

## NATIONAL CONSTRUCTION CODE (NCC) 2019 AMENDMENT 1

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### ACCESSIBILITY REPORT



**19 FLORENCE STREET, STRATHFIELD NSW 2135**

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### ALTERATIONS AND ADDITIONS TO AN EXISTING ANCILLARY OFFICE BUILDING (ANCILLARY TO AN EXISTING EARLY CHILDHOOD CENTRE).

<b>Prepared for:</b>	AUDAA Architecture C/- Shaheer Gobran
<b>Description:</b>	Undertake a desktop review of the development application plans against the accessibility provisions* of the National Construction Code (NCC) 2019 amendment 1.  * NCC parts D3, E3.6, and F2.4.
<b>Report number:</b>	210142r2/access
<b>Date:</b>	18.08.2021
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**DA2021.231  
13th September 2021**

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## 1.0. DOCUMENT CONTROL

### 1.1. Report History

Report No.	Date	Rev	Comment
210142r1/access	16.08.2021	1	DRAFT for stakeholder comment
210142r2/access	18.08.2021	2	FINAL
Prepared by		Peer review by	
Adam Johannesen BDC 3060		Peter Antcliffe BDC 0009 Member - Association of Consultants in Access Australia (ACA)	

### 1.2. Drawings

Drawing No.	Drawing Title	Date	Revision
A000	COVER PAGE	12.04.2021	A
A100	SITE ANALYSIS	05.04.2021	-
A102	SITE PLAN	12.04.2021	A
A105	EXISTING / DEMO PLAN	12.04.2021	A
A106	GROUND FLOOR	05.04.2021	-
A107	PROPOSED FIRST FLOOR	12.04.2021	A
A200	ELEVATIONS	12.04.2021	A
A201	Elevations 2	05.04.2021	-
A300	SECTIONS	12.04.2021	A
A401	EXTERNAL MATERIAL & FINISHES	05.04.2021	-

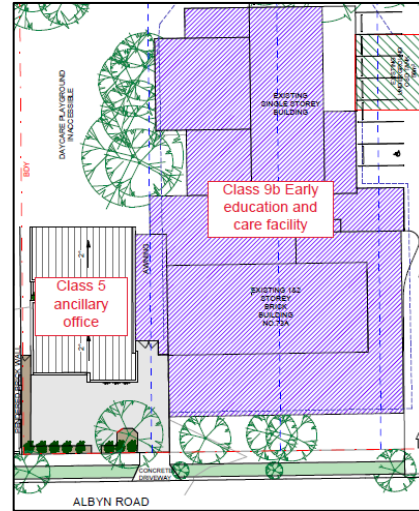
A402	GFA & FSR CALCULATIONS	05.04.2021	-
A403	GLAZING TYPES	05.04.2021	-
A404	GLAZING TYPE PAGE 2	05.04.2021	-
A405	WINDOW SCHEDULE	05.04.2021	-

## 2.0. INTRODUCTION

### 2.1. Location, Description

The proposal is located at the legal address of **19 Florence Street, Strathfield NSW 2135** however vehicular entry is only from Albyn Road. The existing improvements on the lot include an existing early education and care facility comprised of an existing single storey building to the north of the lot and existing 2 storey building to the southwest, and existing ancillary office building to the southwest.

It is proposed to add another level to the existing ancillary office building to provide additional and improved amenities and more space for the existing staff cohort of the class 9b part. For the purposes of assessment, ancillary office building is a separate building.



Source: Google maps (accessed 29.07.21)

## 2.2. Report Purpose

The purpose of this report is to satisfy Cumberland Council's Development Application lodgement requirements and assist Council to understand whether the proposal is indicatively capable of complying with the NCC (Parts D3, F2.4, and E3.6) without significant modification at the construction certificate phase.

## 2.3. Basis of Report

This report is based upon:

- A desktop review of the documentation submitted for assessment (refer to [section 2.2](#) of this report); and
- The Deemed-to-Satisfy provisions of Parts D3, E3.6, and F2.4 of the National Construction Code Series (volume 1) 2019 amendment 1.

## 2.4. Referenced Documents

The following documentation was relied upon when preparing this report:

- The performance requirements and deemed-to-satisfy provisions of the National Construction Code (NCC) 2019 amendment 1, incorporating the NSW Appendices where applicable.
- Guide to the National Construction Code Volume 1.
- Disability (Access to Premises — Buildings) Standards 2010.
- Environmental Planning & Assessment Act 1979.
- Environmental Planning & Assessment Regulation 2000.

## 2.5. Limitations and Exclusions

The limitations and exclusions of this report are as follows:

- This report is based on a review of the referenced documents.
- No assessment has been undertaken with respect to the Disability Discrimination Act 1992 (DDA). Separate advice from an appropriately qualified access consultant should be obtained by the client to be satisfied that their obligations under the DDA have been addressed.
- Please note that whilst the NCC specifies a minimum standard of compliance with AS1428.1 and Part D3 of the BCA for access and facilities for people with disabilities, compliance with such requirements may not necessarily preclude the possibility of a future complaint made under the Disability Discrimination Act 1992 (DDA). The DDA is complaint-based legislation and is presently not identified by the State Building Codes and Regulations. In this

regard the client should be satisfied that their obligations under the DDA have been addressed.

- This Report does not address issues in relation to the following:
  - a) The structural adequacy of the building including the Fire Resistance Levels (FRL's) of any existing building elements (unless specifically referred to).
  - b) The design, maintenance or operation of any existing electrical, mechanical, hydraulic or fire protection services.
  - c) Environmental Planning and Assessment Act and Regulations.
  - d) Local Government Act and Regulations.
  - e) Occupational Health and Safety Act and Regulations.
  - f) WorkCover Authority requirements.
  - g) Requirements of other Regulatory Authorities including, but not limited to, Telstra, Sydney Water, Electricity Supply Authority, RTA, Council and the like.
  - h) Disability Discrimination Act.
  - i) Construction Safety Act.
  - j) Any previous conditions of Development Consent issued by the relevant Local Council.
  - k) The 'Adaptable Housing' Code (AS4299-1995)
  
- Building Anatomy cannot guarantee acceptance of this report by the Local Council or other approval authorities.
  
- Without written permission from Building Anatomy, no part of this document may be reproduced in any form or by any means. This report is based solely on client instructions, and therefore should not be used by any third party without prior knowledge of such instructions.

