

**PERUMAL
MURPHY ALESSI**
Heritage Consultants

PM-19085

STATEMENT OF HERITAGE IMPACT



No. 17 Broughton Road, Strathfield S8.2 Review

January 2021

Table of contents

1.0	Introduction	3
2.0	Background & heritage listing status	3
3.0	Historical overview	3
4.0	The site context	7
5.0	No. 17 Broughton Road	12
6.0	Summary analysis and assessment	23
7.0	Description of the proposal	24
8.0	Heritage Impact Assessment	25
9.0	Conclusion and recommendations	37

1.0 Introduction

This report has been revised on behalf of the property owners to assess the potential heritage impacts and to accompany the S8.2 Review for the proposed alterations and additions at No. 17 Broughton Road, Strathfield (the site).

2.0 Background & heritage listing status

No. 17 Broughton Road, Strathfield, is located on the northern side of the street and occupies a regular shaped site in the block bounded by Rochester Street to the west and Melrose Street to the east. Broughton Road is a busy, wide dual carriageway with grassed verges and mature street trees along both sides of the roadway. The built context in this section of the street is characterised by one and two storey detached dwellings generally dating from the late 19th and early decades of the 20th century. A number of the houses have undergone some modifications, alterations and additions and some modern and contemporary infill dwellings are also located in the vicinity. The houses are generally enhanced by the wide street proportions, various front fence treatments and front gardens.

No. 17 Broughton Road is a single storey, face and common brick, Federation period dwelling with rough cast rendered and contrasting brick details, gabled and hipped main roof clad in slates and terracotta tiles, brick chimney and timber framed windows and doors. The building also has rear wing with skillion roof clad in metal and rear laundry and verandah additions.

It is currently proposed to retain the existing building on the site and undertake internal alterations, remove and replace the rear verandah and construct of a new pavilion style addition. The whole building is proposed to be used as a boarding house. A shed and some trees located at the rear of the site are proposed to be removed. The scheme has been amended following Pre-DA advice and on-going consultation with Council following the lodgement of the DA.

No. 17 Broughton Road has not been listed on the State Heritage Register or classified by the National Trust of Australia (NSW). The site has not been listed as a heritage item under Schedule 5 of the Strathfield Local Environmental Plan (LEP) 2012, however, is located in the Broughton Road Conservation Area (C9). The Broughton Road Conservation Area comprises of a group of four Federation period houses (Nos. 11, 13, 15 and 17 Broughton Road). There are a number of items in Broughton Road which are mostly separated from the the site. No. 16 (I103) is located directly opposite, on the southern site of the street. As such, Strathfield Council must take into consideration the potential impacts of any proposed works on the cultural significance of the area, Broughton Road streetscape and overall setting.

This assessment is based on an inspection of the site, review and analysis of the context. The report follows the standard format, in accordance with the guidelines provided by Heritage NSW, Department of Premier and Cabinet and includes site specific information, description of the existing building and its contribution to the area. The proposed, amended scheme has been assessed with reference to the Strathfield Local Environmental Plan (LEP) 2012, Part P of the Strathfield Consolidated Development Control Plan 2005 and standard criteria. The purpose of the report is to outline how any potential heritage impacts may be reduced or are mitigated.

3.0 Historical overview

Prior to European occupation, the area was occupied by the Wangal clan.¹

¹ Strathfield Council website

The European development of the area was initially determined by its proximity to the Parramatta River and later by the development of Parramatta Road. The area was part of what was known as “Liberty Plains”, so called due to the first settlers who received grants here from 1793. Initially these grants were between 60 to 80 acres, however, as the area proved unsuitable for agriculture, the grants were increased and area was generally cleared by settlers and used for cattle grazing and resting. It was the establishment of the railway between Sydney and Parramatta in 1855 that provided incentive for change. The area began to be subdivided in the late 1870s, to take advantage of the improved access.²

The site is part of 60 acres (Portion 242) of the Parish originally granted to Frederick Meredith in May 1793. The land was transferred in 1799 to Thomas Rose who was also granted an additional 70 acres around this time. Ownership was transferred a number of times by the 1870s when it became part of the Underwood Estate.³

The site was part of the Estate that was subdivided and began to be sold by the Trustees in 1878. The site was part of Lot 8 of Section 4 of the subdivision which was transferred to John Hay Goodlet in January 1881 (Figure 3.1). Goodlet, a merchant from Canterbury also purchased a number of other lots in the subdivision at this time. He retained ownership of Lot 8, a corner lot with 75 feet frontage to Rochester Street and 250 feet length along Broughton Road, until 1912 when the lot was transferred to George James Astle, a carpenter.⁴

It is assumed that Astle subdivided the lot and constructed two dwellings on the two portions from this time. In July 1913, the eastern part of Lot 8 Section 4, with 120 feet frontage to Broughton Road was transferred to John Thomas Derrman Irish (Figure 3.2).⁵ John Irish, occupying “Glenholme” is first listed on the northern side of the street in the *Sands Directory* in 1914.

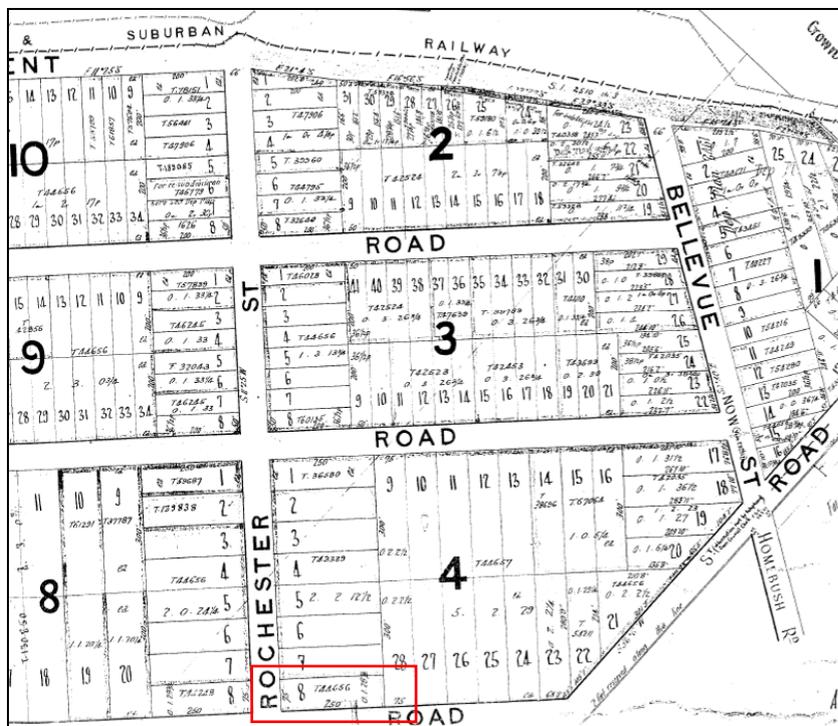
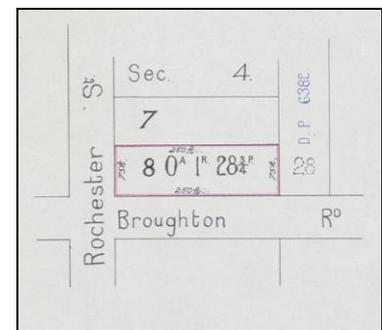


Figure 3.1 The site is part of Lot 8 Section 4 of a subdivision of the Underwood Estate.

(NSW Land and Property Information, DP 400, CT Volume 2249 Folio 133 (below)).



² Pollon, F., (ed) *The Book of Sydney Suburbs* (1988), p. 124 and 105.

³ NSW Land and Property, Primary Application No. 3772.

⁴ NSW Land and Property, DP 400, Certificates of Title, Volume 354 Folio 109, Volume 516 Folio 102, Volume 984 Folio 184 & Volume 2249 Folio 133.

⁵ NSW Land and Property, Certificates of Title, Volume 2249 Folio 133 & Volume 2384 Folio 16.

A Sydney Water plan dating from the 1930s (**Figure 3.3**) shows what is assumed to be the early form of the brick house with two front wings framing a front verandah. A small verandah is also evident at the rear. The dwelling is setback from the street frontage and is roughly in alignment with the neighbouring houses. The site at this time had long frontage along Broughton Road. The house has a similar form to the house to its west, on the north eastern corner of Broughton Road and Rochester Street which is assumed to have also been constructed by Astle. The neighbouring houses to the east, now part of the conservation area, are also clear.

The 1943 aerial (**Figure 3.4**) also shows what is assumed to be the early form and main gabled and hipped roof form. It also shows the original subdivided portion and site on which the house was constructed.

