door frame and architrave	High	Maintain existing door frame and architrave.  Repair any damaged timberwork where required.  Paint in appropriate heritage colours.
Door lockets	Moderate	Maintain or upgrade door locks with an appropriate heritage profile.
Windows	High	Maintain the existing timber windows.  Repair any damaged or rotting timberworks where required.  Paint in appropriate heritage colours.
Window frame and architrave	High	Maintain existing door frame and architrave.  Repair any damaged timberworks where required.  Paint in appropriate heritage colours
Window glazing	High	Replace any broken glazing with original pattern or colour.
Lights and light switches	Low	Ensure any lighting or light switches are selected to be of an appropriate heritage profile or detail.  Avoid additional holes inserted into the ceiling for new lighting.  Do not install downlights.

**DINING ROOM**

Type of element	Level of Significance	Conservation Action or Management
Floor	High	<p>Maintain existing tongue and groove timber floorboards.</p> <p>Install new finish of covering over the existing timber flooring.</p> <p>Repair any damaged or rotting boards where required.</p>
Wall	High	<p>Maintain existing plaster render walling.</p> <p>Paint in appropriate heritage colours.</p>
Wall vents	High	<p>Maintain existing wall vents to the walling.</p> <p>If required for thermal efficiency, fill the internal opening behind the vent, while maintaining the existing vent.</p>
Pilasters	High	<p>Maintain existing pilasters between the living room and the dining room.</p>
Skirting	Exceptional	<p>Maintain the existing timber skirting boards.</p> <p>Repair any damaged or rotting skirting boards where required.</p> <p>Paint in appropriate heritage colours.</p>
Ceiling and Cornices	High	<p>Maintain the existing ceiling and cornices.</p> <p>Repair any damaged plasterworks where required.</p> <p>Paint in appropriate heritage colours.</p>
Door	High	<p>Maintain existing door.</p>

		<p>Repair any damaged timberworks where required.</p> <p>Paint in appropriate heritage colours.</p>
Door frame and architrave	Moderate	<p>Maintain existing door frame and architrave</p> <p>Repair any damaged timberwork where required.</p> <p>Paint in appropriate heritage colours.</p>
Door lockets	High	<p>Maintain or upgrade door locks with an appropriate heritage profile.</p>
Windows	High	<p>Maintain the existing timber windows.</p> <p>Repair any damaged or rotting timberwork where required.</p> <p>Paint in appropriate heritage colours.</p>
Window frame and architrave	High	<p>Maintain existing door frame and architrave</p> <p>Repair any damaged timberwork where required.</p> <p>Paint in appropriate heritage colours</p>
Window glazing	High	<p>Replace any broken glazing with original pattern or colour.</p>
Lights and light switches	Low	<p>Ensure any lighting or light switches are selected to be of an appropriate heritage profile or detail.</p> <p>Avoid additional holes inserted into the ceiling for new lighting.</p> <p>Do not install downlights.</p>
Fireplace	High	<p>Maintain existing fireplace.</p>

		<p>Repair or reattached any loose or broken tiles to the hearth if required.</p> <p>Maintain existing firebox. Provide any additional missing parts of components if required.</p> <p>Do not paint over any stone.</p>
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**BED 1**

Type of element	Level of Significance	Conservation Action or Management
Floor	High	<p>Maintain existing tongue and groove timber floorboards.</p> <p>Install new finish of covering over the existing timber flooring.</p> <p>Repair any damaged or rotting boards where required.</p>
Wall	High	<p>Maintain existing plaster render walling.</p> <p>Paint in appropriate heritage colours.</p>
Wall vents	High	<p>Maintain existing wall vents to the walling.</p> <p>If required for thermal efficiency, fill the internal opening behind the vent, while maintaining the existing vent.</p>
Skirting	High	<p>Maintain the existing timber skirting boards.</p> <p>Repair any damaged or rotting skirting boards where required.</p> <p>Paint in appropriate heritage colours.</p>
Ceiling and Cornices	Exceptional	<p>Maintain the existing ceiling and cornices.</p> <p>Repair any damaged plasterworks where required.</p> <p>Paint in appropriate heritage colours.</p>
Door	High	<p>Maintain existing door.</p> <p>Repair any damaged timberworks where required.</p>