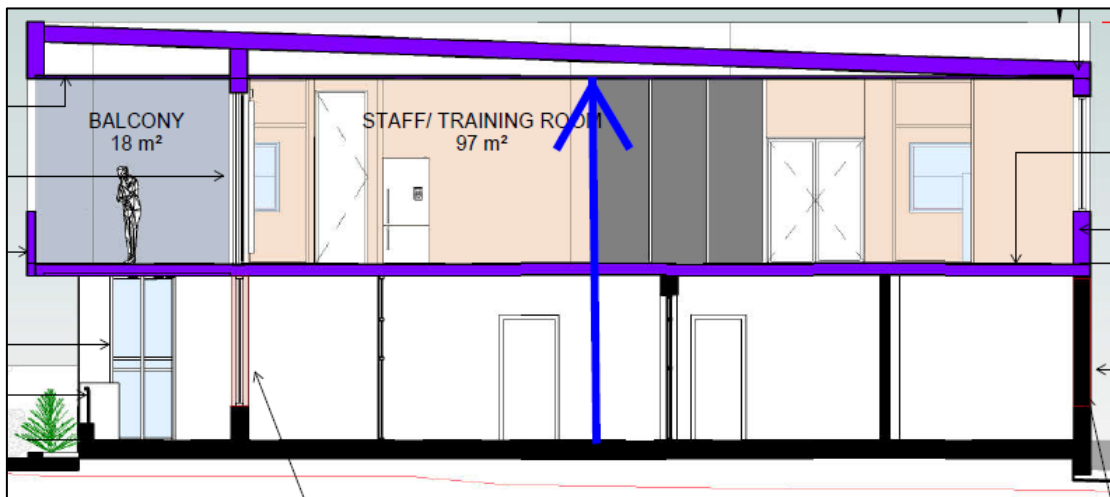
### 3.0. BUILDING NCC DESCRIPTION

#### 3.1. NCC Description

This review has been undertaken against the applicable accessibility provisions of the National Construction Code (NCC) 2019 amendment 1 – Parts D3, E3.6, and F2.4. The building is described in the following sections.

#### 3.2. Rise in Storeys (RIS) (Clause C1.2)

The new addition increases the rise in storeys of the office building to two (2). There are two (2) storeys contained within. The other existing buildings on the lot are not more than 2 storeys.



**Section 2:** Courtesy of AUDAA Pty Ltd

#### 3.3. Building Classifications (Clause A3.2)

Building Levels	Classification
Ground floor	Class 5 office (ancillary to the class 9b use)
Level one	Class 5 office (ancillary to the class 9b use)

**Note:** The class 5 ancillary office building is a separate standalone building for the purposes of this assessment.



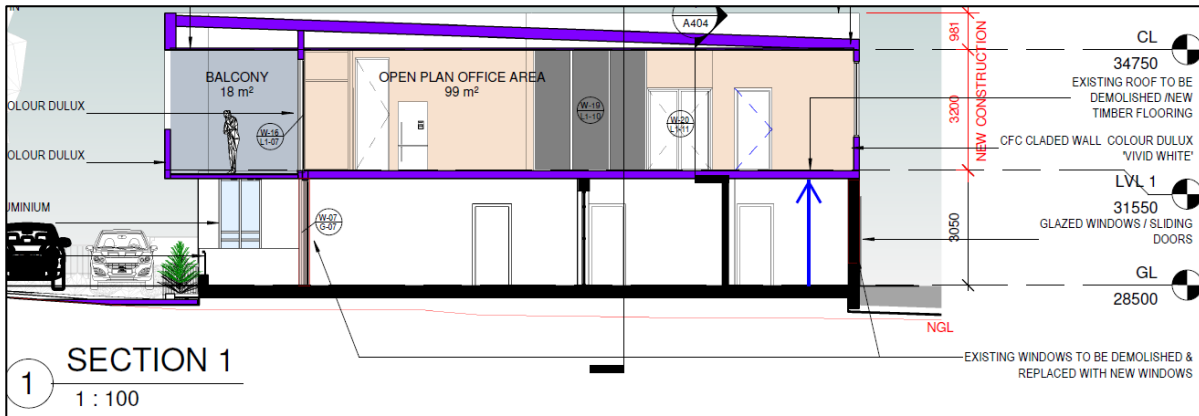
### 3.4. Effective Height (Clause A1.1)

The effective height of the building is **3.05m**.

Lowest floor level counted in the rise in storeys: 28,500

Floor of top storey counted in the rise in storeys: 31,550

$$31,550 - 28,500 = 3,050.$$



**Section 2:** Courtesy of AUDAA Pty Ltd

#### 4.0. APPENDIX A: NCC ACCESSIBILITY REQUIREMENTS - CLAUSE BY CLAUSE ASSESSMENT

Table 4.1 below is a clause-by-clause checklist of the Deemed-to-Satisfy Provisions of the applicable accessibility provisions of the National Construction Code (NCC) 2019 amendment 1 – Parts D3, E3.6, and F2.4.

The abbreviations outlined below may be used in the table that follows:

<b>N/A</b>	The Deemed-to-Satisfy clause does not apply to the subject Building.
<b>Complies</b>	The relevant provisions of the Deemed-to-Satisfy clause have been demonstrated by the proposed design and existing building features.
<b>CRA</b>	‘Compliance Readily Achievable’. It is considered that the level of detail included in the CC documentation will not determine strict compliance with the individual NCC clause requirements. Further certification will be required prior to the issue of the Construction Certificate.
<b>FI</b>	Further information is necessary to determine the compliance potential of the building design.
<b>PS</b>	Performance Solution with respect to this Deemed-to-Satisfy Provision is possible to satisfy the relevant BCA Performance Requirements.
<b>DNC</b>	Does Not Comply.
<b>DTS</b>	Deemed-To-Satisfy provisions as defined by the National Building Code of Australia 2019 amendment 1.

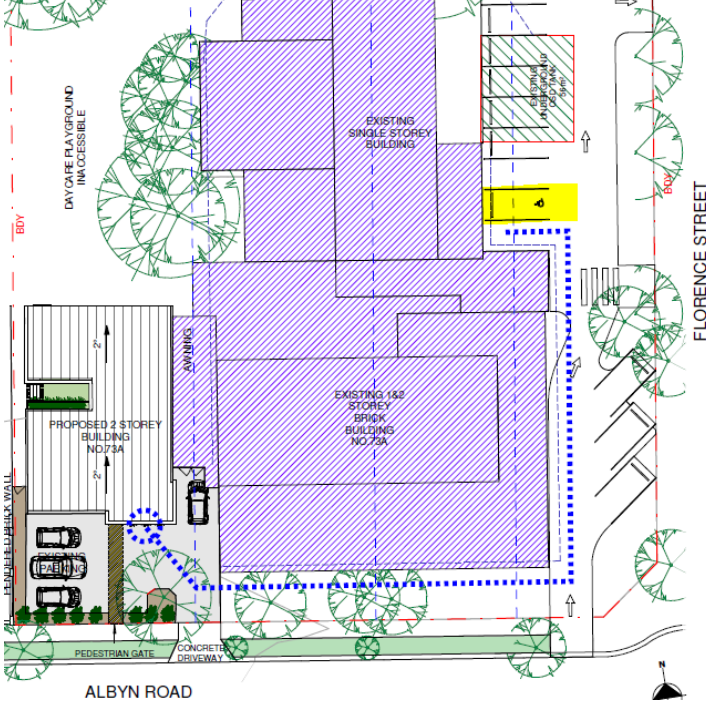
#### 4.1. Table 4.1. NCC 2019 Amendment 1 Accessibility Assessment