In 1945 the site was transferred to the Public Trustee and and sold in the same year to Zelma Blackwell. Ownership of the site was not transferred again until 1977⁶ from which time some changes were undertaken.

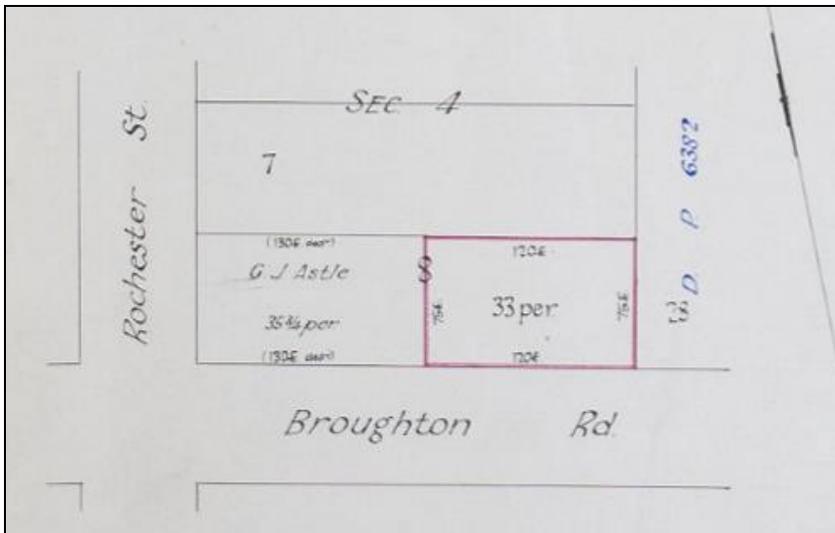


Figure 3.2 Subdivision of the original lot 8 in c. 1913.

(NSW Land and Property Information, CT Volume 2384 Folio 16).

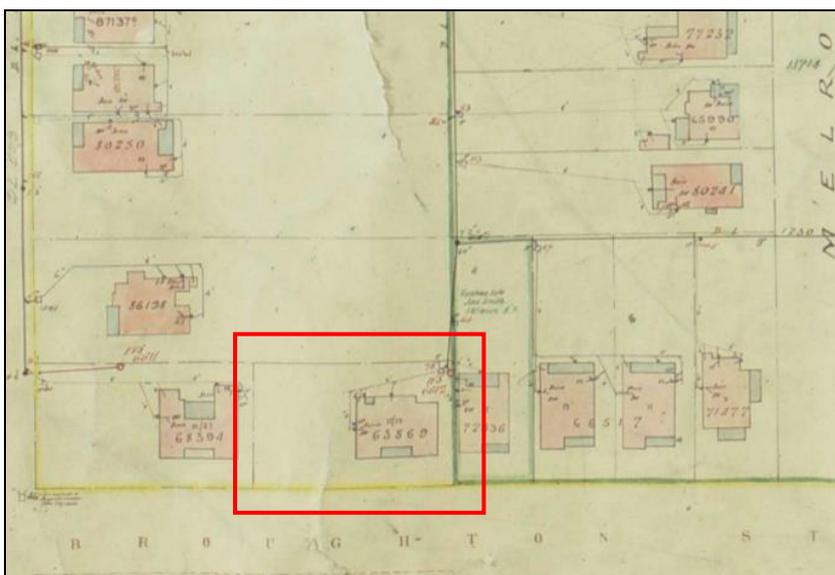


Figure 3.3 c. 1930s plan showing the form of the house at this time.

(Sydney Water Archives, Blackwattle 819)

⁶ NSW Land and Property, Certificate of Title, Volume 2384 Folio 16.
Perumal Murphy Alessi, Heritage Consultants • PM-19085

In 1977 the subject site was transferred to David Henry Demaine, who also purchased the site to the north (Lot 7 of Section 4, No. 32 Rochester Street). The two lots were subdivided in the same year (creating Lots 1 and 2 of DP 592082). The subdivision essentially extended the length of the lot occupied by the subject building, however, the current site was created in c. 1978 when the enlarged lot was subdivided again into two (**Figure 3.5**).⁷ It is assumed that neighbouring house to the west, No. 17 Broughton Road, was constructed from this time.



Figure 3.4 1943 aerial showing the development of the site and surrounds at this time.

(Six Maps)

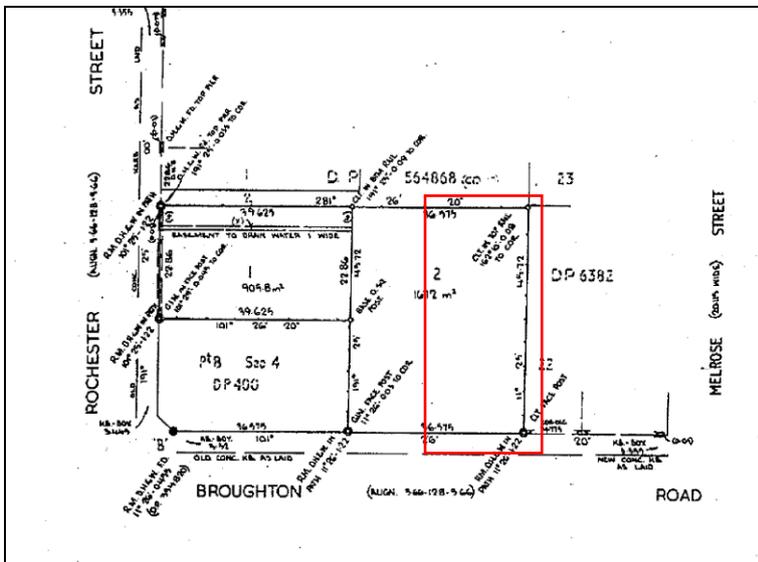
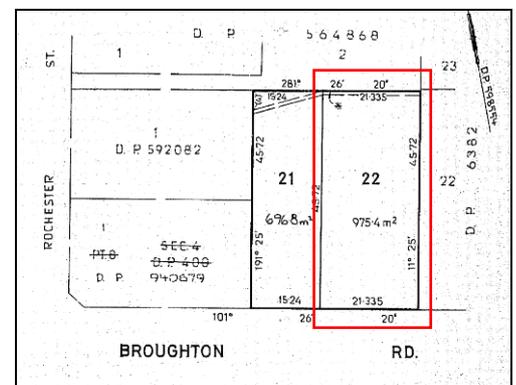


Figure 3.5 Subdivision of Lot 7 of Section 4 to the north and creation of the subject site in c. 1978.

(NSW Land and Property Information, CT Volume 13468 Folio 107 & Volume 13750 Folio 162 (below)).



⁷ NSW Land and Property, Certificate of Title, Volume 13468 Folio 107.

Inspection of the site and recent aerial photograph (**Figure 3.6**) indicates that some alterations and additions have been undertaken to the building and site. The shape of the site has changed. It would appear that part of the rear yard of the lot to the immediate north (No. 32 Rochester Street) was amalgamated with the site. The land was re-subdivided (c. 1978) and western lot (No. 19 Broughton Road) developed in the late 20th century.

Driveways currently extend along both sides of the dwelling. Some alterations and additions are also evident at the rear of the house. A skillion roofed wing and rear verandah has been constructed to the rear of the house. The concrete paving and the sheds, which are now in a dilapidated condition, also appear to be later additions to the site.



Figure 3.6 Recent aerial indicating the changes to the site and context since 1943.

The site now extends further back from Broughton Road and has reduced street frontage from the initial subdivision of the original allotment.

(SIX Maps)

4.0 The site context

The subject site is located on the northern of Broughton Road which is a busy, wide dual carriageway with grassed verges and mature street trees along both sides of the street.

The built context in this section of the street is largely characterised by one and two storey detached dwellings dating from the late 19th and early decades of the 20th century. Some later modern and contemporary infill dwellings are also located in the vicinity. Most of the early building stock has undergone some modifications, alterations and additions and are enhanced by various front fence treatment and planted gardens.

To the immediate west of the site, No. 19 Broughton Road is a single storey face brick, late 20th century period dwelling with hipped roof clad in tiles. The building is setback from the street frontage with dense planting located between. A concrete driveway extends along the shared boundary with the subject site to a carport which is attached to rear of the house.

Further west, on the north eastern corner of Broughton Road and Rochester Street, No. 21 Broughton Road is a rendered and modified dwelling with gabled and hipped roof clad in tiles. The building, which retains similar form to the subject building, has been rendered with arched details added. The building is also setback from the street frontages. A garage has been constructed at the western end of the building which is also surrounded by a well planted garden.

