

STRATHFIELD COUNCIL
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STATEMENT OF ENVIRONMENTAL EFFECTS

24 CECILY STREET, BELFIELD

DEMOLITION OF EXISTING STRUCTURES

CONSTRUCTION OF TWO STOREY DWELLING HOUSE

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Introduction

This report has been prepared in support of a Development Application for 24 Cecily Street, Belfield. The Development Application proposes the demolition of existing structures and the subsequent construction of a two-storey dwelling house. The Proposal is indicative of a shovel ready development as construction may be facilitated immediately after approval which is indicative of the NSW Department of Planning, Industry and Environment the COVID-19 pandemic key criteria which have been developed to prioritise the assessment of Development Applications.

The Site is located within an established low-density residential area. The Site is zoned R2 Low Density Residential under the provisions of the Strathfield Local Environmental Plan 2012. The Site is not located within a heritage conservation or adjacent a local heritage item. Figures 1, 2, 3, 4 and 5 demonstrate the site zoning and context of the site.

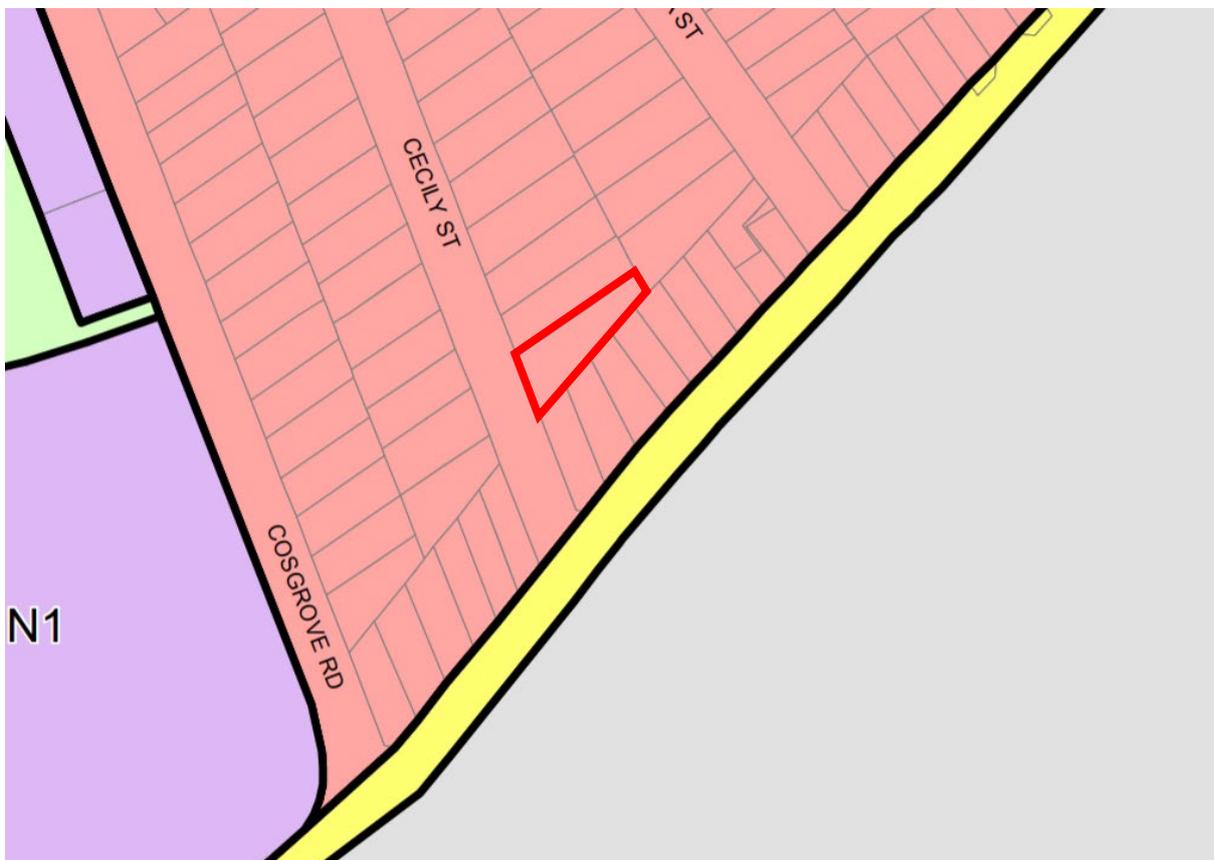


Figure 1. Zoning Map Extract –R2 Low Density Residential - Strathfield Local Environmental Plan 2012 (LZN_006)



Figure 2. Ariel Map of Site (Six Maps)



Figure 3. Road Map of Site (Six Maps)



Figure 4. 24 Cecily Street - View of Site [Viewing West]



Figure 5. 24 Cecily Street - View of 18, 20, 20 and 24 Cecily Street [Viewing South]

Site Context

The subject site is known as 24 Cecily Street, Belfield having the legal description of Lot 33 in DP 35173 ('the Site'). The land is an irregular shaped lot which fronts Cecily Street with a frontage of 23.545m and a width of 8.665m at the rear. The site has an area of 835.7m². The Site falls gently to the North East from RL 23.34 along the south western boundary down to RL 21.63 to the north eastern boundary. A single storey dwelling currently resides on the Site with a pitched gable roof and low-lying brick front fence.

The Site adjoins 22 Cecily Street to the north, a single storey dwelling house which has a gable tiled roof. The property has a brick fence and provides its vehicular access along the northern boundary.



Figure 6. 22 Cecily Street [Viewing East]

The Site adjoins 91, 93, 95, 97 and 99 Punchbowl Road to the south which are south-north oriented allotments and have their primary frontages to Punchbowl Road.

Other properties of consideration are 18 and 20 Cecily Street. 20 Cecily Street is a single storey dwelling house with a pitched gable tile roof and low-lying front fence (Figure 7).



Figure 7. 20 Cecily Street [Viewing East]

18 Cecily Street is a double storey dwelling house with pitched tile roof and hedging in place of a front fence.



Figure 8. 18 Cecily Street [Viewing East]

The greater locality is characterised by residential dwellings, generally single storey of varying age and form. The site is zoned R2 Low Density under the Strathfield Local Environmental Plan 2012.

Proposal

The Development Application proposes the demolition of existing structures in order to erect a two-storey dwelling house comprising 6 ('six') bedrooms with garage car parking. The design of the dwelling house incorporates contemporary and traditional architectural aesthetics that complement character of the locality while enhancing the landscaped amenity within the site.

The Proposed Development is to consist of:

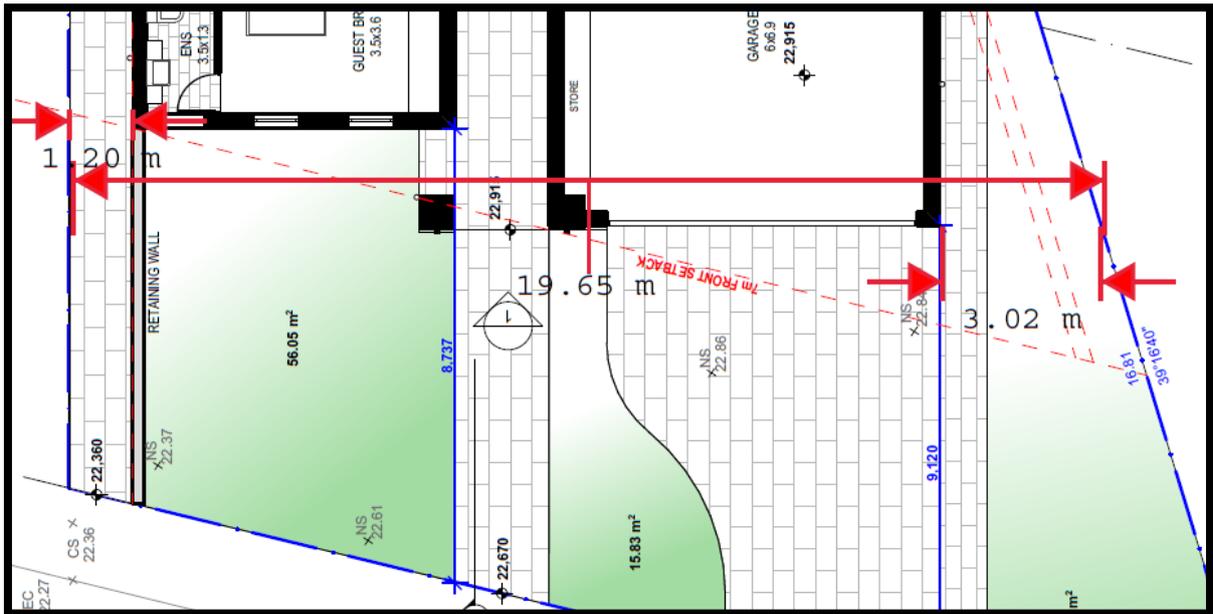
Proposal	
Ground Floor	Double Garage
	Guest bedroom with Ensuite
	Media Room
	Laundry
	Formal Living Area
	Living and Dining Area
	Laundry
	Kitchen and butlers pantry
	Ground Dwelling House Gross Floor Area – 191.7m ²
	Alfresco Area
	Private Open Space – 300m ²
	Landscaped Area – 381.42m ² or 45.7%
	First Floor
Bedroom 2	
Bedroom 6	
Study	
Bedroom 3	
Bedroom 4	
Bedroom 5	
Bathroom	
First Floor Gross Floor Area – 191.26m ²	

The below listed documents have been prepared by suitably qualified consultants:

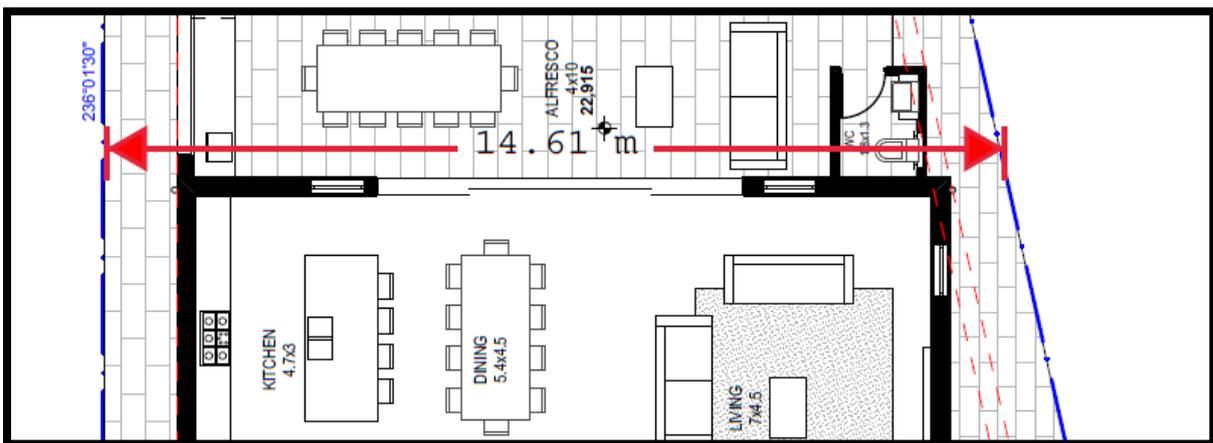
- Architectural Plans prepared by Princeton Piper
- BASIX and ABSA Certification prepared by GEC
- Landscape Plan prepared by Conzept Landscape Architects Landscape Architect
- Stormwater and Drainage Plans prepared by Alpha Development Consulting Engineers
- Survey Plan prepared by C&A Surveyors NSW Pty Ltd

Side setback discussion

Careful consideration is to be given the side setback proposed which varies between 900mm and 4m due to the irregular shape of the allotment. The Site has a length of 23.545m at the front boundary and 8.665m at the rear. A merit-based assessment is sought in relation to the side setback standard (4.2.3.2 of the SDCP 2005). At the front building line where the width is 19.6m the proposal provides a 1.2m setback to the northern boundary and 3m to the southern boundary as per the below:



At the rear building line (habitable space) where the site width is 14.6m the proposal provides a 1.2m setback to the northern boundary and 900m to the southern boundary:



This proposal seeks a variation on the basis that the proposal results in a superior planning outcome. Prescribing a 25% width setback to the rear portion of the dwelling would result in an elongated built form which would require tedious steps to the building envelope and result in an elongated building length to the rear significantly constraining the internal areas while not necessarily providing any benefit tangible as a result. The elongated built form would also cast a greater shadow to the properties that adjoin the Site to the south.

The proposal as presented ensures that the core objectives of the building envelope are achieved as considered below:

- A. To ensure that dwellings are compatible with the built form of the local area and that overall bulk and scale, size and height of dwellings relative to natural ground level responds to the adjoining dwellings, topography and desired future character.

Comment: The proposed two storey dwelling presents a built form that is currently present within the streetscape and greater visual catchment. The proposal appropriately responds to the topography of site while ensuring that it is consistent with the desired character of the locality. The proposal passes the compatibility test as its presentation will maintain a

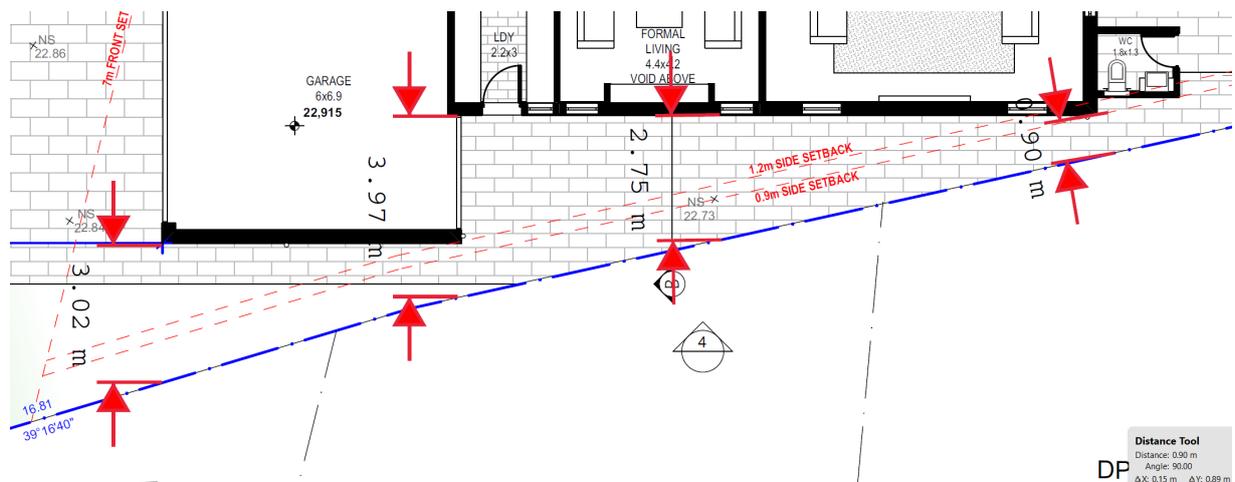
harmonious relationship with the adjoining properties and greater streetscape. The proposal will not destabilize any reoccurring elements nor will it undermine the integrity of the locality by introducing unattractive architectural features.