Clause	Description	Status	Comments
<b>SECTION D – ACCESS AND EGRESS</b>			
<b>SECTION D3.3 – ACCESS FOR PEOPLE WITH DISABILITIES</b>			
D3.0	Deemed-to-Satisfy Provisions	Noted	
D3.1	General Building Access Requirements	Complies	<p>Table D3.1 indicates that for a class 5 building part, access is required <u>to and within all areas normally used by occupants</u>.</p> <p>It is proposed to provide wheelchair access into the ground floor via the main entry door to the south of the existing office building. The point of providing this access is not to enable the entirety of the ground floor to be wheelchair accessible but rather to improve on the nil access currently afforded.</p> <p>The new addition (level one) will not be provided with lift access in accordance with BCA part D3.3(f).</p>

Clause	Description	Status	Comments
D3.2	Access to Buildings	Complies	<p>a) An accessway<sup>1</sup> must be provided to a building required to be accessible –</p> <ul style="list-style-type: none"> <li>i. from the main points of a pedestrian entry at the allotment boundary,</li> <li>ii. from another accessible building connected by a pedestrian link; and</li> <li>iii. from any required accessible carparking space on the allotment.</li> </ul> <p>b) In a building required to be accessible, an accessway must be provided through the principal pedestrian entrance, and—</p> <ul style="list-style-type: none"> <li>i. through not less than 50% of all pedestrian entrances including the principal pedestrian entrance; and</li> <li>ii. in a building with a total floor area more than 500m<sup>2</sup>, a pedestrian entrance which is not accessible must not be located more than 50m from an accessible pedestrian entrance,</li> </ul> <p>except for pedestrian entrances serving only areas exempted by D3.4.</p> <p><b>The principal pedestrian entry</b> to the south of the office building will be provided with wheelchair access via a ramp. The proposed ramp is accessible from the pedestrian entrance at the allotment boundary, as well as car spaces on the lot which includes an accessible car space adjacent to the existing class 9b building. The pedestrian entry doorway is a single leaf door.</p>

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<sup>1</sup> **Accessway** means a continuous accessible path of travel (as defined in AS 1428.1) to, into or within a building

Clause	Description	Status	Comments
			 <p data-bbox="794 1102 1503 1227">Full construction details including cross sections must be provided to the Certifying Authority to determine strict compliance with AS1428.1-2009 prior to the approval of the construction certificate.</p>
D3.3	Parts of Buildings to be accessible	CRA	<p data-bbox="794 1249 1248 1281"><b>Pedestrian ramps and stairways</b></p> <p data-bbox="794 1290 1503 1384">In parts of the building required to be accessible (other than areas exempted by D3.4), every pedestrian ramp and stairway must comply with –</p> <ol data-bbox="826 1393 1503 1608" style="list-style-type: none"> <li data-bbox="826 1393 1503 1460">i. for a ramp, except a fire-isolated ramp, clause 10 of AS 1428.1; and</li> <li data-bbox="826 1469 1503 1536">ii. for a stairway, except a fire-isolated stairway, clause 11 of AS 1428.1; and</li> <li data-bbox="826 1545 1503 1608">iii. for a fire-isolated stairway, clause 11.1(f) and (g) of AS 1428.1.</li> </ol> <p data-bbox="794 1617 1503 1684">The proposal is capable of compliance, noting there are no fire isolated stairways.</p> <p data-bbox="794 1729 1008 1760"><b>Passenger lifts</b></p> <p data-bbox="794 1769 1279 1800">There is no lift to level one proposed.</p> <p data-bbox="794 1845 976 1877"><b>Accessways</b></p> <p data-bbox="794 1886 1503 1989">Passing bays complying with AS1428.1 are not required as there are no maximum intervals of 20m where a direct line of sight is not available.</p>

Clause	Description	Status	Comments
			<p><b>Ramp and lift concession</b></p> <p>The building is not more than 2 storeys and level one has a floor area less than 200sqm. Lift access is therefore <b>not</b> required to level one.</p> <p><b>Carpets</b></p> <ul style="list-style-type: none"> <li>i. Clause 7.4.1(a) of AS 1428.1 does not apply and is replaced with 'the pile height or pile thickness shall not exceed 11 mm and the carpet backing thickness shall not exceed 4mm'; and</li> <li>ii. The carpet pile height or pile thickness dimension, carpet backing thickness dimension and their combined dimension shown in Figure 8 of AS 1428.1 do not apply and are replaced with 11 mm, 4 mm and 15 mm respectively.</li> </ul> <p>The proposal is capable of compliance.</p> <p>Final details to be provided at the construction certificate stage detailing compliance with AS1428.1-2009 'Design for access and mobility'.</p> <p><i>It is noted that the NCC does not specifically require slip resistance compliance in accordance with AS4586 for accessways however under section 7.1 of AS1428.1-2009, continuous accessible paths of travel and any circulation spaces shall have a slip-resistant surface<sup>2</sup>. We <u>highly recommend</u> the design submitted to the certifying authority with the construction certificate application confirms compliance with section 7.1 of AS1428.1-2009.</i></p>

**Clause 10 of AS 1428.1 (for a ramp, except a fire-isolated ramp):**

10 WALKWAYS, RAMPS AND LANDINGS

10.1 General

*Walkways, ramps and landings that are provided on a continuous accessible path of travel shall be as follows:*

- (a) *Sharp transitions shall be provided between the planes of landings and ramps, as shown in Figure 14.*
- (b) *Landings shall be provided at all changes in direction in accordance with Clause 10.8.*
- (c) *Landing or circulation space shall be provided at every doorway, gate, or similar opening.*
- (d) *For walkways and landings having gradients in the direction of travel shallower than 1 in 33, a camber or crossfall shall be provided for shedding of water and shall be no steeper than 1 in 40, except that bitumen surfaces shall have a camber or crossfall no steeper than 1 in 33.*

*NOTE: For requirements for ground surfaces, see Clause 7.*

<sup>2</sup> **Slip resistant surface** means a property of a surface having a frictional force-opposing movement of an object across a surface.