Opposite the site, the southern side of this part of Broughton Road comprises a more varied mix of one and two storey dwellings. Directly opposite the site, Nos. 16 and 18 are two, single storey rendered late Victorian style dwellings with projecting front bays and verandahs facing the street and pitched roof clad in terracotta tiles. No. 16, "Noveba", has been listed as local heritage item and has two prominent rendered chimneys and faceted hipped roof over the front bay. A modern timber picket fence on a brick base extends along the street frontage.

The buildings are also neighboured by a single storey textured red, face brick mid 20th century period dwelling with hipped roof clad in terracotta tiles (No. 14) and a contemporary, two storey rendered dwelling with hipped roof clad in concrete tiles (No. 20). The buildings are all set back from the street frontages with driveways and garden plantings located between.

No. 17 Broughton Road is part of a small conservation area and a group of Federation period houses which are located to the east of the site. Neighbouring the site, No. 15 Broughton Road is a single storey face brick, Federation style dwelling with brick and roughcast details and chimney and gabled and hipped roof clad in terracotta tiles. The front of the building has a projecting bay with a hooded window and an open front verandah with brick balustrade and timber posts and brackets supporting the verandah roof. The building is setback from the street frontage which has a low (later) brick fence. A strip driveway extends along the eastern side of the building to a gabled roofed garage located at the rear of the house.

To its east, Nos. 13 and 11 are a pair of matching, single storey Federation period detached dwellings with contrasting and rendered details, gabled and steep pitched hipped roofs clad in tiles. Both have a projecting front bay with hooded window and vented openings to the front gable end and open verandahs with timber details facing the street. The buildings are also setback from the street frontages. No. 13 has a low, stepped brick fence with iron gates. A concrete strip driveway extends along the eastern side boundary to a flat roofed carport which has been added to the eastern side of the dwelling. No. 11 has a modern palisade front fence and low garden plantings. A concrete strip driveway also extends along the eastern side of the building which also has a lightweight open carport.

Further east, on the corner of the Broughton Road and Melrose Street, No. 9 is a modified, single storey with attic painted dwelling with steep pitched main gabled roof clad in concrete tiles and dormer windows. The front façade, facing Broughton Road, has a projecting gabled roof over an open verandah. The building is setback from the Broughton Road frontage which has a low painted brick fence and garden plantings. Another gabled projection and open verandah is located on the eastern façade.



Figure 4.1 Broughton Road is a wide dual carriageway with deep grassed verges and car parking on both sides of the street. The built context is also enhanced by street trees and plantings.



Figure 4.2 To the immediate west of the site, No. 19 is a single storey face brick late 20th century dwelling constructed after re-subdivision of the lot that was occupied by the subject building.



Figure 4.3 No. 19 Broughton Road.



Figure 4.4 No. 21 Broughton Road.



Figure 4.5 No. 21 had a similar form to the subject building and is assumed to have been constructed by the same builder, however, has been extensively modified. A garage has also been added to the western façade (see above).



Figure 4.6 Opposite the site, Nos. 16 and 18 Broughton Road are two late Victorian period dwellings.



Figure 4.7 No 16, is a Victorian Italianate style building that has been listed as a local item.



Figure 4.8 The Victorian period dwellings are neighboured by a contemporary, two storey dwelling (No. 20 Broughton Road).



Figure 4.9 To the south east of the site, No. 14 is a mid 20th century period dwelling



Figure 4.10 The site is part of conservation area comprising of four Federation period dwellings, including No. 15 Broughton Road which neighbours the site.



Figure 4.11 No. 13 Broughton Road.



Figure 4.12 No. 11 Broughton Road.



Figure 4.13 Further east, the group are neighbored by No. 9 Broughton Road which is a modified, early 20th century period dwelling with attic style upper storey.

5.0 No. 17 Broughton Road

No. 17 Broughton Road is a single storey, face and common brick, Federation period dwelling with rough cast rendered and contrasting brick details, gabled and hipped main roof clad in slates with terracotta trims and finials and terracotta tiles (to the rear), brick chimney and timber framed windows and doors.

The front façade has an open front verandah with paired timber posts, decorative timber details and brackets. The posts sit on brick base and scalloped balustrade with contrasting brick capping. The verandah also has tessellated floor tiles and timber boarded lining to the verandah roof. The verandah is framed by two projecting, gabled roofed bays. Each bay has differing details. The eastern bay has a set of three timber framed casement windows on brick corbelled brackets with multi-paned toplight and decorative timber detail over. The gable end has a contrasting brick string course with rough cast rendered details and vented opening at the apex. The western bay has a fixed window framed by two multi-paned timber casement windows on a bullnosed brick sill with multi-paned toplights with coloured glass and a brick flat arch over. The western gable end has timber and roughcast rendered detailing.

The building is setback from the street frontage which has a stone flagged and brick edged garden bed with low trees and plantings. A simple concrete path extends from the centre of the street frontage to the the front verandah. The building is also setback from the side boundaries. A strip and sealed driveways extend along the eastern and western sides of the building to the rear yard. High fences also extend from each front corner of the building to the side boundaries.

The building has a rear wing with skillion roof clad in metal and an open verandah with elevated concrete slab floor and a modern steel awing supported on round steel posts. The verandah also accesses a brick addition that extends from the north eastern corner of the building which contains a separate, externally accessed laundry and bathroom. The rear façade has been rendered and painted and has varying sized windows and doors.

The site has a large open rear grassed yard. Some fruit trees and plantings are largely located around the perimeter. Two lightweight sheds occupy the north eastern corner of the site.

The building interior retains a sense of its early layout with main rooms located about the central hall which extends from the building entry to open plan living area. A secondary hall accesses the rooms on the western side of the building and service areas are located at the rear. The interior has timber floors, rendered walls and high ceilings. Ceramic floor tiles have been added to the floors. Some timber boarding and linings have been added to the walls. The interior, particularly the service areas have generally been upgraded and modified and have modern finishes, fixtures and finishes, however, early some timber details and joinery remains.



Figure 5.1 No. 17 Broughton Road.



Figure 5.2 The building is setback from the street frontage. A stone and brick edged garden bed extends across the street frontage which also has open lawn, central pedestrian path and driveways at each end.



Figure 5.3 The building is setback from the eastern boundary. A concrete strip driveway extends along the eastern side of the building.



Figure 5.4 The front path and access to the front verandah and building entry. The existing path is concrete and is bounded by a garden bed and brick edging which appear to have been added later.



Figure 5.5 The front verandah which retains original details.



Figure 5.6 The front verandah is framed by two projecting bays that have differing details. The eastern bay has casement window set, brick and roughcast details and a vented opening to the gabled end.



Figure 5.7 The western bay has a differing fixed and casement window set with brick sill and arch and half timbered, roughcast rendered finish to the gable end.





Figure 5.8 The building is also setback from the western side boundary. A driveway also extends from the street frontage along the western side of the house to the rear yard.



Figure 5.9 The western setback and driveway.



Figure 5.10 The western façade.



Figure 5.11 The rear has a skillion roofed wing. The rear façade has been rendered and painted and has undergone some alterations and additions including; modification and replacement of timber windows and doors and addition of the laundry, verandah and awning.



Figure 5.12 The rear verandah and awning.



Figure 5.13 Rear of the building from the rear yard.



Figure 5.14 The brick addition (laundry and bathroom) extending from the north eastern corner of the building.



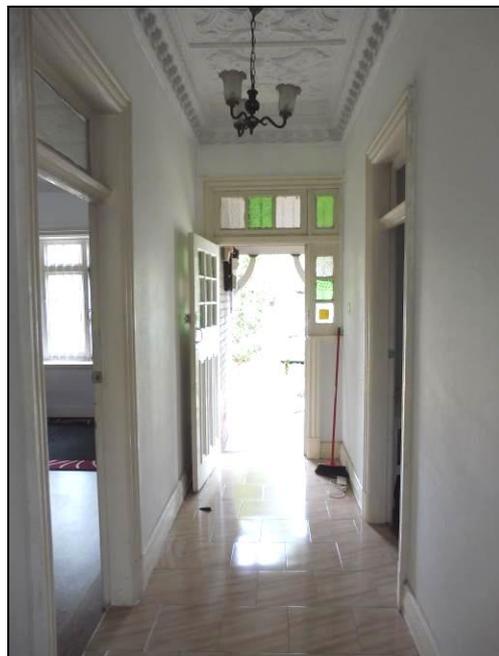
Figure 5.15 The eastern setback and boundary looking back toward the street.



Figure 5.16 The front verandah which retains original details and finishes including tessellated floor tiles.



Figure 5.17 The building entry and central hall.