B. To minimise impact on the amenity of adjoining properties.

The proposed setbacks maintain an appropriate amenity to the adjoining properties, namely, 91, 93, 95, 97 and 99 Punchbowl Road the boundary to which the reduced setback is sought. The proposal will maintain more than 50% solar access to the private open space areas of the properties to the south which is indicated in the shadow diagrams accompanying this submission ensuring compliance with the numerical standards that guide solar impacts.

The proposal also ensures that there is no undue opportunity for overlooking into the private open space areas of the adjoining properties. The windows along the south each provide a 1.5m sill height so as to ensure there isn't opportunity for overlooking from the first floor.

Given the south-north orientation of affected dwellings, the proposed setbacks will not disrupt the streetscape rhythm to the south. The proposal provides sufficient visual relief in the form of setbacks in the building which increases to 4m behind the double garage and master bedroom as per the below:



C. To establish and maintain the desired setbacks from the street and define the street edge.

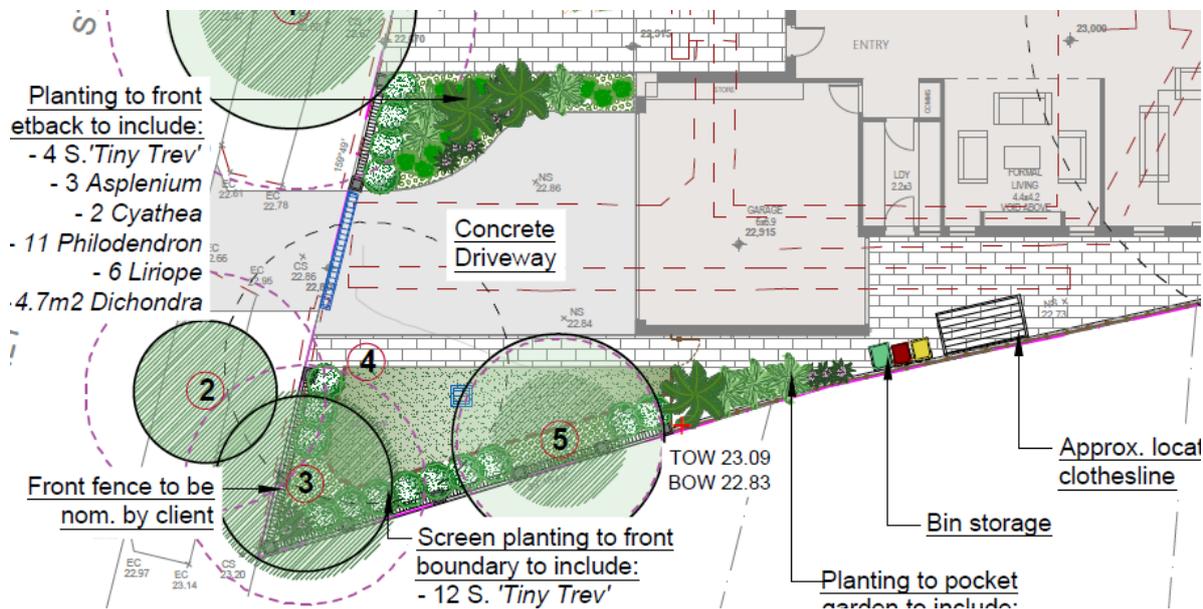
Comment: The proposed side setback will not impact upon the street edge; it is considered that the proposed minimum 7m setback achieves this objective.

D. To create a perception or reinforce a sense of openness in the locality.

Comment: The reduced setback along the southern boundary will not unduly impact upon the sense of openness in the locality and its interface relates to rear boundaries and not adjacent side boundaries. The proposal seeks to provide significant steps in the built form up to 4m which provide the visual relief that creates the sense of openness.

E. To maintain view corridors between dwellings.

Comment: The view corridor along northern boundary between dwellings is maintained through the 1.2m setback. A view corridor to the south is also maintained between the allotments through the significant triangular landscape patch provided within the front setback. The landscape patch which is illustrated below ensures that view corridor between allotments is provided as it distinguishes this allotment with the adjoining properties:



F. To assist in achieving passive surveillance whilst protecting visual privacy.

Comment: The proposal is considered to provide sufficient passive surveillance to the streetscape through the location of the balcony within front façade on the first floor.

The proposal maintains visual privacy through the inclusion of 1.5m sill height windows located on the first floor of the resulting dwelling along its southern boundary to protect the private open space of the properties fronting Punchbowl Road.

G. To provide a transitional area between public and private space.

Comment: The proposal is considered to define the public and private realms through the location of the front fence, the side setback proposed will not undermine consistency with this objective.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

The application has been assessed under the Building Sustainability Index and is accompanied by a BASIX Certificate. See accompanying BASIX Certificate for detail.

State Environmental Planning Policy No 55—Remediation of Land

Given the historical use of the site for residential uses, land contamination is not considered likely. If any contaminated material or suspected contaminated material is unearthed during the construction process, then actions consistent with the legislative requirements and guideline documents will be actioned.

Strathfield Local Environmental Plan 2012

The Site is zoned R2 Low Density Residential under the provisions of the Strathfield Local Environmental Plan 2012 ('SLEP 2012'). The Proposed Development is permissible with Council's Development Consent. The relevant SLEP 2012 controls have been considered in the compliance table below.

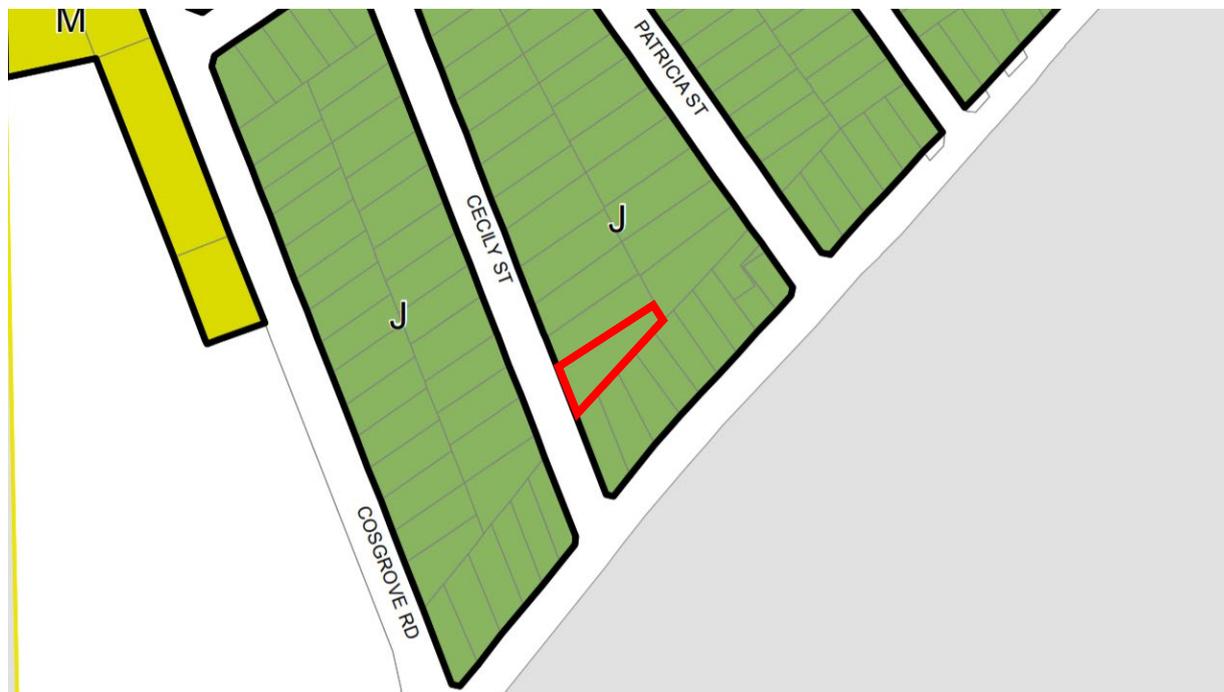
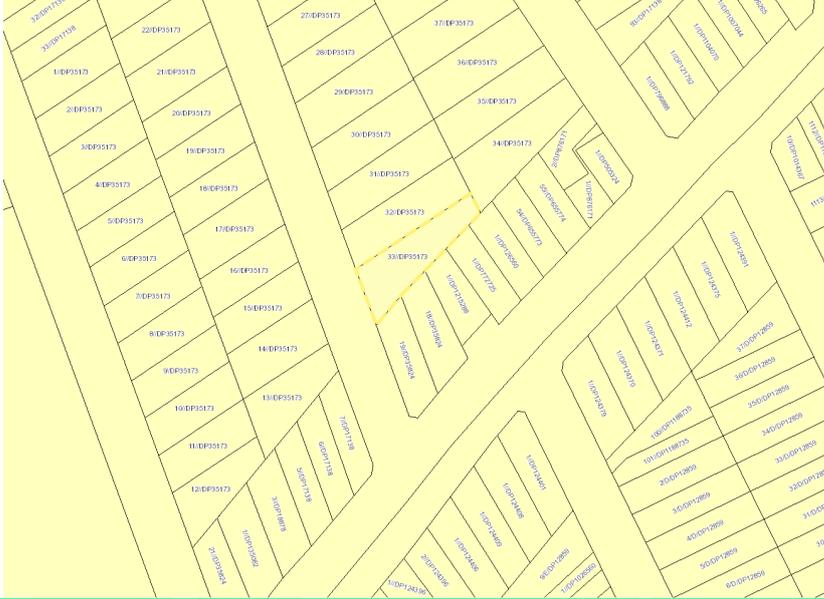