Clause	Description	Status	Comments
<p><i>NOTE: A summary of requirements for walkways, ramps and landings is provided in Appendix C.</i></p>			
<p><b>10.2 Walkways</b></p> <p><i>Walkways shall comply with the following:</i></p> <p>(a) <i>The floor or ground surface abutting the sides of the walkway shall provide a firm and level surface of a different material to that of the walkway at the same level of the walkway, follow the grade of the walkway and extend horizontally for a minimum of 600 mm unless one of the following is provided:</i></p> <ul style="list-style-type: none"> <li><i>i. Kerb in accordance with Figure 18.</i></li> <li><i>ii. Kerb rail and handrail in accordance with Figure 19.</i></li> <li><i>iii. A wall not less than 450 mm in height.</i></li> </ul> <p>(b) <i>Walkways shall be provided with landings, as specified in Clause 10.8, at intervals not exceeding the following:</i></p> <ul style="list-style-type: none"> <li><i>i. For walkway gradients of 1 in 33, at intervals no greater than 25 m.</i></li> <li><i>ii. For walkway gradients of 1 in 20, at intervals no greater than 15 m.</i></li> <li><i>iii. For walkway gradients between 1 in 20 to 1 in 33, at intervals that shall be obtained by linear interpolation.</i></li> </ul> <p><i>For walkways shallower than 1 in 33, no landings are required.</i></p> <p><i>The intervals specified above may be increased by 30% where at least one side of a walkway is bounded by—</i></p> <ul style="list-style-type: none"> <li><i>A. a kerb or kerb rail as specified in Clause 10.3(j) and a handrail as specified in Clause 12; or</i></li> <li><i>B. a wall and a handrail as specified in Clause 12.</i></li> </ul>			
<p><b>10.3 Ramps</b></p> <p><i>Ramps shall comply with the following:</i></p> <p>(a) <i>The maximum gradient of a ramp exceeding 1900 mm in length shall be 1 in 14.</i></p> <p>(b) <i>The gradient of a ramp shall be constant throughout its length with a maximum allowable tolerance of 3% provided no section of the ramp is steeper than 1 in 14.</i></p> <p>(c) <i>Ramps shall be provided with landings, as specified in Clause 10.8, at the bottom and at the top of the ramp and at intervals not exceeding the following:</i></p> <ul style="list-style-type: none"> <li><i>i. For ramp gradients of 1 in 14, at intervals not greater than 9 m.</i></li> <li><i>ii. For ramp gradients steeper than 1 in 20, at intervals not greater than 15 m.</i></li> <li><i>iii. For ramp gradients between 1 in 14 and steeper than 1 in 20, at intervals that shall be obtained by linear interpolation.</i></li> </ul> <p>(d) <i>Where ramps are constructed with a change in direction, the angle of approach shall create a 90° angle to the line of transition between the ramp surface and the landing surface, as shown in Figure 13.</i></p> <p>(e) <i>Ramps shall have a handrail complying with Clause 12 on each side of the ramp, as shown in Figure 14.</i></p> <p><i>NOTE: Figures 15(A) and 15(B) show examples of suitable ramp handrail terminations.</i></p> <p>(f) <i>Where the intersection is at the property boundary, the ramp shall be set back by a minimum of 900 mm so that the handrail (complying with Clause 12) and TGSIs do not protrude into the transverse path, as shown in Figure 16.</i></p> <p><i>TGSIs shall be installed in accordance with AS 1428.4.1.</i></p> <p>(g) <i>Where the intersection is at an internal corridor, the ramp shall be set back by a minimum of 400 mm so that the handrail complying with Clause 12 does not protrude into the transverse path of travel as shown in Figure 17.</i></p> <p>(h) <i>The handrail shall extend a minimum of 300 mm horizontally past the transition point at the top and bottom of the ramp except where the inner handrail is continuous at an intermediate landing.</i></p>			

Clause	Description	Status	Comments
(i)	<p>Ramps and intermediate landings shall have kerbs or kerb rails on both sides that comply with the following:</p> <ul style="list-style-type: none"> <li>i. The minimum height above the finished floor shall be 65 mm.</li> <li>ii. The height of the top of the kerb or kerb rail shall not be within the range 75 mm to 150 mm above the finished floor, as shown in Figure 18.</li> <li>iii. There shall be no longitudinal gap or slot greater than 20 mm in the kerb or kerb rail within the range 75 mm to 150 mm above the finished floor.</li> </ul> <p>NOTES:</p> <ul style="list-style-type: none"> <li>1. For details on kerbs and kerb rails, see Figure 18.</li> <li>2. For location of kerb or kerb rail, see Figure 19.</li> <li>3. Examples of kerb rail configuration are shown in Appendix A.</li> </ul>		
(j)	<p>Kerbs or kerb rails shall—</p> <ul style="list-style-type: none"> <li>i. be located so that the ramp-side face is either flush with the ramp-side face of the handrail or no greater than 100 mm away from the ramp-side face of the handrail, as shown in Figure 19;</li> <li>ii. where the handrail is supported on a vertical post, the height of the top of the kerb or kerb rail shall be not less than 150 mm above the finished floor, as shown in Figures 19(a), 19(b) or 19(c); and</li> <li>iii. where the kerb is at a height of 65 mm to 75 mm, the support posts shall be set back a minimum of 200 mm from the face of the kerb or kerb rail, as shown in Figure 19(d).</li> </ul>		

**Clause 11 of AS 1428.1 (for a stairway, except a fire-isolated stairway):**

11 STAIRWAYS

11.1 Stair construction

Where required, stairs shall be constructed as follows:

- (a) Where the intersection is at the property boundary, the stair shall be set back by a minimum of 900 mm so that the handrail (complying with Clause 12) and TGSIs do not protrude into the transverse path of travel, as shown in Figure 26(A).
- (b) Where the intersection is at an internal corridor, the stair shall be set back in accordance with Figure 26(B).  
NOTE: Examples of stair handrail terminations are given in Figures 26(C) and 26(D).
- (c) Stairs shall have opaque risers.
- (d) Stair nosings shall not project beyond the face of the riser and the riser may be vertical or have a splay backwards up to a maximum 25 mm, as shown in Figures 27(A) and 27(B).
- (e) Stair nosing profiles shall—
  - a. have a sharp intersection;
  - b. be rounded up to 5 mm radius; or
  - c. be chamfered up to 5 mm × 5 mm.
- (f) At the nosing, each tread shall have a strip not less than 50 mm and not more
- (g) than 75 mm deep across the full width of the path of travel. The strip may be set back a maximum of 15 mm from the front of the nosing. The strip shall have a minimum luminance contrast of 30% to the background. Where the luminous contrasting strip is affixed to the surface of the tread, any change in level shall comply with Clause 7.2 and Clause 7.3.
- (h) Where the luminance contrasting strip is not set back from the front of the nosing then any area of luminance contrast shall not extend down the riser more than 10 mm.
- (i) TGSIs shall be installed in accordance with AS 1428.4.1.