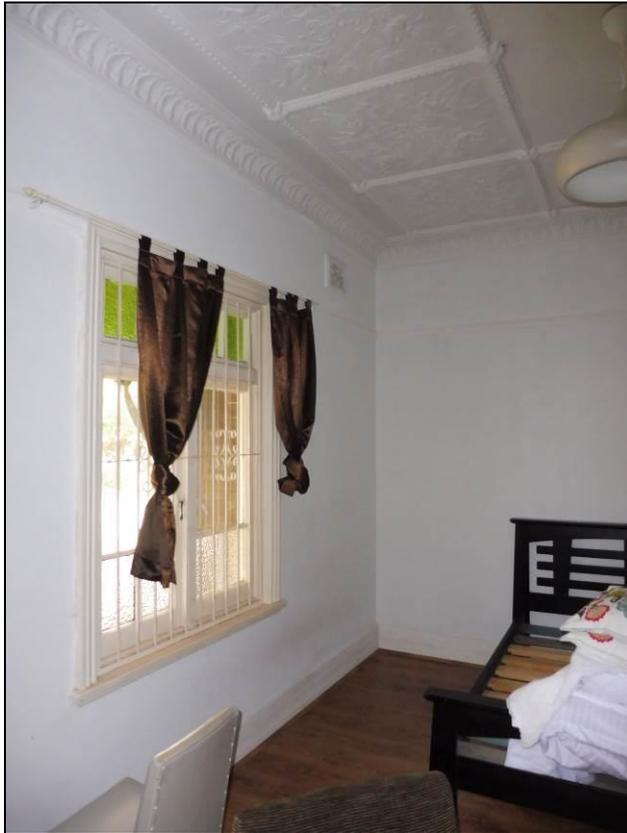


Figure 5.18 The interior has undergone some modifications including addition of new floor finishes, however, retains high decorative plaster ceilings and cornices and timber joinery. A large opening in the front central bedroom has been infilled (below).



Figure 5.19 The front, south eastern bedroom. Timber wall panelling has been added to the eastern wall, however, early details including the fireplace remains.





Figure 5.20 Bedroom on the eastern side of the building. The fireplace has been infilled and surround has been removed, however, the room also retains early details and spatial character.

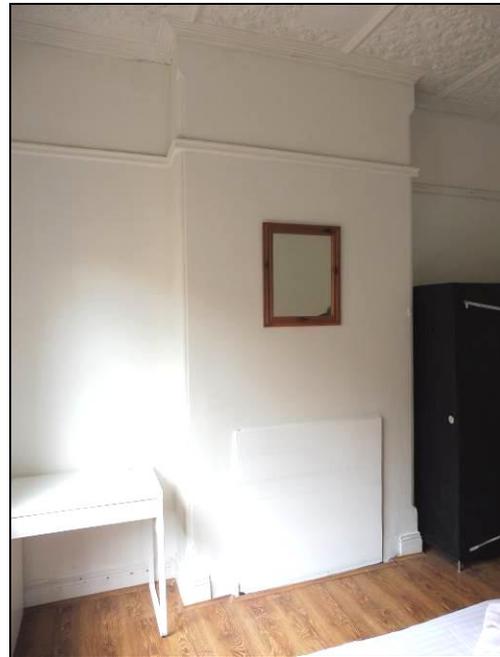


Figure 5.21 The infilled opening and existing open living area which has modern plasterboard ceiling and ceramic floor tiles.

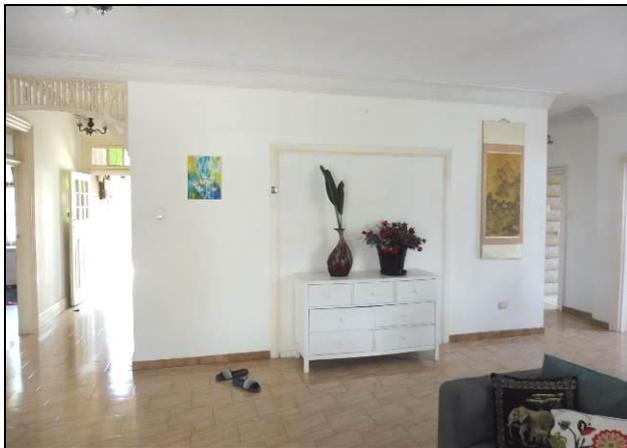


Figure 5.22 The open plan living and dining area and kitchen.



Figure 5.23 The existing kitchen located in the north western corner of the building. The western portion of the building has a separate hall accessing a bathroom and bedroom.



Figure 5.24 The bathroom, which has modern finishes including ceilings and modern fixtures and fittings.

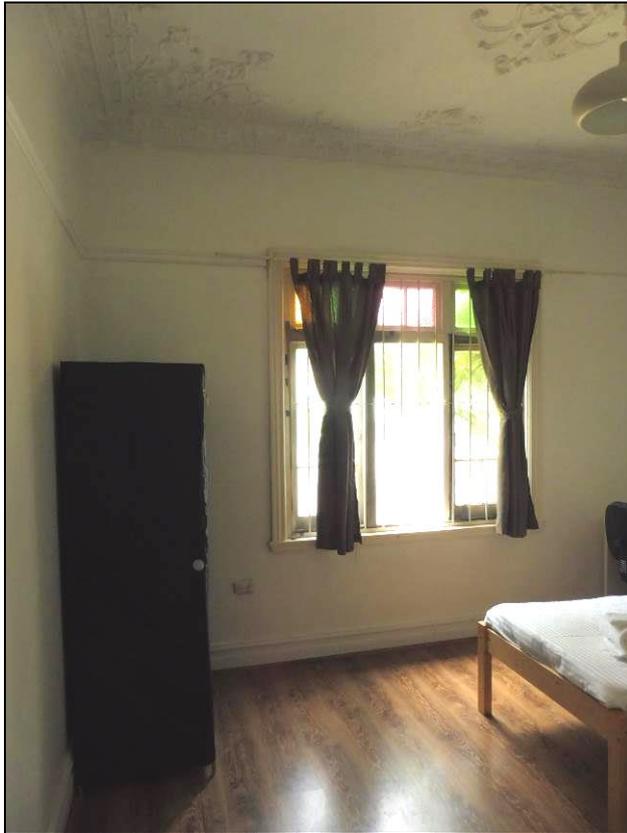


Figure 5.25 The bedroom at the south western corner of the building (western projecting bay).

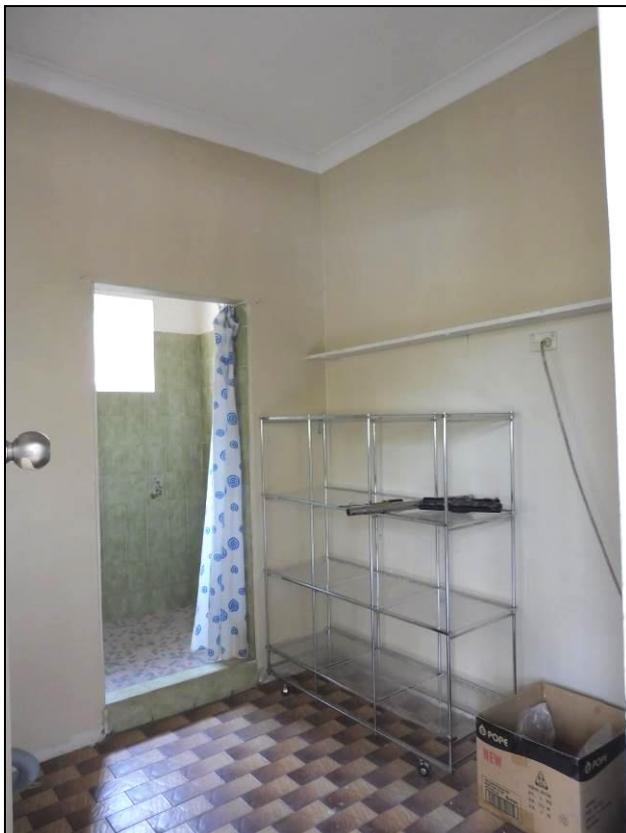


Figure 5.26 Modern doors on the rear façade access the rear verandah and external laundry and shower (at left) which also have modern finishes, fixtures and fittings.





Figure 5.27 The rear yard. A two storey dwelling and a number of large, mature trees are located to the north of the site.



Figure 5.28 The rear yard is largely open and retains some fruit trees and plantings which are generally located about the site perimeter.



Figure 5.29 Trees and plantings along the rear, northern site boundary. Note the neighbouring two storey building to the north.



Figure 5.30 Two lightweight sheds clad in metal sheeting occupy the north eastern corner of the site. These are assumed to have been constructed following the c. 1977 subdivision.