Figure 9. Height Map – J, 9.5m (Sheet HOB_006), (SLEP 2012)

Strathfield Local Environmental Plan 2012		
Clause	Comment	Complies
Zoning – R2 – Low Density Residential	Development for the purposes of a dwelling house is permissible with Council consent in the R2 Low Density Residential zone.	YES
Zone Objectives and Land Use Table	The proposal is consistent with the zone objectives of the R2 – Low Density Residential zone. Most notably the below listed: <ul style="list-style-type: none"> To provide for the housing needs of the community within a low density residential environment. To ensure that development of housing does not adversely impact the heritage significance of adjacent heritage items and conservation areas 	YES
2.7 Demolition Requires Development Consent	The Proposal seeks approval for the demolition of all existing structures on the Site in accordance with the demolition plan prepared by Princeton Piper accompanying this submission.	YES
4.3 Height of Buildings	No part of the Proposed Development exceeds the 9.5m maximum height limit prescribed on the Site.	YES
4.4C Exceptions to floor space ratio (Zone R2)	The Site has an area of 835.7m ² , the proposal seeks a gross floor area of 382.43m ² (0.451:1).	YES

<p>>800-899 0.55:1</p>		
<p>5.10 Heritage Conservation</p>	<p>The proposal is not considered to alter the streetscape in such a way that it adversely impacts the heritage significance of any item within the greater locality.</p>	<p>YES</p>
<p>6.1 Acid Sulfate Soils</p>	<p>The Site is located on Class 5 land and the proposal does not seek approval for extensive excavation:</p> 	<p>YES</p>
<p>6.2 Earthworks</p>	<p>Development consent is sought for minor earth works so as to facilitate the construction of the dwelling house. It is considered that the proposed works will have minimal adverse environmental and amenity impacts on the neighbouring property.</p> <p>The proposal results in an appropriate outcome considering the nature of the development and the characteristics of the Site.</p> <p>The proposal will not adversely affect or disrupt drainage and flood patterns, flood storage or soil stability in the area. Please refer to the drainage plans accompanying this submission.</p> <p>The proposed excavation is consistent with the current and future use of the land and will ensure a quality open space amenity is provided.</p>	<p>YES</p>

Strathfield Development Consolidated Control Plan (DCP) 2005

The applicable controls which relate to Proposed Development in the Strathfield Development Consolidated Control Plan (DCP) 2005 are addressed in the following table:

<p>Strathfield Development Consolidated Control Plan (DCP) 2005</p>	
<p>Part A – Dwelling Houses and Ancillary Structures</p>	
<p>Control/Requirement</p>	<p>Comment</p>
<p>2 ARCHITECTURAL DESIGN AND STREETScape PRESENTATION</p>	
<p>2.2.1 Streetscape Presentation</p>	

<p>1. New dwellings must be positioned and oriented on their site to address the street frontage with a clearly identifiable entry.</p>	<p>Complies The Proposal has been oriented toward Cecily Street with a clearly identifiable vehicle and pedestrian entryway that is compatible with the existing pattern of the streetscape.</p>
<p>2. Consistently occurring positive building façade features within the existing streetscape should be incorporated into the proposed dwelling design such as roof shape, pitch and overhangs; entry porches, verandas, balconies and terraces; materials, finishes, fixtures, patterns, fenestrations, colours and detailing; and the location and proportion of windows and doors. Excessive parapets, irregular- shaped and irregular-spaced windows, excessive glazing to building facades and double-height vertical elements including columns are not permitted.</p> <p>Note: Historically, roofs in Strathfield were nearly always pitched (sloping): either pyramidal, or hipped and gabled. They had roofs of blue-grey/brown slate or Marseilles tile, coloured orange-red.</p> <p>Note: Architectural elements such as bay windows, and gables are important design details and add visual interest, thereby enriching the architectural character of Strathfield.</p>	<p>Complies The design of the proposal is indicative of the most recent dwellings to be constructed within the visual catchment, that being a double storey dwelling with attached garage.</p> <p>The dwelling presents a double storey-built form behind a 1.5m front fence and deep soil landscaping within the front setback.</p> <p>The proposal results in an appropriate scale as guided by the objectives relating to setbacks, existing built forms within the streetscape, height, landscape and floor space.</p> <p>The design ensures that existing street rhythm is maintained by proposing a compatible street setback, and a perceived two storey-built form with high-quality landscaping within the front setback.</p>
<p>3. Streetscape elements that should be taken into account in the design of new and altered residential development include topography; width and location of carriageway; street tree planting and landscaping; allotment size/width; boundary fences; setbacks; building character and scale; bulk; setback and rhythm; and roof forms.</p>	
<p>4. Where security grilles/screens, ventilation louvres and garage doors are proposed, they must be integrated into facade designs. Solid security shutters will not be permitted.</p>	<p>Complies It is our view that the garage doors will be appropriately integrated into the front facade.</p>
<p>2.2.2 Scale, Massing and Rhythm of Street</p>	
<p>1. The overall scale, massing, bulk and layout of the proposed building must complement the existing streetscape. New buildings and alterations and additions should reflect the dominant building rhythm in the street as illustrated in Figure A.4.</p>	<p>Complies The proposed scale and massing of the proposal is indicative of the numerical standards of the SLEP 2012 and SDCP 2005 which ensures that it complements the existing streetscape of the locality.</p>
<p>2. Building height and mass must not result in loss of amenity to adjacent properties, open space or the public domain.</p>	
<p>2.2.3 Building Forms</p>	
<p>1. The building form must be articulated to avoid large expanses of unbroken wall. Articulation can be provided by setbacks, verandahs, awnings, recesses, blade walls or projecting bays.</p>	<p>Complies The dwelling house is proposed to be two storeys in height.</p>