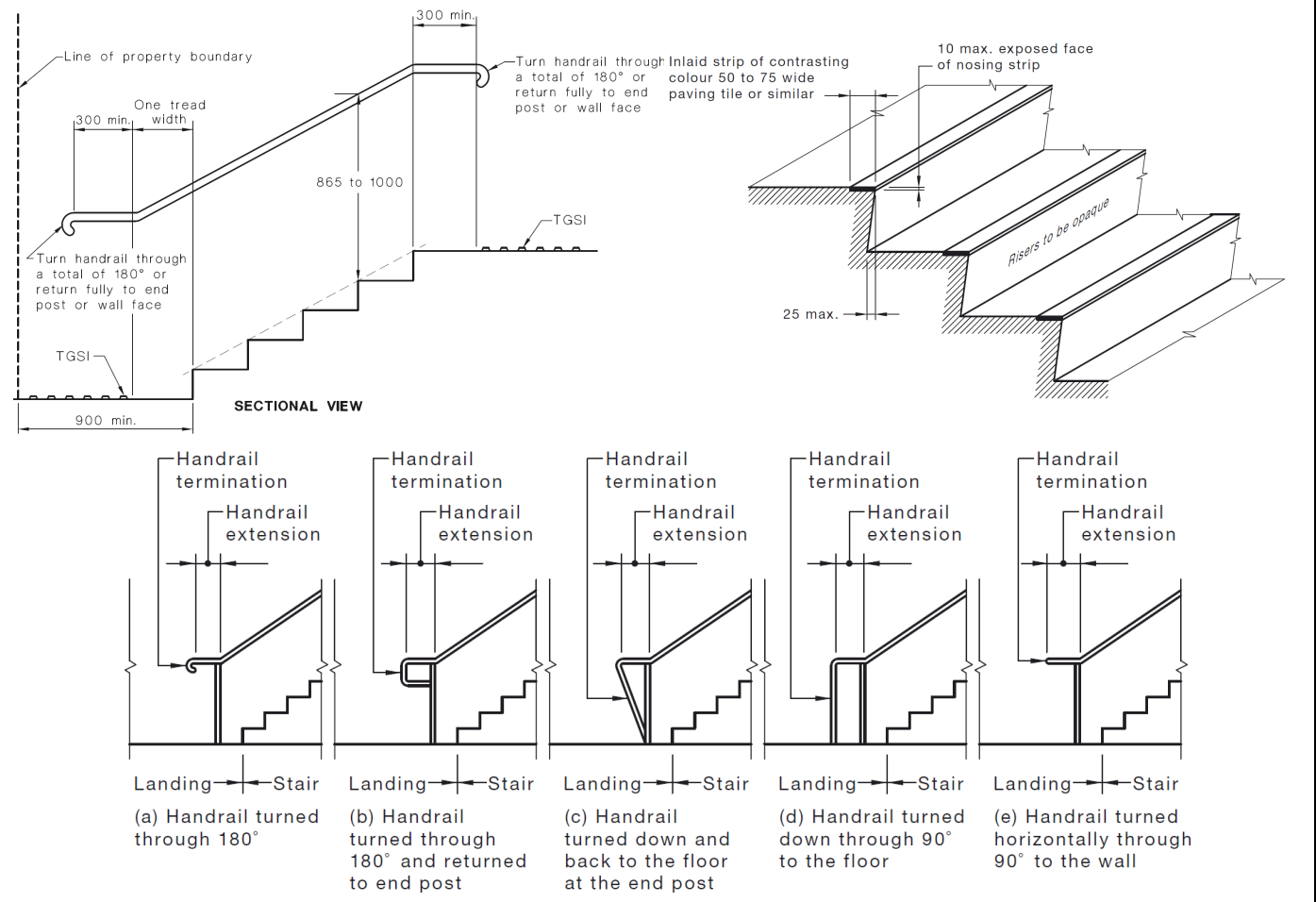
Clause	Description	Status	Comments
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**Clause 11.1(f) and (g) of AS 1428.1 (for a fire-isolated stairway):**

**11 STAIRWAYS**

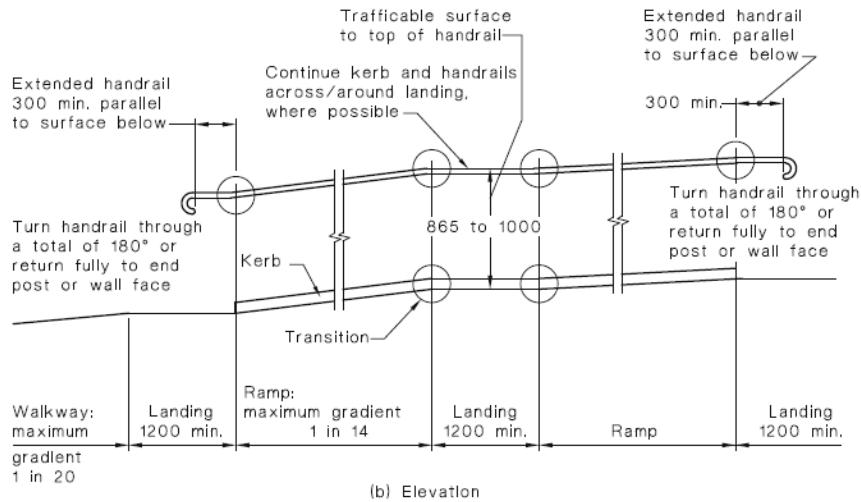
**11.1 Stair construction**

- (f) At the nosing, each tread shall have a strip not less than 50 mm and not more
- (g) than 75 mm deep across the full width of the path of travel. The strip may be set back a maximum of 15 mm from the front of the nosing. The strip shall have a minimum luminance contrast of 30% to the background. Where the luminous contrasting strip is affixed to the surface of the tread, any change in level shall comply with Clause 7.2 and Clause 7.3.



Clause	Description	Status	Comments
	<p>Obstruction</p> <p>Wall</p> <p>50 min.</p> <p>600 min.</p> <p>270° min.</p> <p>15 min.</p> <p>865 to 1000 above nosing of tread or surface level</p> <p>No obstruction near handrail above this height except for support in the shaded area only</p> <p>Fire hose reel/ fire extinguisher/ services cabinet</p> <p>SIGNAGE</p> <p>Shelf</p> <p>1980 min. height at doorways</p> <p>Circulation space 1000 minimum width x 2000 minimum height (except at doorways)</p> <p>Skirting</p>		
	<p>Handrail</p> <p>Kerb</p> <p>1000</p> <p>Walkway: maximum gradient 1 in 20</p> <p>Landing 1200 min.</p> <p>Ramp: maximum gradient 1 in 14</p> <p>Landing 1200 min.</p> <p>Ramp</p> <p>Landing 1200 min.</p> <p>(a) Plan view</p>		

Clause	Description	Status	Comments
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DIMENSIONS IN MILLIMETRES