		Paint in appropriate heritage colours.
Door frame and architrave	High	Maintain existing door frame and architrave  Repair any damaged timberworks where required.  Paint in appropriate heritage colours
Door lockets	Moderate	Maintain or upgrade door locks with an appropriate heritage profile.
Windows	High	Maintain the existing timber windows.  Repair any damaged or rotting timberworks where required.  Paint in appropriate heritage colours.
Window frame and architrave	High	Maintain existing door frame and architrave  Repair any damaged timberworks where required.  Paint in appropriate heritage colours
Window glazing	High	Replace any broken glazing with original pattern or colour.
Lights and light switches	Low	Ensure any lighting or light switches are selected to be of an appropriate heritage profile or detail.  Avoid additional holes inserted into the ceiling for new lighting.  Do not install downlights.
Fireplace	High	Maintain existing fireplace.

		<p>Repair or reattached any loose or broken tiles to the hearth if required.</p> <p>Maintain existing firebox. Provide any additional missing parts of components if requited.</p> <p>Do not paint over any stone</p>
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**BED 2**

Type of element	Level of Significance	Conservation Action or Management
Floor	High	<p>Maintain existing tongue and groove timber floorboards.</p> <p>Install new finish of covering over the existing timber flooring.</p> <p>Repair any damaged or rotting boards where required.</p>
Wall	High	<p>Maintain existing plaster render walling.</p> <p>Paint in appropriate heritage colours.</p>
Wall vents	High	<p>Maintain existing wall vents to the walling.</p> <p>If required for thermal efficiency, fill the internal opening behind the vent, while maintaining the existing vent.</p>
Skirting	High	<p>Maintain the existing timber skirting boards.</p> <p>Repair any damaged or rotting skirting boards where required.</p> <p>Paint in appropriate heritage colours.</p>
Ceiling and Cornices	Exceptional	<p>Maintain the existing ceiling and cornices.</p> <p>Repair any damaged plasterworks where required.</p> <p>Paint in appropriate heritage colours.</p>
Door	High	<p>Maintain existing door.</p> <p>Repair any damaged timberworks where required.</p>

		Paint in appropriate heritage colours.
Door frame and architrave	High	Maintain existing door frame and architrave  Repair any damaged timberworks where required.  Paint in appropriate heritage colours
Door lockets	Moderate	Maintain or upgrade door locks with an appropriate heritage profile.
Windows	High	Maintain the existing timber windows.  Repair any damaged or rotting timberworks where required.  Paint in appropriate heritage colours.
Window frame and architrave	High	Maintain existing door frame and architrave  Repair any damaged timberworks where required.  Paint in appropriate heritage colours
Window glazing	High	Replace any broken glazing with original pattern or colour.
Lights and light switches	Low	Ensure any lighting or light switches are selected to be of an appropriate heritage profile or detail.  Avoid additional holes inserted into the ceiling for new lighting.  Do not install downlights.

**BED 3**

Type of element	Level of Significance	Conservation Action or Management
Floor	High	<p>Maintain existing tongue and groove timber floorboards.</p> <p>Install new finish of covering over the existing timber flooring.</p> <p>Repair any damaged or rotting boards where required.</p>
Wall	High	<p>Maintain existing plaster render walling.</p> <p>Paint in appropriate heritage colours.</p>
Wall vents	High	<p>Maintain existing wall vents to the walling.</p> <p>If required for thermal efficiency, fill the internal opening behind the vent, while maintaining the existing vent.</p>
Skirting	High	<p>Maintain the existing timber skirting boards.</p> <p>Repair any damaged or rotting skirting boards where required.</p> <p>Paint in appropriate heritage colours.</p>
Ceiling and Cornices	Exceptional	<p>Maintain the existing ceiling and cornices.</p> <p>Repair any damaged plasterworks where required.</p> <p>Paint in appropriate heritage colours.</p>
Door	High	<p>Maintain existing door.</p> <p>Repair any damaged timberwork where required.</p>