<p>2. Where a dwelling is located on a street corner it shall be designed to address both street frontages as shown in Figures A.5 and A.6. Blank walls shall not be presented to either frontage and walls shall be articulated or staggered so as to avoid appearing unduly bulky or long.</p>	<p>The proposal will present as a two-storey dwelling and will be generally compatible with the adjoining properties and greater streetscape.</p>
<p>3. An attic may be built in the roof space of either a two (2) storey dwelling or a single storey dwelling or garage provided access to the attic is via internal stairs.</p>	<p>The resulting dwelling will appropriately address the streetscape by providing earthy coloured face brick at the ground floor and rendered elements on the first floor that will complement the overall building form and provide visual interest in the proposal.</p>
<p>4. Attics are prohibited in flat roofed developments.</p>	
<p>5. Rooftop terraces are prohibited in dwelling houses, secondary dwellings and ancillary developments.</p>	<p>The proposal utilises a pitched tile roof utilising a similar colour to that presented elsewhere within the streetscape</p> <p>The front setback ensures that the proposal is appropriately aligned with 22 and 20 Cecily Street.</p> <p>The proposal achieves sufficient articulation through the clearly observable variation in colours and materials as well as modulation through the architectural features located within the front façade.</p>
<p>Note: Attics in the roof space may not be appropriate in heritage conservation areas or on heritage items.</p>	<p>N/A The proposal does not seek approval for an attic.</p>

2.2.4 Architectural Detailing, including Roof Forms, Materials and Colours

Roof Forms

- 1. The proposed roof design must be similar in pitch, materials and colour to roofs in the immediate streetscape. Roof forms should complement, but not necessarily replicate the predominant form in the locality.**
- 2. The proposed roof form shall minimise the appearance of bulk and scale of the building and be treated as an important architectural element in the street. First floor additions must complement the architectural style of the ground floor and where possible permit the existing roof form, slope and ridge to be easily discerned.**
- 3. For flat roofed dwellings, the height of the parapet is to be kept to the minimum height required to ensure adequate screening of the proposed flat or low pitch skillion roof.**
- 4. Roof structures must be designed so that roof installations including solar energy panels, telecommunication facilities, hot water tanks or skylights are not visible from the public domain and are integrated into the design of the development.**

Complies

The Proposed Development seeks a pitched tile roof. The proposed roof form is considered to be compatible with roof forms in the streetscape.

The Proposal does not include the provision for highly reflective materials on the walls or roof structures.

The colours and materials are generally earthy in tone and will be suitable for the existing streetscape.

Materials

<p>5. Materials must be compatible with the existing dwelling house (in the case of alterations and additions) and compatible with adjoining dwelling houses and the streetscape in terms of type, form and colour.</p>	<p>Complies The proposal seeks to primarily utilise two distinct tones that being face brick on the ground floor and render on the first floor. Elements of white are also provided to break up the built form.</p>
<p>6. Monotone face brick walls and terracotta tiles for roofs shall be used where they are existing in the immediate streetscape. Alternative materials may be considered as architecturally appropriate to the style of the dwelling and the locality in some circumstances.</p>	<p>The proposal ensures compatibility with the streetscape as the resulting dwelling will present traditional features.</p> <p>The roof will be monotone slate concrete tiles.</p>
<p>7. Highly reflective materials are not acceptable for roof or wall cladding. New buildings and facades must not result in glare that causes discomfort or threaten the safety of pedestrians or motorists. A Reflectivity Report that analyses the effects of potential glare from the proposed new development on pedestrian and motorists may be required by Council.</p>	<p>N/A The proposal does not seek to utilise highly reflective materials.</p>
<p>Colours</p>	
<p>8. New development must incorporate colour schemes that have a hue and tonal relationship with the traditional colours or the predominant colours of the street.</p>	<p>Complies The proposal seeks to utilise earthy tones for both the roof and external walls. The chosen colours are considered to be appropriate in the context of Cecily Street.</p>
<p>9. The colours of garages, window frames, ventilation and downpipes and balustrading on main facades and elevations must be integrated harmoniously with the external design of the building.</p>	
<p>2.2.5 Two (2) Storey Porticoes</p>	
<p>1. Two (2) storey porticoes may be considered only where they are in scale with the proposed dwelling and compatible with the streetscape and any adjoining heritage items.</p>	<p>Complies The proposal seeks two storey portico features within the front setback; however, it has been broken up with the balcony on the first floor adjacent the master bedroom to reduce the perceived height in accordance with Figure A.7.</p>
<p>2. Two (2) storey porticoes are to be vertically articulated or broken to reduce their height as illustrated in Figure A.7.</p>	



Figure A.7 - Vertically articulated two (2) storey portico provides visual prominence whilst minimising the bulk and scale of the dwelling.

3. No porticoes or associated porches shall protrude more than 1m forward of the front building façade.

4. Porticoes are not to extend higher than the understorey of the eaves/guttering.

2.2.6 Dormers

1. Where compatible with the architectural design of a dwelling, dormers (whether gabled, hipped or eye-lid) need to be traditionally proportioned and rectilinear.

2. The form and location of dormer windows to existing buildings should not overwhelm or detract from the integrity of the original building, especially heritage items and dwellings in heritage conservation areas.

N/A

3 HERITAGE

Refer to Part P - Heritage of SCDCP 2005 for objectives and controls in relation to development associated with a heritage item, within a heritage conservation area or within the vicinity of a heritage item under SLEP 2012.

Complies

The Site is not a heritage item nor is it located within proximity to a heritage item or conservation area.

4 BUILDING ENVELOPE

4.2.1 Floor Space Ratio

1. The maximum floor space ratio (FSR) permitted on a site is indicated on the SLEP 2012 Floor Space Ratio Map.

Complies

The proposal ensures compliance with the SLEP 2012 FSR control.

2. Development must be compatible with the lot size. Larger sites should not allow dwellings that are so large and bulky that they would create undesirable environmental impacts. Smaller sites must provide for adequate sized dwellings.

Note: In accordance with SLEP 2012, "Floor space ratio" means the ratio of the gross floor area of all buildings within the site to the site area.

Note: In accordance with SLEP 2012, "Gross floor area" means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:

- (a) Habitable rooms in a basement or an attic,**
- and**

<p>(b) The area of a mezzanine, and</p> <p>(c) Any shop, auditorium, cinema, and the like, in a basement or attic. But excludes:</p> <p>(d) Any area for common vertical circulation, such as lifts and stairs, and</p> <p>(e) Any basement:</p> <p>(i) Storage, and</p> <p>(ii) Vehicular access, loading areas, garbage and services, and</p> <p>(f) Plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and</p> <p>(g) Car parking to meet any requirements of the consent authority (including access to that car parking), and</p> <p>(h) Any space used for the loading or unloading of goods (including access to it), and</p> <p>(i) Terraces and balconies with outer walls less than 1.4 metres high, and</p> <p>(j) Voids above a floor at the level of a storey or storey above.</p> <p>Note: In the case of dwelling houses, floor space ratio calculations should be inclusive of vertical circulation areas (stairs, lifts etc.), voids and outbuildings.</p>	
4.2.2 Building Height	
<p>1. The maximum height of dwelling houses in accordance with the SLEP 2012 Height of Buildings Map is 9.5 metres.</p>	<p>Complies The proposal ensures compliance with the 9.5m height limit prescribed under the SLEP 2012.</p>
<p>2. The maximum height to the top of parapet for flat roofed dwelling houses is to be 7.8 metres.</p>	<p>N/A</p>
<p>3. The maximum height of the parapet wall for flat roofed dwelling houses is to be 0.8 metres above the uppermost ceiling level.</p>	<p>N/A</p>
<p>4. The maximum height of the external wall from the existing ground level to the underside of the uppermost ceiling level is to be 7.2 metres.</p>	<p>Complies The proposal ensures that no part of the external wall height will exceed 7.2m</p>
<p>5. The maximum internal floor to ceiling height is to be 3.0 metres for any residential level.</p>	<p>Complies The ground floor 'floor to ceiling height is approximately 3m and the first floor is 2.7m.</p>
<p>6. The maximum height of outbuildings, detached garages and carports is to be 3.5m to the highest point on the roof above natural ground level</p>	<p>N/A The proposal does not seek approval for a detached garage or car port.</p>
<p>7. Dwelling houses and any ancillary structures are to be no more than two (2) storeys high.</p>	<p>Complies, The proposal is to be two storeys high and present as such.</p>
<p>8. The building height should respond to the gradient of any given site and minimise the need for cut and fill.</p>	<p>Complies The height of the dwelling house will ensure compliance with the referenced numerical standards pertaining to natural ground level.</p>
<p>Note: In accordance with SLEP 2012, "Building height (or height of building)" means:</p>	<p>Note.</p>