6.0 Summary analysis and assessment

No. 17 Broughton Road has not been identified as a heritage item, however, is located in a conservation area that comprises of four Federation period houses (Nos. 11, 13, 15 and 17 Broughton Road).

Broughton Road is a relatively wide dual carriageway with grassed verges and car parking along both sides of the street. The built context in the vicinity of the group comprises a mix of one and two storey dwellings generally dating from the late 19th to the early 20th century. Some contemporary dwellings and buildings are also located in the vicinity. Most of the early building stock has undergone some modifications, alterations and additions. The buildings and street, however, are enhanced by the street proportions, street trees and garden plantings.

The subject site is the result of several subdivisions of two original allotments from the c. 1878 subdivision of part of the Underwood Estate. The original corner lot (Lot 8 of Section 4) was subdivided in c.1913 when No. 17 and what is now No. 21 Broughton Road appear to have been constructed. In c. 1977 the then owner of the lot occupied by the subject building also purchased the lot that extended along the northern side boundary (Lot 7 Section 4, No. 32 Rochester Street). This lot, which retained the original 250 feet length, was subdivided (shortened) and lot occupied by the subject building was extended north. In c. 1978 the longer lot was re-subdivided to form the subject site and No. 19 Broughton Road.

The Broughton Road Conservation Area is of recognised significance as a group of Federation period houses that were constructed within a three year period and have a similarity of scale, form, details and materials including the face brick walls with contrasting brick, half timbering and timber details including timber windows and terracotta tiled and slate hipped and gabled roofs. As a group they are an important part of the Broughton Road streetscape.

No. 17 Broughton Road is of local historic and aesthetic significance as a good and largely intact representative example of a Federation period dwelling that was constructed in c. 1913. Despite some modifications, particularly to the interior and rear, the building retains its external character and details including front projecting wings with differing details, open front verandah and associated tiled, brick and timber details, face and common brick walls with contrasting brick and rendered details, timber framed windows and doors and gabled, hipped and skillion roof clad in slates, terracotta tiles and metal sheeting. These details are enhanced by a front garden setting that with Nos. 15, 13 and 11 makes a positive contribution to the Broughton Road streetscape.

The interior retains a sense of the early layout with rooms located about the entry and secondary halls and retains a sense of its early spatial character and internal details. However, floors, new service areas and new ceilings have been added, particularly to the rear of the building and services areas have also undergone typical modifications and upgrades.

The building retains an open rear yard with some later trees and plantings and sheds which appear to date from a later period of the site development and make no particular contribution to the conservation area.

The archaeological potential of the site is considered to be low and disturbed by the various subdivisions, construction of the building and development of the surrounding area. The existing building incorporates standard construction details and materials and some building fabric appears to have been upgraded and overall would not reveal any new information that is not available elsewhere. The early internal fabric and finishes enhance the character of the building, however, are not unique or rare.

The house is of no particular social significance as a private dwelling.

7.0 Description of the proposal

It is currently proposed to undertake alterations and additions to provide a boarding house on the site as illustrated by the revised architectural plans prepared by Moderinn Pty Ltd.

The existing building is proposed to be largely retained. It is proposed to remove the rear verandah, awning and concrete paving around the existing house, undertake some internal alterations and construct a new pavilion style addition at the rear with low, single storey, open connecting link and basement carparking.

The existing main face brick walls, gabled and hipped roof form, slate and terracotta roof tiles and associated details including the brick chimney, open front verandah and decorative details also timber framed windows and doors of the existing building are proposed to be retained. The proposed works are summarised as following:

- removal of the existing curved path and two trees on the street frontage and provision of a new path and upgrade of the existing front setback and garden area. Open grassed areas and perimeter garden beds with planting are proposed to be retained and improved;
- removal of the existing eastern driveway crossover and strip driveway and provision of a new pedestrian path, gates and fences and bin store on the eastern side of the building. New garden beds and planting and grassed areas are proposed along the eastern boundary and side of the existing building. The street verge will also be reinstated and made good to match the surrounding verge;
- upgrade and extension of the existing driveway along the western boundary and side of the house which will be used to access the new basement carparking area;
- removal of some internal walls and provision of a new openings and some new lightweight walls to provide a Managers Office in an existing bedroom, Reading Room in an existing bedroom, common toilet and kitchen areas in the existing bathroom and kitchen areas, open dining area and an accessible Manager's suite with ensuite in the eastern section of the building. The existing building entry, door and entry hall and associated ceiling and hall screen and existing main walls and open dining area opening out to the rear terrace will be retained. A separate terrace is also proposed to the north of the Manager's suite;
- modification of the rear wall and provision of new windows and doors;
- removal of the existing rear sheds; and
- construction of a new two storey addition over a basement carpark at the rear with a lift and stairs proposed to connect the three levels. The basement carpark has six (6) car spaces including accessible parking space and accessible Manager's space, motorbike parking areas turning bay and a storeroom. The ground floor of the addition has five suites including an Accessible suite (Suite 5) located about a lounge and the first floor also has five suites located about the lounge with a void.

The primary changes to the previously proposed scheme are summarised as follows:

- removal of the at-grade carparking area and provision of basement carpark which has resulted in improved open spaces around the addition and increased soft landscaping. Deep soil areas around the site perimeter have also been retained;
- reduction of the building footprint and increased site setbacks; and
- alteration of the building form and reduced height by reduced ceiling heights;
- removal of balconies; and
- increased separation between the two buildings and provision of a longer terrace and outdoor, covered communal space.

The proposed basement carparking area and addition have been setback from the site boundaries.

New landscaping, a garden terrace and common open space are proposed around the new addition along the eastern and northern site boundaries. Some small shrubs and perimeter planting are proposed to be removed, however, four existing trees including three existing fruit trees in the north western corner of the site are proposed to be retained and supplemented by replacement trees and plantings.

The rear additions incorporate contemporary architectural details with low pitched roof over the central open terrace (connecting link) and hipped roof form over the rear addition. The addition incorporates concrete slabs and structure, masonry and face brick walls with lightweight wall cladding with new aluminium framed windows and doors and metal roof cladding. A relatively neutral colour scheme is proposed for the new works with brown/ grey face brick, timber look finish to the wall cladding and grey for the roof to complement the existing building and area.

Skylights are proposed to the rear roof planes to increase solar access to the existing and proposed indoor and outdoor communal areas. The spaces have been orientated to reduce amenity and privacy (overlooking) impacts on the property neighbours. Each suite has an ensuite, washing and drying facilities and kitchenette.

Overall the works are intended to improve the use of the large site and provide additional, affordable residential accommodation in the area.

8.0 Heritage Impact Assessment

The relevant clauses of Strathfield Council planning documents and guideline document on the preparation of Statement of Heritage Impact reports have been considered below.

8.1 Strathfield LEP 2012 & Consolidated DCP 2005

In accordance clause **5.10 Heritage conservation** of the SLEP 2012:

(4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

(5) Heritage assessment

The consent authority may, before granting consent to any development:

- (a) on land on which a heritage item is located, or*
- (b) on land that is within a heritage conservation area, or*
- (c) on land that is within the vicinity of land referred to in paragraph (a) or (b),*

require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

The significance of the Broughton Road conservation area relates to the historic and aesthetic values, streetscape pattern and Federation architectural character of the congruous group and the visual contribution they make to the mixed streetscape.

The proposed alterations and additions to the existing building and change of use are considered acceptable from a heritage point of view as the principal building form and primary setbacks of the existing building and its contribution to the group and area will be retained and able to be interpreted.

The proposed works are intended to improve the use, accommodation and amenity of the building and site. The proposed boarding house use will have no adverse impact on the conservation area. The site will continue to be used for residential purposes with no change to the existing lot boundaries. The existing building, its single storey scale, presentation and primary relationship with the group will also be retained with the existing streetscape pattern, front and side setbacks and a front garden setting.

The proposed alterations to the front garden including removal of the two trees, provision of a new pedestrian path and improvement of the open grassed area and front garden beds will have no adverse on the conservation area. A simple pedestrian path with direct access to the building will be maintained and highlighted by the retained open grassed area and improved garden beds with replacement and new plantings. Stone garden bed edging will be retained.

The removal of the eastern driveway crossing and driveway and reinstatement of the verge is a positive impact. A single, (western) vehicular access will be retained and will access a basement carpark with entry located behind the retained dwelling and alignment of the group. The western driveway will be improved with perimeter planting also proposed along the western boundary.

The proposed removal of the existing rear verandah and awning at the back of the existing building also rear sheds will have no adverse impact on the building or its contribution to the conservation area. These elements relate to the later use and development of the site. The existing rear sheds are also in a dilapidated condition and make no cultural or visible contribution to the group and conservation area.