FIGURE 14 RAMP HANDRAILS

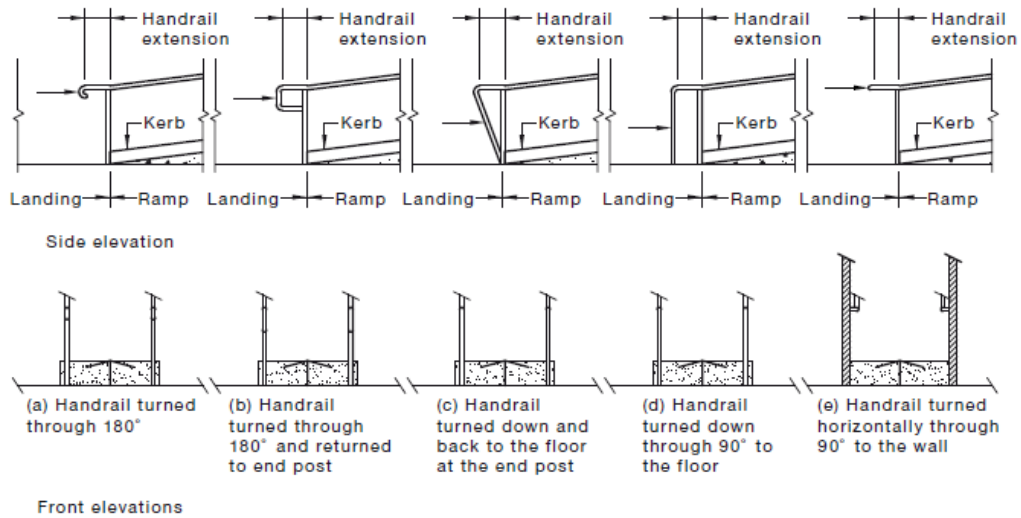
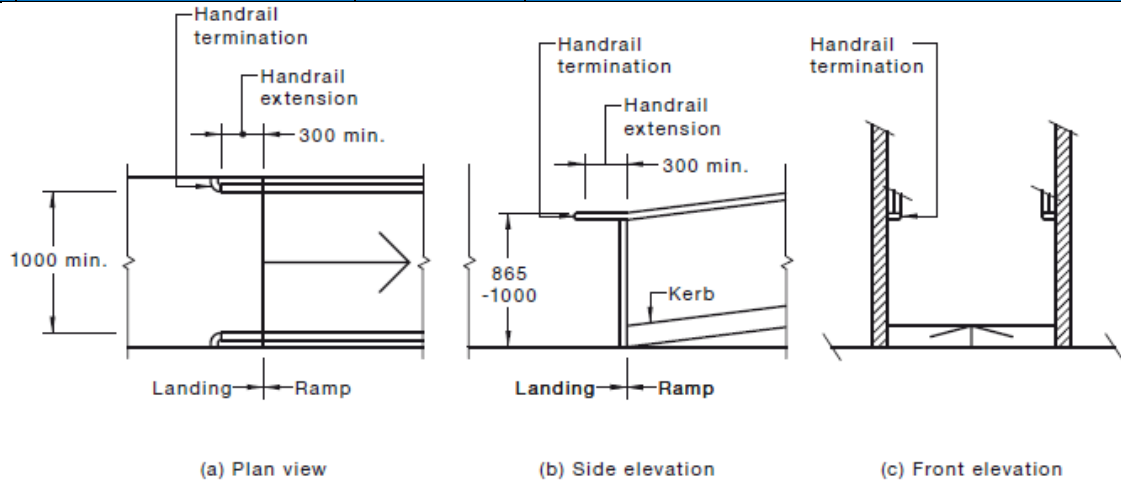


FIGURE 15(A) RAMP HANDRAILS—EXAMPLES OF HANDRAIL TERMINATIONS

Clause	Description	Status	Comments
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DIMENSIONS IN MILLIMETRES

FIGURE 15(B) RAMP HANDRAILS—DETAIL FOR HANDRAILS TERMINATED BY TURNING HORIZONTALLY THROUGH 90° TO THE WALL

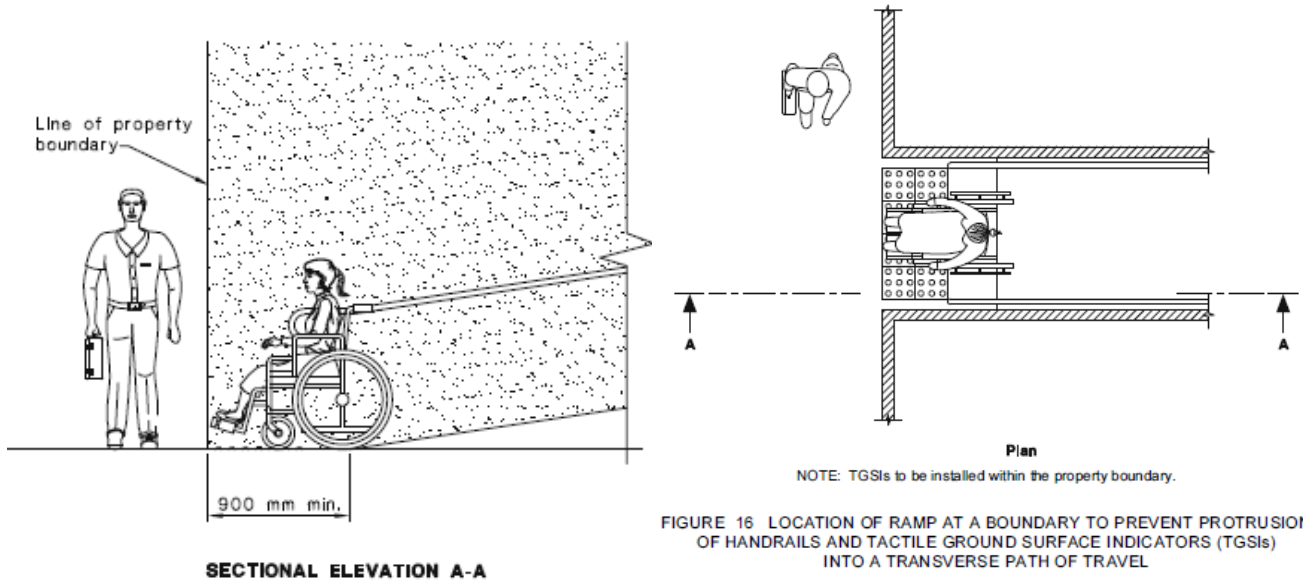


FIGURE 16 LOCATION OF RAMP AT A BOUNDARY TO PREVENT PROTRUSION OF HANDRAILS AND TACTILE GROUND SURFACE INDICATORS (TGSIs) INTO A TRANSVERSE PATH OF TRAVEL

Clause	Description	Status	Comments
	<p><b>10.4 Curved walkways, ramps, and landings</b></p> <p>Curved ramps, walkways and landings shall comply with the following:</p> <ul style="list-style-type: none"> <li>(a) The gradient of curved ramps and walkways shall comply with Figure 20.</li> <li>(b) Landings shall comply with Clause 10.8.</li> <li>(c) The length of a curved ramp shall be measured horizontally along its centre-line.</li> <li>(d) Curved ramps and walkways shall have a width of not less than 1500 mm.</li> <li>(e) Any crossfall shall be towards the centre of curvature.</li> </ul>		