<p>a) In relation to the height of a building in metres – the vertical distance from ground level (existing) to the highest point of the building, or</p> <p>b) In relation to the reduced level of a building – the vertical distance from the Australian Height Datum to the highest point of the building,</p> <p>including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like.</p> <p>The height is measured to the existing ground level directly below the point of measurement, so where the existing ground level slopes, so will the height limit plane. The height limit plane is not a horizontal line and will follow the topography of the site. Where there is a significant slope on the site, the building may have to be stepped to stay within the height limits and must not present as three residential levels at any point</p>											
<p>4.2.3 Setbacks</p> <p>Note: In accordance with SLEP 2012, “setback” is the horizontal distance between the property boundary or other stated boundary (measured at 90 degrees from the boundary) and:</p> <p>a) A building wall, or</p> <p>b) The outside face of any balcony, deck or the like, or</p> <p>c) The supporting posts of a carport or verandah roof, whichever distance is the shortest.</p>	<p>Note.</p>										
<p>4.2.3.1 Street Setbacks</p> <p>1. The street setbacks in Table A.1 and illustrated in Figure A.10 apply to new dwellings and extensions (where the building footprint is proposed to be altered) except where exempted below in Subclause 2:</p> <table border="1" data-bbox="204 1395 798 1776"> <thead> <tr> <th></th> <th>Minimum street setback required</th> </tr> </thead> <tbody> <tr> <td>Primary street setback</td> <td>9m</td> </tr> <tr> <td>Primary street frontage for battle-axe lots</td> <td>4.5m</td> </tr> <tr> <td>Secondary street setbacks for dwellings on corner allotments</td> <td></td> </tr> <tr> <td>Where the main entrance to the dwelling is from the secondary frontage</td> <td>3m</td> </tr> </tbody> </table> <p>Table A.1 – Street setbacks</p>		Minimum street setback required	Primary street setback	9m	Primary street frontage for battle-axe lots	4.5m	Secondary street setbacks for dwellings on corner allotments		Where the main entrance to the dwelling is from the secondary frontage	3m	<p>Complies</p> <p>The proposal ensures a minimum 7m setback to the nearest habitable space which is considered to be compatible with 20 and 22 Cecily Street.</p> <p>The angled nature of the dwelling on allotments 20, 22 and 24 Cecily Street, results in those properties not providing a perfect perpendicular setback to their front boundaries. As per the below, the existing setback of those dwellings varies between approximately 6.3m and 11m for each of those properties:</p>
	Minimum street setback required										
Primary street setback	9m										
Primary street frontage for battle-axe lots	4.5m										
Secondary street setbacks for dwellings on corner allotments											
Where the main entrance to the dwelling is from the secondary frontage	3m										

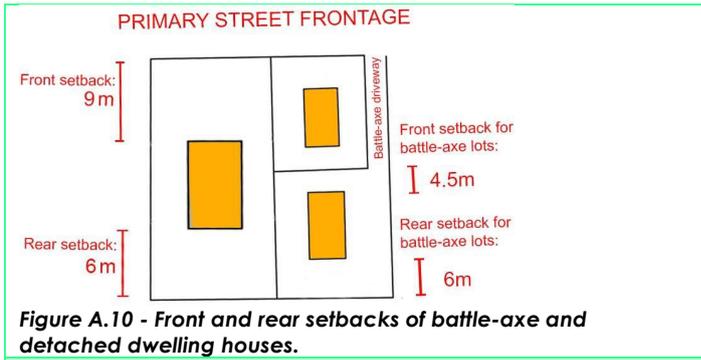


Figure A.10 - Front and rear setbacks of battle-axe and detached dwelling houses.

2. Despite Subclause 1 above, a primary street setback of less than 9m may be considered where:

- a) The predominant front setback in the street is less than 9m;
- b) The proposed setback is not less than the setback of the existing dwelling; or
- c) The proposed setback would not conflict with the character of the existing streetscape.



It is considered that the proposed minimum setback of 7m is appropriate in this circumstance as it provides visual relief consistent with what is currently being provided by the adjoining properties.

4.2.3.2 Side and Rear Setbacks

1. New dwellings and extensions (where the building footprint is proposed to be altered) are to have a combined side setback equivalent to 20% of the width of the block (measured at right angles for splayed frontages). The combined side setback may be unevenly distributed between both sides as long as a minimum side setback of 1.2m is provided on each side.

A variation is sought on merit, please refer to discussion in Proposal section of this report of pages 8-11.

Where an allotment is deemed to be undersized or irregular, a variation to the minimum setback may be considered (e.g. blocks less than 12m wide). Examples of side and rear setbacks are provided in Figure A.11.

Note: For irregular shaped allotments where the frontage is wider or narrower than the rear, the side setback is to be 25% of the width of the block at each point.

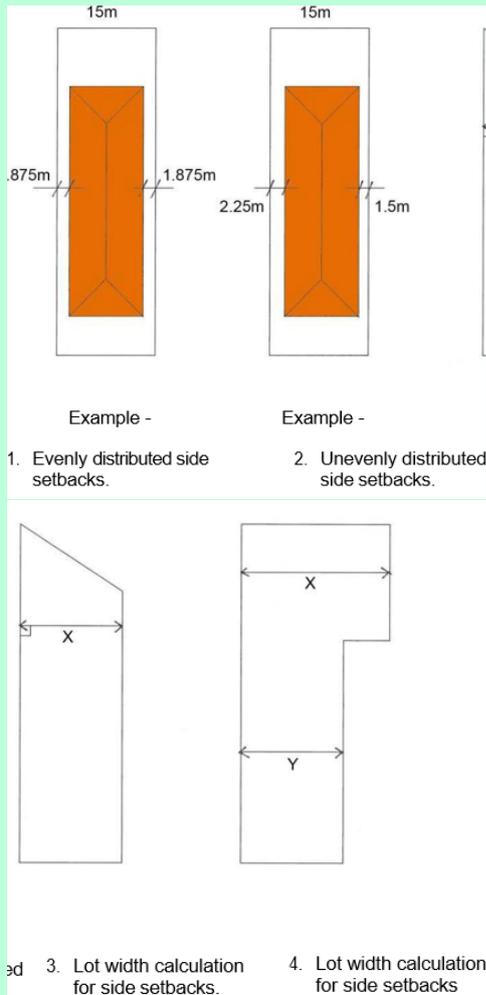


Figure A.11 - Permissible side setback examples and requirements for dwelling houses.

2. Dwellings are to have a minimum rear setback of 6m to provide adequate open space and deep soil areas for shading/screening trees.