The Federation character and details of the existing building, including the principal face brick facades, main gabled and hipped roof, slate and terracotta tiled roof cladding, brick chimneys, front gabled bays, open front verandah and associated decorative elements of the front façade will be retained and will remain visible and able to be interpreted. Existing side windows and details will also remain.

The proposed internal alterations and changes to the rear of the existing building will have no adverse impact on the conservation area. The rear façade and interior have previously undergone some modification, however, a sense of the original internal layout will be retained, particularly the main rooms about the entry hall. Internal details have also been modified, however, will also be retained where possible with the external form and primary pattern of openings, main roof form and chimneys. The opening up and changes to the rear façade will not be visible or have any adverse impact on the conservation area or group and will improve the use and amenity of the building and its relationship to the addition.

The use of the large area at the rear of the site, setback and detachment of the new structure is also considered an appropriate approach. The “pavilion” style addition has been proposed so that the existing principal building form, scale and details of the existing building can continue to contribute to the group and the existing visual relationship is retained.

An open but covered communal terrace area is now proposed between the existing and proposed addition. The connection has been elongated and two storey building form is set well back behind the existing building and associated group. The separation also improves the amenity and northern aspect of the existing building. A low scale covered but open connecting link is proposed and is also setback from the rear, north eastern and north western corners of the existing building which will remain exposed and able to be interpreted.

The proposed addition has been amended and incorporates a basement carpark and reduced building footprint which has increased the side and rear setbacks of the building and outdoor communal open space. The overall building height has also been reduced and with the low pitched hipped roof reduces the bulk and scale of the structure. The reduction, setback and separation of the addition also reduces overshadowing.

The addition is two storey and may be partially visible from Broughton Road, however, has been set further back “behind” the dwellings in the conservation area. The form has been articulated and a low pitched, hipped roof is proposed. Balconies have also been removed. The contemporary character and details of the addition are also considered appropriate and allows clear interpretation between the “old” and the “new”. The use of brick and lightweight cladding is intended to complement and not detract from the historic character and fabric.

Some trees and plantings are proposed to be removed from the rear, however, these appear to relate to the later development of the site and replacement trees and plantings will be provided. Any potential adverse impacts are also reduced by the retention and improvement of the front garden setting and proposed landscaping around the building including the removal of the eastern driveway and replacement with a pedestrian path and new garden beds and plantings, improvement of the western driveway and boundary and proposed open private areas on the site. The mature street tree in front of the property will also be retained and continue to enhance the street setting of the house and conservation area.

The proposed works will have no adverse impact on any items in the street and particularly No. 16 Broughton Road which is located opposite, on the southern side of the road. The proposed changes to the No. 17 Broughton Road are concentrated to the interior and rear of the building and improvement of the front garden setting and access. The proposed new addition has been set well back behind the existing single storey building and neighbouring dwellings. Any potential adverse impacts are also reduced by the removal of one of the two existing crossovers and eastern driveway and reinstatement of the grassed verge, retention of the front garden, garden trees, wide street proportions, mature street trees and plantings and nature of the neighbouring buildings.

In relation to the controls outlined in **Part P of the Strathfield Consolidated DCP 2005**.

4.1 Setting

Controls

i	<i>The side and front setbacks of new development in a Conservation Area should be typical of the spacing of existing buildings in the vicinity of the proposed development in that Conservation Area, such that the rhythm of buildings in the streetscape is retained.</i>	The front and side setbacks and spacing of the existing building have been retained and proposed addition has also been setback from the side and rear boundaries with increased open private and landscaped space now provided around the building.
ii	<i>No new structures should be built forward of the established street building line.</i>	No new structures are proposed forward of the existing established building line.
iii	<i>The established landscape character of the locality including the height of canopy and density of boundary landscape plantings should be retained in any new development.</i>	The established landscape character of the locality and particularly around the front of the building has been retained and will be improved.

iv	<i>Driveways must be placed having regard to street trees that contribute to the character of Heritage Conservation Area. An arborist report may be required for any development in the vicinity of significant street trees.</i>	The existing western driveway will be retained and will continue to provide clear, vehicular access to the site. The existing second, eastern driveway is proposed to be converted into a pedestrian path with new landscaping and planting also proposed. The second crossover will be removed and street verge will also be reinstated to match.
----	---	--

4.2 Scale

i	<i>The scale of new development adjacent to or within a Conservation Area should relate to the scale of the adjacent or nearest contributory elements of the Conservation Area.</i>	The single storey scale of the existing building has been retained and will continue to be consistent and relate to the neighbouring dwellings. A new, two storey pavilion is proposed to the rear, however, is set well back behind the buildings and is connected by a low scale, covered but open single storey connecting link.
ii	<i>Development of a larger scale is allowable only if it can be demonstrated that the new development will not adversely impact the identifiable character of the Conservation Area.</i>	<p>The conservation area is characterised by single storey Federation period dwellings, however, this section of Broughton Road and neighbouring sites to the north of the subject site feature both one and two storey residential development.</p> <p>The new addition is two storey, however, has been setback from the front, side and rear boundaries. The building form and height have now been reduced with increased setbacks from the side and rear boundaries and is separated from the existing group and corporates a mix of materials, articulated form and low pitched roof to reduce the overall height and scale of the structure.</p>

4.3 Form

i	<i>Important elements of the form of a contributory building in a Conservation Area such as main roof forms, chimneys, parapet walls, verandahs etc. should not be demolished or obscured by alterations and additions.</i>	<p>The important elements of the existing building, particularly the main gabled and hipped roof form, chimney and open front verandah will be retained and not obscured by the proposed alterations and additions. A front garden setting with one driveway, clear and separate pedestrian access will also be retained and is proposed.</p> <p>The internal alterations will have no impact on the primary form and external elements and a sense of the existing internal layout will also be retained. The new addition is also set back behind the primary form which will remain highly visible and continue to relate to the other buildings in the area and streetscape.</p>
---	---	--

ii	<i>New development in a Conservation Area is to complement existing nearby buildings that contribute to the Conservation Area.</i>	The form of the addition has been articulated and has been designed to be complementary to the existing buildings in the area. The form has been reduced and complementary hipped roof form is also proposed.
iii	<i>Chimneys and roof features such as ventilation gables should not be removed from contributory buildings in a Conservation Area</i>	The existing chimney and roof features including the street facing gables and associated details of the gable ends will be retained and remain highly visible.
iv	<i>Dormer windows should generally be confined to rear or side roof slopes to minimize visibility in the streetscape.</i>	No dormer windows are proposed.
v	<i>Additions and alterations to existing buildings that contribute to the character of a Conservation Area should not detract from the original form of the existing building as viewed from the Public Domain.</i>	The primary building form will be retained and will continue to be interpreted from the public domain. The proposed pavilion style addition and a single storey connection provided with clear separation and deeper setback will not detract from the group, but rather will also highlight the original form of the building when on the site.
vi	<i>The treatment of the street façade of new development in a Conservation Area should relate to existing nearby buildings that contribute to the Conservation Area.</i>	The existing front façade of the building will be retained and continue to contribute to the conservation area. The addition is setback and will be largely visually screened by the existing and neighbouring buildings also mature street trees.

4.4 Siting

i	<i>The front setback of new development (including alterations and additions) in Conservation Areas should match that of adjacent contributory development. Where adjacent developments have different setbacks, new development should align with the greater setback.</i>	The existing front setback will be retained. The proposed addition is located at the rear of the existing building and is set well back from the street frontage.
ii	<i>For Conservation Areas where first floor additions are appropriate, the first floor must be located behind the main roof form in a manner that does not detract from the streetscape character of the Conservation Area. (Refer to Figure 3)</i>	The proposed new addition and first storey has been setback and located behind the principal building and roof form and single storey connecting wing has also been proposed to separate and reduce visual impacts on the group and streetscape.
iii	<i>Side setbacks of new development (including alterations and additions) in Conservation Areas should match the pattern of adjacent and/or nearby contributory development. This will often include a greater setback on one side of the development to provide vehicular access at the side of a property.</i>	Side and rear setbacks and open landscaped areas are proposed and have now been increased.

iv	<i>The orientation of new development should follow the established pattern of development in the Conservation Area.</i>	The orientation of the proposed addition follows the established pattern of development in the conservation area.
v	<i>Where trees are important to a Conservation Area, new buildings should be sited away from the drip line of the trees.</i>	No significant trees will be affected by proposed works and additions.