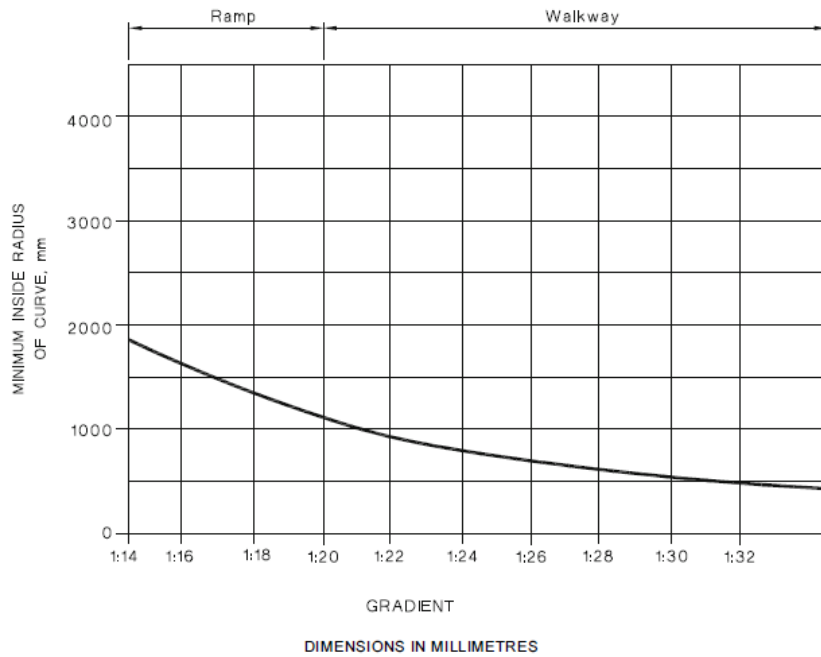


FIGURE 20 CURVED RAMP AND WALKWAY GRADIENTS

Clause	Description	Status	Comments
<b>Diagram 11</b> <b>Inside Radius to Curved Walkways</b>			
	<p>(i) Shallower Gradient - Smaller Inside Radius Required</p>		<p>(ii) Steeper Gradient - Larger Inside Radius Required</p>
<p style="text-align: center;">NB. crossfall to landings 1 in 40 max.</p> <p style="text-align: center;">radius varies depending on gradient refer to AS 1428.1-2009 FIGURE 20 for radius</p> <p style="text-align: center;">radius varies depending on gradient refer to AS 1428.1-2009 FIGURE 20 for radius</p>			
<p>Refer to AS 1428.1-2009 CLAUSE 10.4 and FIGURE 20 CURVED RAMP AND WALKWAY GRADIENTS</p>			

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<p>Extraction from Standards Australia Handbook 197:1999</p> <p style="text-align: center;"><b>TABLE 3</b></p> <p style="text-align: center;"><b>PEDESTRIAN FLOORING SELECTION GUIDE – MINIMUM PENDULUM OR RAMP RECOMMENDATIONS FOR SPECIFIC LOCATIONS</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 60%;">Location</th> <th style="width: 20%;">Pendulum</th> <th style="width: 20%;">Ramp</th> </tr> </thead> <tbody> <tr><td>External colonnade, walkway and pedestrian crossings</td><td>W</td><td>R10</td></tr> <tr><td>External ramps</td><td>V</td><td>R11</td></tr> <tr><td>Entry foyers hotel, office, public buildings - wet</td><td>X</td><td>R10</td></tr> <tr><td>Entry foyers hotel, office, public buildings - dry</td><td>Z</td><td>R9</td></tr> <tr><td>Shopping centre excluding food court</td><td>Z</td><td>R9</td></tr> <tr><td>Shopping centre – food court</td><td>X</td><td>R10</td></tr> <tr><td>Internal ramps, slopes (greater than 2 degrees) - dry</td><td>X</td><td>R10</td></tr> <tr><td>Lift lobbies above external entry level</td><td>Z</td><td>R9</td></tr> <tr><td>Other separate shops inside shopping centres</td><td>Z</td><td>R9</td></tr> <tr><td>Other shops with external entrances – entry area</td><td>X</td><td>R10</td></tr> <tr><td>Fast food outlets, buffet food servery areas</td><td>X</td><td>R10</td></tr> <tr><td>Hospitals and aged care facilities – dry areas</td><td>Z</td><td>R9</td></tr> <tr><td>Hospital and aged care facilities – ensuites</td><td>X</td><td>A or R10</td></tr> <tr><td>Supermarket aisles except fresh food areas</td><td>Z</td><td>R9</td></tr> <tr><td>Shop and supermarket fresh fruit and vegetable areas</td><td>X</td><td>R10</td></tr> <tr><td>Communal changing rooms</td><td>X</td><td>A</td></tr> <tr><td>Swimming pool surrounds and communal shower rooms</td><td>W</td><td>B</td></tr> <tr><td>Swimming pool ramps and stairs leading into water</td><td>V</td><td>C</td></tr> <tr><td>Toilet facilities in offices, hotels, shopping centres</td><td>X</td><td>R10</td></tr> <tr><td>Undercover concourse areas of sports stadium</td><td>X</td><td>R10</td></tr> <tr><td>Accessible internal stair nosings (dry) – handrails present</td><td>X</td><td>R10</td></tr> <tr><td>Accessible internal stair nosings (wet) – handrails present</td><td>W</td><td>B or R11</td></tr> <tr><td>External stair nosings</td><td>W</td><td>R11</td></tr> </tbody> </table>				Location	Pendulum	Ramp	External colonnade, walkway and pedestrian crossings	W	R10	External ramps	V	R11	Entry foyers hotel, office, public buildings - wet	X	R10	Entry foyers hotel, office, public buildings - dry	Z	R9	Shopping centre excluding food court	Z	R9	Shopping centre – food court	X	R10	Internal ramps, slopes (greater than 2 degrees) - dry	X	R10	Lift lobbies above external entry level	Z	R9	Other separate shops inside shopping centres	Z	R9	Other shops with external entrances – entry area	X	R10	Fast food outlets, buffet food servery areas	X	R10	Hospitals and aged care facilities – dry areas	Z	R9	Hospital and aged care facilities – ensuites	X	A or R10	Supermarket aisles except fresh food areas	Z	R9	Shop and supermarket fresh fruit and vegetable areas	X	R10	Communal changing rooms	X	A	Swimming pool surrounds and communal shower rooms	W	B	Swimming pool ramps and stairs leading into water	V	C	Toilet facilities in offices, hotels, shopping centres	X	R10	Undercover concourse areas of sports stadium	X	R10	Accessible internal stair nosings (dry) – handrails present	X	R10	Accessible internal stair nosings (wet) – handrails present	W	B or R11	External stair nosings	W	R11
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D3.4	Exemptions	Noted	<p>The following areas are not required to be accessible:</p> <ul style="list-style-type: none"> <li>(a) An area where access would be inappropriate because of the particular purpose for which the area is used,</li> <li>(b) An area that would pose a health or safety risk for people with a disability,</li> <li>(c) Any path of travel providing access only to an area exempted by (a) or (b)</li> </ul>																																																																								
D3.5	Accessible Car parking	N / A	<p>Accessible car parking has not been proposed. There is no trigger under the BCA to upgrade the existing car parking for the office building. In any event, there is an existing accessible car space located within the existing childcare centre car park.</p>																																																																								
D3.6	Signage	CRA	<p>Prior to the issue of the construction certificate all signage details are to be provided to the certifying authority confirming the location of the signage, the text and that the braille portion of the signage complies with specification D3.6. In this regard the following braille</p>																																																																								