Complies
The dwelling house provides a rear setback of approximately 20.990m.

3. Subject to meeting the minimum landscaped area (as per section 5 of this part of the DCP) in the rear of the site, ancillary facilities such as garages/outbuildings may be located within the rear setback area.

Complies
The proposal ensures compliance with the landscape requirements.

4. Garages and carports are to comply with the minimum setbacks in Table A.2.

N/A
The proposal seeks an attached garage.

Detached Garages and Carports	Minimum setback required
Minimum setback from side and rear boundaries for carports (open on three (3) sides)	Nil
Minimum setback from side and rear boundaries	0.5m
Where the side of the dwelling, garage or carport is proposed to face the secondary frontage	1.5m

Table A.2 – Setbacks for garages and carports.

4.2.4 East-West Lots



N/A
The Site is not an East-West lot; however a greater setback is provided along the southern boundary.

1. For east-west oriented lots with the primary street frontage facing east, the minimum side setback should be on the north and the larger side setback should be on the south so that overshadowing is reduced.

2. The southern side setback should be utilised for the driveway/garage entry so that potential overshadowing of adjacent properties is reduced

Complies
The driveway and garage are provided along the southern side of the dwelling.

5 LANDSCAPING

5.2.1 Landscaped Area

1. The minimum landscaped area required on each lot is indicated in Table A.3 below.

Area of site	Minimum Landscape Area
200 - 500m ²	35%
501 - 600m ²	38.5%
601 - 700m ²	41.5%
701 - 799m ²	43%
800 - 1300m ²	45%

Table A.3 – Minimum landscaped area requirements.

Note: In accordance with SLEP 2012, “Landscaped area” means a part of a site used for growing

Complies
The proposal ensures that 45.27% of the Site area (381.42m²) will be landscaped.

<p>plants, grasses and trees, but does not include any building, structure or hard paved area.</p> <p>Building, structure and hard paved areas include dwelling and ancillary structures, vehicular driveways and manoeuvring areas, stairways, side setback areas between the boundary and house (paved or unpaved) that are 1.5 metres or less in width, unenclosed ground level pedestrian terraces or walkways, swimming pools, covered awnings, tennis courts (except natural grass courts), outbuildings, sheds, BBQs, gazebos, rainwater tanks and the like.</p>	
<p>2. At least 50% of the minimum landscaped area should be located behind the building line to the rear boundary.</p>	<p>Complies The proposal ensures that 264.74m² of landscaped area will be located behind the front setback.</p>
<p>3. At least 50% of the front yard should be maintained as deep soil soft landscaping.</p>	<p>Complies The proposal ensures that the front setback will have a landscaped area of 106.5m² which equates to 68% of the front setback.</p>
<p>4. The amount of hard surface area (in the form of concrete/brick/stone paving and bitumen) shall be minimised to reduce run-off and to maintain the prevailing early twentieth century garden character. Run off from hard surfaces is to be directed to permeable surfaces such as garden beds.</p>	<p>Complies The hard-paved areas are limited to the dwelling house and accessways along the side setback and to the dwelling house.</p>
<p>5. Planting areas shall include a mix of low-lying shrubs, medium-high shrubs and canopy trees in locations where they will soften the built form.</p>	<p>Complies Please refer to landscape plan prepared by Conzept Landscape Architects for details relating to the planting arrangement.</p>
<p>6. The design and quality of front gardens must respond to the character of the street and surrounding area and contribute to the garden character of Strathfield.</p>	
<p>7. Where the landscape pattern in the prevailing streetscape and surrounding locality is desirable, this must be retained and reinforced, particularly in relation to heritage items and heritage conservation areas.</p>	
<p>8. In relation to conservation and energy efficiency, plant species must be retained, selected and planted to:</p> <ul style="list-style-type: none"> - shade buildings in summer; - reduce glare from hard surfaces; - permit sunlight access into living rooms in cooler months; - cool air currents channeled into the dwelling in summer; and - act as windbreaks where desirable 	
<p>5.2.2 Tree Protection</p>	

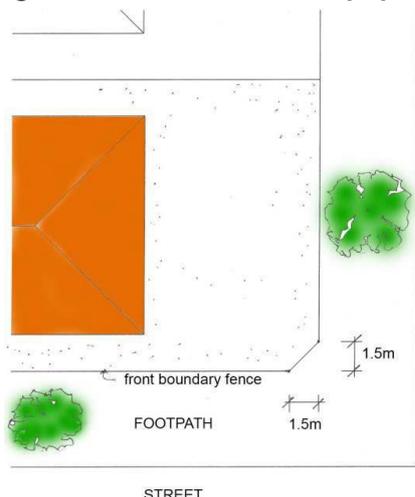
<p>1. Applicants must engage an Australian Qualification Framework (AQF) Level 5 Arborist to prepare an Arboricultural Impact Assessment Report in accordance with Australian Standards 4970: Protection of trees on development sites to determine the feasibility of retaining existing site trees prior to the design of a development.</p>	<p>Complies Please refer to the Arboricultural Impact Assessment Report prepared by Jacksons Nature which provides a tree location and impact plans as well as tree protection details.</p>
<p>2. The Arboricultural Impact Assessment Report must include a site plan and at a minimum indicate the following for trees on the subject site, adjoining sites and nature strip:</p> <ul style="list-style-type: none"> • Number of tree(s); • Location of tree(s); • Species of tree(s); • Whether the tree(s) is proposed to be retained or removed; • Stockpile(s); • Detailed scaffold plans accurately depicting setbacks from buildings and trees; • Detailed and complete map of all underground services; and • Where necessary, recommendations of detailed tree sensitive construction methods. 	
<p>3. Development shall provide for the retention and protection of existing significant trees, especially near property boundaries and within the front setback, and natural features such as rock outcrops. The proposed removal of any significant tree will need to be considered based on the submission of an Arboricultural Impact Assessment Report. The significance of a tree must be checked at the pre-lodgement development application stage.</p>	
<p>4. With the exception of trees that are first approved by Council for removal, new dwellings and alterations and additions to dwellings must be set back an appropriate distance from all trees in accordance with the Arboricultural Impact Assessment Report to ensure that tree branches and roots will not be affected by the works. Building works should be located outside of the canopy spread of existing trees, with suitable setbacks depending upon species and size. Hand excavation is mandatory in the immediate vicinity of trees especially within the dripline.</p>	
<p>5. Where applicable, Council may request the applicant to engage a project Arborist. Council shall not issue an Occupational Certificate until Council is satisfied that relevant “hold points” have been reviewed and endorsed by the project Arborist to ensure tree protection measures have been implemented for trees to be retained onsite.</p>	
<p>6. New developments should provide opportunities for planting new canopy trees within the front setback, except where the existing front setback already contains at least two</p>	<p>Complies The Proposal provides a canopy tree ('blueberry ash') within the front setback which will have a mature height of 10m.</p>