		Paint in appropriate heritage colours.
Door frame and architrave	High	Maintain existing door frame and architrave  Repair any damaged timberwork where required.  Paint in appropriate heritage colours
Door lockets	Moderate	Maintain or upgrade door locks with an appropriate heritage profile.
Windows	High	Maintain the existing timber windows.  Repair any damaged or rotting timberwork where required.  Paint in appropriate heritage colours.
Window frame and architrave	High	Maintain existing door frame and architrave  Repair any damaged timberworks where required.  Paint in appropriate heritage colours
Window glazing	High	Replace any broken glazing with original pattern or colour.
Lights and light switches	Low	Ensure any lighting or light switches are selected to be of an appropriate heritage profile or detail.  Avoid additional holes inserted into the ceiling for new lighting.  Do not install downlights.

**BATHROOM/SHOWER**

Type of element	Level of Significance	Conservation Action or Management
Floor	High	Recently renovated. No action required.
Wall	High	Recently renovated. No action required.
Ceiling and Cornices	High	Recently renovated. No action required.
Door	High	Recently renovated. No action required.
Door frame and architrave	High	Recently renovated. No action required.
Door lockets	High	Recently renovated. No action required.
Windows	High	Recently renovated. No action required.
Window frame and architrave	High	Recently renovated. No action required.
Window glazing	High	Recently renovated. No action required.

Lights and light switches	High	Recently renovated.  No action required.
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**FAMILY**

Type of element	Level of Significance	Conservation Action or Management
Floor	High	<p>Maintain existing tongue and groove timber floorboards.</p> <p>Install new finish of covering over the existing timber flooring.</p> <p>Repair any damaged or rotting boards where required.</p>
Wall	High	<p>Maintain existing plaster render walling.</p> <p>Paint in appropriate heritage colours.</p>
Wall vents	High	<p>Maintain existing wall vents to the walling.</p> <p>If required for thermal efficiency, fill the internal opening behind the vent, while maintaining the existing vent.</p>
Skirting	Moderate	<p>Maintain the existing timber skirting boards.</p> <p>Repair any damaged or rotting skirting boards where required.</p> <p>Paint in appropriate heritage colours.</p>
Ceiling and Cornices	Moderate	<p>Maintain the existing ceiling and cornices.</p> <p>Repair any damaged plasterworks where required.</p> <p>Paint in appropriate heritage colours.</p>
Door	High	<p>Maintain existing door.</p> <p>Repair any damaged timberworks where required.</p>

		Paint in appropriate heritage colours.
Door frame and architrave	High	Maintain existing door frame and architrave  Repair any damaged timberworks where required.  Paint in appropriate heritage colours
Door lockets	Low	Maintain or upgrade door locks with an appropriate heritage profile.
Door and Window to northern side, including frame, architrave and glazing	Moderate	Remove existing door frame with side windows to rear wall of the family room.  Either reuse on site or sell frame for use on another project.  Make good opening with appropriate matching timber architraves or plaster rendered reveals.
Lights and light switches	Low	Ensure any lighting or light switches are selected to be of an appropriate heritage profile or detail.  Avoid additional holes inserted into the ceiling for new lighting.  Do not install downlights.
Fireplace (Currently missing)	Intrusive	Existing fireplace has been removed and replaced with shelves.  The original hearth tiles are still evident to the flooring.  The integrity of the original fireplace has been lost.  Remove shelves, which are in poor condition.