4.5 Materials and colours

i	<i>Original materials of contributory buildings in Conservation Areas should not be replaced with different materials or with materials of different colours.</i>	The original materials of the building that contribute to the character of the area, the face and common brick primary facades, slate and terracotta roof tiles and trims, roughcast render, timber details and timber framed windows and doors on the primary front and side facades will be retained. The rear façade has been previously altered and modified, however, will be improved.
ii	<i>Non-original materials of existing contributory buildings in Conservation Areas that are being replaced shall, if possible, be replaced with material that matches the 24 original material as closely as possible.</i>	The non-original materials at the rear of the building will be replaced with appropriate fabric.
iii	<i>Painting, rendering or bagging of face brickwork and sandstone is not permitted.</i>	The existing face brick walls and details will remain face brick.
iv	<i>The texture of original rendered finishes should not be changed.</i>	The texture of the original rendered details will not be changed.
v	<i>Colour schemes for existing and new development in Conservation Areas should have a hue and tonal relationship with traditional colour schemes for the dominant style of development found in the Conservation Area</i>	The existing colours and finishes of the existing building will be retained. The proposed materials and colour scheme of the addition is complementary and have a hue and tonal relationship with the existing building and area.
vi	<i>The use of fluorescent paint on buildings in Conservation Areas is not permitted.</i>	No fluorescent paint is proposed or will be used.

4.6 Doors and windows

i	<i>Extensive areas of glazing are not permitted for doors and windows visible from the Public Domain on buildings within a Conservation Area.</i>	Larger areas of glazing are concentrated at the rear and will not be visible front the public domain.
ii	<i>Original door and window joinery visible from the Public Domain on contributory buildings in a Conservation Area should be conserved.</i>	Original door and windows visible from the public domain will be retained.

iii	<i>New door and window openings to contributory buildings in a Conservation Area that are visible from the Public Domain should be of proportions and details that relate to existing door and window openings.</i>	New windows and doors to the addition will not be highly visible and where possible are vertically proportioned.
iv	<i>Roof structures (i.e. skylights) should be located on roof slopes where they will not be visible from the Public Domain.</i>	The proposed skylights are located on the rear roof planes and will not be visible from the public domain.

4.7 Car parking

A basement car parking area is now proposed. The existing western crossover and driveway along the western side boundary will be retained and improved to access the basement which also incorporates space for motorbikes and storage.

The basement area has been setback from the side and rear boundaries with deep soil area retained around the site perimeter.

The line of the basement is also setback from the rear of the existing dwelling and setback from the neighbouring group.

The basement entry is also located toward the rear of the property and set well back from the rear of the retained building.

4.8 Fencing

Existing side and rear boundary fencing will be retained, repaired and upgraded to match where required. There is currently no fence, however, the existing stone edging and flagging along the street frontage and planted garden beds will be retained and adapted to suit the proposed new pedestrian path.

Some new fencing and a new gates are proposed on each side of the existing building for amenity (privacy and security) purposes, however, these have been setback from the front building line and height has been restricted and located well below eave height of the retained building.

Any potential impacts will be reduced by the improvement of the front landscaping and new plantings particularly along the western and south eastern boundaries.

4.9 Landscape elements including paving and driveways

No street trees will be affected by the proposed works.

New landscaping and paving is proposed. The existing western driveway is also proposed to be upgraded and extended to provide access to the basement carpark. Paved terraced areas and paths are also proposed along the eastern side and between the existing building and new addition.

These elements are proposed to improve the use and amenity of the site and will have no adverse impact on the conservation area. Any potential adverse impacts are reduced by the proposed improvement of the front garden area, removal of the eastern driveway and proposed new path, landscaping and planting along the eastern and rear boundaries.

4.10 Outbuildings

No outbuildings are proposed, however, an open bin enclosure is proposed along the eastern setback. The proposed new gate and fence will have no adverse impact on the area. The structure is setback from the front building line, is relatively low, lightweight and open. Any potential adverse impacts will be reduced by the proposed new garden beds and planting around the enclosure.

4.11 Modern technologies

Modern technologies will be restricted to the rear of the existing building and addition and will be sited to reduce visual impacts on the historic buildings and elements.

4.12 Demolition

The existing building will be largely retained. Whilst some elements and internal walls are proposed to be removed and altered, these are restricted to the interior and rear of the building and will have no adverse impact on the primary scale, form and Federation period character of the building or its primary contribution to the area. The interior and rear of the building has been previously altered and modified, however, a sense of the early layout, particularly the entry hall and early details where possible will be retained.

The proposed demolition of the existing rear sheds will have no adverse impact on the area.

4.13 Subdivision

No subdivision is proposed. The existing site area is proposed to be utilised.

4.14 Signage

Any required signage will be confined to the interior and rear of the building and new addition and will not detract from the historic character of the building and area.

With regards to **5. Additional controls for development within the Residential Conservation Areas.**

5.1 General Objectives

A	<i>To conserve the existing character and heritage significance of Strathfield's residential Conservation Areas.</i>	As outlined above, the Federation period character and primary form and details of the existing building have been retained and will continue to enhance and make a positive contribution to the area.
B	<i>To facilitate sympathetic and appropriate alterations and additions, whilst minimising the impact on the heritage significance of the dwellings and streetscapes within residential Conservation Areas.</i>	The impact of the proposed additions have been minimised by the use of a pavilion style addition that retains the primary form and details of the existing building. The form and overall height, bulk and scale of the addition has been reduced in part due to the incorporation of a basement carpark. The addition has been set further back with single storey and open connection link that provides a measure of separation and allows interpretation of the "old" and "new".

C	<i>To ensure that new development is sympathetic to the particular building and/or relevant Conservation Area in terms of siting, form, massing, articulation and detail composition.</i>	The proposed addition has been setback behind the single storey buildings and whilst an upper storey is proposed the overall form has been reduced and articulated, incorporates complementary and compatible materials and also incorporates low pitched and hipped roof forms to reduce the overall height and perceived bulk and scale.
D	<i>To ensure that the proposed form of roof and details, the style, size, proportion and position of openings of windows and doors, the colours, textures, style, size and type of finish of materials to be used on the exterior of the building is compatible with similar features and materials used in the existing building on the site and within the relevant Conservation Area</i>	The proposed form and details of the addition, the roof, windows and materials are appropriate to a contemporary addition and do not seek to mimic but rather complement and reflect the existing built context by the use of compatible form and complementary building materials, colours and textures and vertically proportioned openings where possible.
E	<i>To retain any horticultural or landscape features within the relevant Conservation Area.</i>	A garden setting and compatible landscape features are proposed. The soft landscaped area has now been increased and one, single driveway with separate pedestrian access paths are also proposed.
F	<i>To retain the subdivision pattern of the relevant Conservation Area.</i>	The existing subdivision pattern will be retained.
G	<i>To promote an understanding of the importance of conserving the fabric of existing buildings and its context within the relevant Conservation Area.</i>	The primary historic fabric and context will be retained and able to be interpreted.

5.2 Siting and Garden Area

i	<i>The historical pattern of development of individual buildings on separate allotments of land separated by garden space, which characterise each of the Residential Conservation Areas, should be maintained.</i>	The historical pattern of development of individual buildings on separate lots will remain discernible.
ii	<i>Front garden areas, lawns and associated pathways as traditional garden settings for houses should be maintained in any development proposal within a Residential Conservation Area.</i>	The front garden with planted garden beds and grassed areas, separate pedestrian path and a garden setting will be retained and improved.
iii	<i>Views around and between buildings collectively forming a Residential Conservation Area are to be retained in any development proposal.</i>	Primary views around and between the buildings will be retained. Whilst the new addition will be partially visible and extends beyond the existing side building lines, the new structure has been sited further back from the street frontage and form and height has now been reduced. The primary front setbacks and views between the buildings in the area and along the streetscape will be retained.

iv	<i>Existing side boundary setbacks should be maintained. A lesser setback may be considered for additions where it can be demonstrated that the resulting development does not detract from the character of the Conservation Area.</i>	The side boundaries of the existing building have been retained. The new addition is also setback from the side and rear boundaries with increased open landscaped areas and grassed areas also proposed between and around the building.
----	---	---

5.3 Building Form

i	<i>Any proposed development should retain the particular building character of each Residential Conservation Area as identified in the particular Statement of Significance for the Conservation Area.</i>	The primary building form and external character of the existing building has been retained and able to be interpreted.
ii	<i>Any proposed development should retain the particular building character of each Residential Conservation Area as identified in the particular Statement of Significance for the Conservation Area.</i>	The proposed addition has been sited to the rear of the existing building and incorporates a relatively simple form and details that do not seek to compete or detract from the historic fabric and Federation period details of the buildings in the conservation area.
iii	<i>Where a building, other than a non-conforming building has undergone limited change, restoration/reinstatement and repair of the original front of the building is encouraged.</i>	The front of the building and remaining original details will be retained.