Clause	Description	Status	Comments
			<p>signage incorporating the international symbol of access as appropriate, in accordance with AS 1428.1 <b>is required</b> to identify each—</p> <ul style="list-style-type: none"> <li>▪ sanitary facility; and</li> <li>▪ identify each door required by <b>E4.5</b> to be provided with an exit sign and state—               <ul style="list-style-type: none"> <li>○ "Exit"; and</li> <li>○ "Level"; and either the floor level number; or a floor level descriptor; or</li> <li>○ a combination of the above</li> </ul> </li> </ul> <p>Where a pedestrian entrance is not accessible, directional signage incorporating the international symbol of access, in accordance with AS 1428.1 must be provided to direct a person to the location of the nearest accessible pedestrian entrance.</p>



Left hand transfer



Right hand transfer



Exit signage



Exit signage

D3.7	Hearing Augmentation	N / A	
D3.8	Tactile Ground Surface indicators	CRA	<p>(a) For a building <i>required to be accessible</i>, tactile ground surface indicators must be provided to warn people who are blind or have a vision impairment that they are approaching –</p> <ul style="list-style-type: none"> <li>i. a stairway, other than a fire-isolated stairway; and</li> <li>ii. an escalator; and</li> <li>iii. a passenger conveyor or moving walk; and</li> </ul>



Clause	Description	Status	Comments
			<ul style="list-style-type: none"> <li>iv. a ramp other than a fire-isolated ramp, step ramp, kerb ramp or swimming pool ramp; and</li> <li>v. in the absence of a suitable barrier –               <ul style="list-style-type: none"> <li>A. an overhead obstruction less than 2 m above floor level, other than a doorway; and</li> <li>B. an accessway meeting a vehicular way adjacent to any pedestrian entrance to a building, excluding a pedestrian entrance serving an area referred to in D3.4, if there is no kerb or kerb ramp at that point,</li> </ul> </li> </ul> <p>except for areas exempted by D3.4.</p> <p>(b) Tactile ground surface indicators required by (a) must comply with sections 1 and 2 of AS/NZS 1428.4.1.</p> <p><b>The proposed new stair that serves level one, and the proposed new ramp that serves as the ground floor entry, must incorporate TGSIs.</b></p> <p>The construction drawings set will need to fully document the location and level of luminance contrast for the TGSIs.</p>
D3.9	Wheelchair Seating Spaces in Class 9b Assembly Buildings	N / A	
D3.10	Swimming Pools	N / A	
D3.11	Ramps	Complies	<p>On an accessway –</p> <ul style="list-style-type: none"> <li>(a) a series of connected ramps must not have a combined vertical rise of more than 3.6m; and</li> <li>(b) a landing for a step ramp must not overlap a landing for another step ramp or ramp.</li> </ul>
D3.12	Glazing on an Accessway	CRA	<p>On an accessway, where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS 1428.1.-2009, section 6.6.</p> <p>The class 5 office must incorporate horizontal visual indicators and the construction certificate drawing set must fully illustrate compliance with the standard.</p>

Clause	Description	Status	Comments
<p><b>75mm Glass safety marking decal requirements</b></p> <hr/> <p>Glass safety marking decals are required on doors, sidelights &amp; full-height glass.</p> <p>Bottom edge must be in this zone 1000mm 900mm</p> <p>MUST EXTEND FULL WIDTH</p> <p>minimum 75mm</p>			

**SECTION E – SERVICES AND EQUIPMENT**

**Part E3 – Lift Installations**

The proposal does not incorporate lift access.

E3.5	Landings	N / A	Access and egress to and from lift well landings must comply with the Deemed-to-Satisfy Provisions of <b>Part D</b> .
E3.6	Passenger lifts	N / A	<p><b>Table E3.6a:</b> <b>Limitations on use of types of passenger lifts</b> An electric or electrohydraulic passenger lift must be proposed.</p> <p><b>Table E3.6b:</b> <b>Application of features to passenger lifts</b> The internal lift must have accessible features in accordance with Table E3.6b:</p> <ul style="list-style-type: none"> <li>- The minimum internal lift car dimension is to be not less than <b>1100mm x 1400mm</b>.</li> <li>- Handrails; minimum clear door opening; lighting; and a passenger protection system to AS1735.12</li> <li>- Audible and visual requirements – <ul style="list-style-type: none"> <li>o Automatic audible information within the lift car to identify the level each time the car stops,</li> <li>o audible and visual indication at each lift landing to indicate the arrival of the lift car, and</li> </ul> </li> </ul>

Clause	Description	Status	Comments
			<ul style="list-style-type: none"> <li>o audible information and audible indication <i>required</i> by (a) and (b) is to be provided in a range of between 20–80 dB(A) at a maximum frequency of 1 500 Hz.</li> <li>- Emergency hands-free communication, including a button that alerts a call centre of a problem and a light to signal that the call has been received.</li> </ul> <p>Manufacturer’s lift specification and design certification must be submitted to the Certifying Authority with the construction certificate application.</p>
<b>SECTION F – HEALTH AND AMENITY</b>			
<b>Part F2 – Sanitary and other Facilities</b>			
F2.4	Accessible sanitary facilities	CRA	<p>The existing amenity area on ground floor is being reconfigured to provide for a person in a wheelchair. The proposal consists of a single unisex accessible sanitary compartment (left hand transfer).</p> <p>The compartment must contain a closet pan, wash basin, shelf or bench top and adequate means of disposal of sanitary products. In addition, all fixtures and fittings, and circulation spaces must comply with AS1428.1 – 2009.</p> <p>The proposal is capable of complying.</p> <p><b>Ambulant cubicles</b> There are no other toilets at the ground floor bank of toilets, nor is there an accessible toilet on level one. Ambulant cubicles are therefore not required anywhere in the building.</p> <p><b>Accessible unisex showers</b> Not required.</p>

END OF TABLE 4.1.

## 5.0. CONCLUSION

Demonstrating full compliance with the National Construction Code (NCC) at DA assessment stage is not prescribed under Section 4.15 of the Environmental Planning & Assessment Act 1979. The Consent Authority however has an obligation to consider whether the proposed development application is indicatively capable of complying with the NCC and without significant modification when an application for a construction certificate is made. In this regard, it is our professional opinion that the design will not be subject to any required modifications at the construction certificate application stage that potentially require additional approvals through council. **The design is considered Deemed to Satisfy with no access related performance solutions required.**

The Certifying Authority is to consider the Disability (Access to Premises – buildings) Standard 2010 and determine whether the affected part upgrade should be applied to the proposal and to what extent. The proposal incorporates a voluntary upgrade to the existing ground floor office building and provides wheelchair access into ground floor of the building. In addition, the ground floor amenities area is being modified to incorporate a unisex accessible sanitary compartment. These new works must comply with the NCC, noting the affected part upgrade does **not** extend further into the ground floor, or into level one where a concession under D3.3(f) is being applied.

In conclusion, construction certificate plans when lodged with the certifying authority are expected to contain appropriate detail illustrating full compliance with the accessibility provisions of the NCC and it is our opinion those plans will **not** demand the need for any significant design changes to the accessibility provisions that in turn would necessitate the submission of an application under Section 4.55 of the Environmental Planning and Assessment Act 1979.

**END OF REPORT.**