		<p>Reinstate a new matching firebox and mantel piece to match the adjoining room.</p> <p>Rebuild the internal chimney to the corner of the room.</p> <p>Make good plaster render wall finish to match the surround.</p>
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**KITCHEN**

**(To be Converted to a Powder Room and Laundry)**

Type of element	Level of Significance	Conservation Action or Management
Floor	Low	Remove existing floor tiles on possibly concrete slab.  Install new floor tiles over.
Wall	Moderate	Maintain existing plaster render walling or replace/repair so as to allow for future waterproofing tiles finish over.  Paint in appropriate heritage colours.
Ceiling and Cornices	Low	The current ceiling has been water damaged and is sagging.  Condition of the ceiling is poor.  Replace existing cornice and ceiling and replace with new so as to suit the new Powder Room and Laundry configuration.
Door	High to hall  Low to western side	Maintain existing door from the hallway to the kitchen. Repair any damaged timberworks where required.  Maintain or replace the door from the kitchen to the westerns side of the dwelling.  New door to be appropriate Federation profiled door, with appropriate timber trims and glass panel insert if required.  Paint in appropriate heritage colours.
Door frame and architrave	High	Maintain existing door frame and architrave

		<p>Repair any damaged timberworks where required.</p> <p>Paint in appropriate heritage colours</p>
Door lockets	Low	Maintain or upgrade door locks with appropriate heritage profile.
Lights and light switches		Due to removal of the ceiling and new room use, provide lighting and light switches to suit.
Kitchen cabinetry and appliances	Intrusive	<p>Remove cabinetry due to reaching its life expectancy.</p> <p>Disposal of appropriately.</p>

**GARAGE/SUNROOM/ MEALS AND LAUNDRY**

Type of element	Level of Significance	Conservation Action or Management
These rooms are to be demolished.  No conservation management plan necessary.		

**SITE LANDSCAPING**

Type of element	Level of Significance	Conservation Action or Management
Front brick fence	Moderate	Clean bricks of mould and debris on regular basis with detergent or other soft cleaning agent.
Gates to front fence	Moderate	Keep well painted.  Brush off any rust with a rust inhibitor paint and paint over in finishing coat.
Rear and Side Fencing	Low	Maintain appropriate boundary fencing.
Planting	Moderate	Maintain and enhance existing planting through the establishment of additional garden beds with appropriately sized planting.  Avoid planting or large trees near the house to avoid structural damage.  Consult with Landscaper as required for appropriate species.
Driveway	Moderate	Remove existing concrete driveway and replace with crushed compacted pebble or reduce extent of concrete driveway to wheel strips with planting or crush compacted pebbles between the concrete wheel strips.  Provide brick edging to the driveway.

## 12.0 RECOMMENDATIONS PRESERVATION AND RESTORATION REQUIREMENTS

The following recommendations are made:

- Experienced tradespersons (as appropriate) are to be commissioned who are skilled in traditional building and engineering trades to carry out the new detailing work.
- Archaeology relics, if found, are to be dealt with by nominating the appropriate authority.
- Works should not be undertaken without consent unless there is a specific exemption available such as undertaking routine maintenance.
- Contractors and others working on the site should be inducted and advised of the heritage values of the place
- Good records of work should be maintained for future owners and to record what and how change is undertaken.
- Protective sheeting and covered should be placed over any works that expose the built fabric of the heritage item (house) to the natural elements for a period of time.

### 13.0 CONSIDERATION OF POTENTIAL FUTURE DEVELOPMENT

The proposed alterations and additions to the Federations Dwelling in the current DA were designed on the basis that the original front section of the dwelling should remain, while the rear sunroom, laundry and free-standing garage and carport should be demolished and replaced with a new rear two storey addition.

The proposed DA would not result in any adverse effects to the opportunity to provide and undertake an appropriate Conservation Management Plan for the original dwelling to the front of the house.

The current heritage listing of the allotment should also remain, providing the appropriate protection of the current dwelling.

Yours sincerely

A handwritten signature in black ink, appearing to read "Brad Inwood". The signature is stylized with a long horizontal stroke extending to the right.

Brad Inwood  
*B.Arch (UNSW)hons. B.URP(UNE)*  
*Chartered Architect AIA 7108*