5.4 Roof forms

i	<i>Roof extensions on buildings within a Residential Conservation Area are to relate sympathetically and subordinately to the original roof in shape, pitch, proportion and materials.</i>	A pavilion style addition has been proposed to reduce the impact on the primary roof form of the existing building which will be retained. A low pitch hipped roof is proposed to reduce the overall height and is a compatible roof form.
ii	<i>New buildings are to have roofs that reflect the size, mass, shape of original roofs in the vicinity, particularly of the adjoining roofs.</i>	A pitched and hipped roof form are proposed over the additions and are compatible with the area.
iii	<i>Replacement roof materials are to match original materials or are to use approved alternative materials.</i>	The roof materials on the existing building are proposed to be retained and repaired where required.
iv	<i>Roof details such as finials, ridge capping, are to be maintained, repaired and reinstated where possible.</i>	Existing roof details are also proposed to be retained.

5.5 Walls, chimneys, doors and windows

i	<i>The original shape and materials of the front and side walls of buildings within a Residential Conservation Area shall not be altered.</i>	The original shape and materials of the front and side walls of the existing building will be retained.
---	---	---

ii	<i>Chimneys on buildings within a Residential Conservation Area should not be demolished, unless they are structurally unsound and only when accompanied by 31 plans for immediate reconstruction in the original design. Reconstruction of original.</i>	The existing chimney will also be retained.
iii	<i>Original doors and windows of dwellings within a Conservation Area, are to be kept, maintained and repaired when necessary.</i>	Original doors and windows on the front and side facades of the existing building will be retained.
iv	<i>New doors and windows of dwellings within a Conservation Area are to reflect the proportion, location, size, sill heights, header treatment, materials, detailing and glazing pattern of the original doors and windows on the house to which they belong.</i>	New doors and windows are appropriate to modern additions and have been designed to suit the addition.

5.6 Verandahs

i	<i>Existing original verandahs at the front of contributory dwellings within a Residential Conservation Area are to be kept and repaired or reinstated where possible.</i>	The existing front verandah will be retained and remain open. Terrace areas also proposed at the rear and will have no adverse impact on the area but will enhance the use of the buildings and site.
---	--	---

5.7 Garages and Carports

i	<i>New garages and carports are to be located at the back or at the side of the house.</i>	A basement carpark is now proposed. The entry is via a single driveway along the western side of the existing building and entry is also located behind and set well back from the street.
ii	<i>Carports, but not garages, forward of the building line may be permitted only in circumstances where access is not available to the rear and only where the design and materials are considered acceptable within the streetscape</i>	No carports or structures are proposed forward of the building line.
iii	<i>Driveways consisting of wheel tracks with central grass/planting are preferred to fully paved driveway spaces</i>	A single driveway with planting is proposed along the western boundary.

5.8 Fences and gates

i	<i>Original front fences and gates are to be kept and repaired where possible.</i>	There is currently no front fence or gate, however, the front garden beds with stone edging will be retained and modified to suit the new proposed pedestrian paths.
---	--	--

ii	<i>Where replacement is necessary, replace side and rear fences with a timber paling fence of same height to the original, or a fence of unobtrusive lightweight materials such as timber or wire mesh with covering plants. Replacement fences must be in keeping with the character of the Conservation Area.</i>	Appropriate side and rear fencing will be provided.
iii	<i>Privacy walls higher than 1m of brick, timber or brush are not permitted on the street frontage.</i>	No high privacy walls are proposed on the street frontage.

In relation to **5.9.5 Broughton Road Conservation Area – Federation houses group (C9):**

- (i) The predominant gable pattern will be retained and remain highly visible.
- (ii) The existing front verandah and associated details will also be retained and repaired as required.
- (iii) The original primary shape and materials of the existing building will also be retained.

8.2 Heritage NSW criteria

The relevant questions have been considered in detail below.

How is the new impact of the new development on the heritage significance of the area to be minimised?

The proposed works are intended to improve the accommodation, use and amenity of the existing building and site for ongoing residential use. The existing site and building have undergone some change and evolution.

Any potential heritage impacts of the proposed alterations and additions on the area are minimised in the following ways:

- by the retention of the existing subdivision pattern and site parameters;
- by the retention of the existing main street pattern, primary front and side setbacks and the existing driveway along the western side of the building;
- by the reduction of driveways and improvement of the front and eastern side setback;
- by the improvement of the front garden setting and provision of a single vehicular and separate and clear pedestrian access to the building;
- by the retention of the existing single storey scale and Federation period character of the existing building and its contribution to the street and group;
- by the retention and improved use of the existing building;
- by the improvement of the rear of the existing building;
- by the proposed pavilion style addition that is separated and setback from the single storey built context;
- by the removal of the at grade carpark, removal of balconies and reduction of the building form and height and increased site setbacks and landscaped areas around the building;
- by the use of a contemporary building form, appropriate and complementary building materials and colours that seek to complement the building and area; and
- by the retention and improvement of the garden areas and landscaping around the building and improved relationship between the house and street.

How does the new development affect views to, and from the (contributing) items and along the streetscape? Will the public and users of the site, still be able to view and appreciate its significance?

The proposed works are confined to the existing site and the primary form and details and existing building setbacks have been retained. The form and overall height of the additions have also been restricted and reduced. The pavilion form proposed to retain the scale and integrity of the existing building and has also been set further back behind and separated from the rear of the existing building and group.

As such, it is considered that the proposed alterations and additions will have no adverse impact on the primary views along Broughton Road and or appreciation of the original scale and congruous Federation period character and details of the conservation area. The addition may be partially visible when looking along the side and between the buildings, however, will have no adverse impact on any views to and from the items in the street, including No. 16 Broughton Road due to the setback. The existing front garden settings, wide street proportions and street trees will also be retained.

Is the development sited on any known, or potentially significant archaeological deposits?

The development is not sited on any known deposits and archaeological potential of the site is considered to be low and disturbed by the various subdivisions and development of the site and neighbouring sites and area.

The existing house and sheds incorporate typical and modern construction materials and techniques which overall are not likely to reveal any new information which is not available elsewhere.

9.0 Conclusion and recommendations

In summary, the proposed alterations and additions and change of use of No. 17 Broughton Road, Strathfield, are considered acceptable from a heritage point of view and will have no adverse impact on the conservation area.

The proposed works are intended to improve the use, accommodation and amenity of the existing dwelling and site for ongoing and provide an alternative residential use.

A pavilion style addition is proposed. The existing principal form, single storey scale, and Federation period character and details of the existing building and its primary setting which make a contribution to the group of buildings in the conservation area will be retained and able to be interpreted.

The scheme has now been revised and amended and incorporates a basement carpark. The removal of the at-grade car park has allowed the reduction of the form and footprint of the addition and increased setbacks and open landscaped area. The overall height of the addition has also been reduced by the reduction of ceiling heights and retention of a low pitched, but complementary hipped roof form. Balconies have also been removed and the rear addition has been set further back with an open, but covered single storey connecting link (terrace) now proposed between the existing and new addition.

The connecting link has also been setback from the rear corners of the existing building which also allows interpretation of the existing building form, scale and details and clear separation between the existing and new work.

The addition is two storey and will be partially visible, however, the overall bulk and scale has been reduced by the modifications and potential visual impacts are also reduced by the increased setback and separation, articulated building form, use of varying and compatible materials, colours and roof forms. There are also a number of two storey buildings to the immediate north of the site and along Broughton Road.

The proposed changes to the interior of the existing building will have no adverse impact on the area. The building entry and sense of the existing internal layout has been retained and where possible internal details and spatial character will remain. The interior of the building and rear façade have previously undergone some modification and proposed works will improve the condition and amenity of the building.

A front garden setting will be retained and compatible landscape features will be provided around the building. The western driveway will be upgraded and used to access the basement carpark. The entry of which is setback from the street and behind the existing building and neighbouring buildings. Separate pedestrian paths are also proposed. Some trees are proposed to be removed, however, replacement trees and plantings are proposed and will be retained in the front and along the side and rear boundaries.

The proposed alterations and additions are confined to the existing site and will have no adverse impact on any items in the street, particularly No. 16 Broughton Road due to the setback of the addition which has been set further back.

Any potential adverse impacts are also reduced by increased soft landscaped area and improved landscaping around the building, removal of the existing second (eastern) driveway, retention and improvement of the front garden setting and neighbouring garden and street trees and plantings.

On this basis, Council should have no hesitation in approving the proposed, revised scheme on heritage grounds.