<p>(2) trees. These trees should achieve a minimum mature height of 10m.</p>	
<p>7. At least one (1) canopy tree must be provided in the rear yard if not already provided.</p>	
<p>8. Generally, the trunk of a proposed canopy tree must be planted a minimum of 4m from built structures, or a minimum of 3m from pier beam footings. New trees must have a minimum setback of 3m from all boundaries, unless a species with non-invasive root system is proposed.</p>	<p>Please refer to the landscape plan prepared by Conzept Landscape Architects for details relating to planting arrangement and sourcing.</p>
<p>9. Provided existing trees are not adversely affected, new trees planted on side boundaries adjacent to neighbouring dwellings and structures must have a minimum 0.6m deep root deflection barrier provided for a minimum of 1.5m either side of the tree centre.</p>	
<p>10. The construction of driveways must not result in the removal, lopping or root damage to any street tree.</p>	
<p>11. A minimum of 25% of canopy trees and other vegetation shall be locally sourced indigenous species.</p> <p>Note: A canopy tree is a tree which is expected to have a minimum mature height of 10m planted within a minimum 50 litre container (Refer to Appendix 1 of General Introduction of SCDCP 2005 for weblink to Council's recommended tree list).</p>	
<p>5.2.3 Private Open Space</p>	
<p>Note: In accordance with SLEP 2012, "Private open space" means an area external to a building (including an area of land, terrace, balcony or deck) that is used for private outdoor purposes ancillary to the use of the building. Private open space does not include non-recreational structures such as garages, tool sheds, swimming pools, driveways, car spaces, drying areas and pathways.</p>	<p>Note.</p>
<p>1. Private open space is to be provided in a single parcel rather than a fragmented space and shall be directly accessible from internal living areas of the dwelling.</p>	<p>Complies The private open space area is to be consolidated within the rear setback.</p>
<p>2. The principal private open space area should be generally level and may be in the form of a deck, patio, terrace or paved area. The principal private open space must include a deep soil area compliant with the minimum landscaped area.</p>	<p>Complies The Proposal seek a relatively flat private open space area through minor fill which is to be located in the rear of the property.</p>
<p>3. For terraces and decks to be included in calculations of areas for private open space, they must be of a usable size (at least 10m²) with one length or width being at least 3 metres and be directly accessible from an internal living area of the dwelling. To be included in a calculation of</p>	

<p>private open space, decks cannot be located more than 500mm above natural ground level.</p>	
<p>4. Areas within setbacks are not to be included as private open space unless they have a minimum width of 3m.</p>	
<p>5. The primary private open space is to be located at the rear of the property.</p>	
<p>5.2.4 Fencing</p>	
<p>Note: Historically, fencing and gates were an extension of the architecture of the house.</p>	<p>Note.</p>
<p>1. Front and side fencing including fencing facing the secondary street on a corner site must be designed to be sympathetic to the particular style of the dwelling and be compatible with the style and height of fencing on adjoining properties and the streetscape. A number of different styles of fencing appropriate to particular architectural styles are illustrated in Figure A.12 and Figure A.14 below.</p>  <p>Figure A.12 - Front fence designs should complement the dwelling.</p>	<p>N/A The Site is not a corner allotment.</p>
<p>2. Front fences must not be erected where the streetscape is characterised by an absence of front fences. In these instances, landscaping shall be used to create identifiable street address and privacy.</p>	<p>Complies The vast majority of allotments have front boundary fences.</p>
<p>3. Fencing forward of the building line (including the building line to a secondary street frontage on a corner site) shall not exceed a height of 1.5m. In these cases, a solid fence shall not exceed a height of 0.7m above natural ground level and may be topped by an additional maximum 0.8m high open timber picket, wrought iron, palisade or similar element. Brick piers over 1m in height are permitted to support the</p>	<p>Complies The front fence is proposed to be 1.5m in height with solid masonry elements located at even intervals. Between the solid masonry elements open metal slits are to be provided.</p>

decorative elements, provided they are equally spaced along the street and do not exceed a height of 1.5m. Where the predominant height of fencing in the street is higher, the solid fence component shall not exceed a height of 1m.	
4. Solid fencing up to a maximum 1.8m in height may be permitted along a secondary street frontage, provided it only encloses private open space. The design of any section of solid fencing along a secondary street frontage shall be consistent and compatible with the style of fencing provided along the primary frontage.	N/A
5. Side and rear fences (including any retaining walls) are to be no taller than 1.8m, but may be capped with a maximum 300mm of open weave timber lattice privacy screen where the consent of the neighbouring property owner has agreed.	Complies The side fences are proposed to be 1.8m
6. Side fences forward of the front building line shall be designed to taper down to the height of the front fence.	Complies
7. Front fences should be designed to be visually permeable and where applicable, the main infill panels should have an appropriate width and spacing to provide an open appearance and enable casual surveillance.	Complies
8. Front fences, particularly on busy roads, must be designed to provide adequate acoustic attenuation whilst ensuring an appropriate level of visibility and outlook, casual surveillance, privacy and security.	Complies The proposed front fence ensures casual surveillance to the streetscape.
9. The following materials and finishes are not permitted to be used in any fence forward of the front building line (including the building line to a secondary street frontage on a corner site): <ul style="list-style-type: none"> • unrendered cement block; • galvanised or aluminium sheeting; • fibre-cement board; • brushwood; or • barbed wire. 	Complies
10. Fencing on corner allotments shall incorporate a minimum 1.5m x 1.5m splay adjacent to the road intersection to maintain sight distances for pedestrians and motorists as illustrated in Figure A.13.	N/A

Figure A.13 - Front boundary splay to corner block.



11. Solid fences adjoining vehicular access driveways (including driveways on adjoining properties) are to be provided with a minimum 1m x 1m splay to maintain sight distances for pedestrians and motorists.

Complies

12. The remaining areas created by providing a splay adjacent to a road intersection or driveway entrance must be landscaped with low-growing vegetation or suitable paving.

Complies

13. Council will not allow significant trees to be removed to facilitate a fence design.

N/A
The fence design does not require the removal of a significant tree.

14. Side and rear fences on a slope must be designed to allow stormwater to flow through or under the fence without the flow becoming unduly concentrated.

Complies

15. Dividing fences between private property and Council parks, reserves, open space, etc. must be constructed only of timber palings (lapped and capped) with a maximum height of 1.8m.

N/A

16. Gates or entries from private property onto Council parks, reserves, open space, etc. are permitted, subject to them being kept locked when not in use.

N/A

17. Gatehouses are not permitted unless they are compatible with the surrounding streetscape.

N/A

6 Solar Access

6.2.1 Sunlight Access

1. In new dwellings, solar access to the windows of habitable rooms and to at least 50% of private open space must be provided or achieved for a minimum period of 3 hours between 9.00am and 3.00pm at the winter solstice (June 21).

Complies
The rear private open space benefits from a direct northern orientation and as such receives in excess of 50% direct solar access at the winter solstice.

2. In the case of alterations or additions to existing dwellings, solar access to the windows of habitable rooms and to the majority of private open space must be substantially maintained or

Complies
The proposal does not cause any unreasonable shadow impacts on the neighbouring properties. Given the size

<p>achieved for a minimum period of 3 hours between 9.00am and 3.00pm at the winter solstice (June 21).</p> <p>Note: In accordance with the Building Code of Australia, a “habitable room” is: “a room used for normal domestic activities and</p> <ul style="list-style-type: none"> • includes a bedroom, living room, lounge room, music room, television room, kitchen, dining room, sewing room, study, playroom, family room, home theatre and sunroom; but, • excludes a bathroom, laundry, water closet, pantry, walk-in wardrobe, corridor, hallway, lobby, photographic darkroom, clothes drying room, and other spaces of a specialised nature occupied neither frequently nor for extended periods.” 	<p>of the rear private open space areas of the dwellings at Punchbowl Road it is considered those properties will continue to achieve at least 50% solar access to their private open space areas during the winter solstice.</p>
<p>3. 50% of the principal private open space of any adjoining premises should receive solar access for a minimum period of 3 hours between 9.00am and 3.00pm at the winter solstice (June 21).</p>	
<p>4. Where the principal private open space of an adjoining development currently receives less than the required amount of solar access (on 21 June), the proposed development must not further reduce the amount of solar access.</p>	
<p>7 Privacy</p>	
<p>7.2.1 Building Envelope and Dwelling Layout</p>	
<p>1. Private open space, bedrooms, balconies and living rooms of proposed and any existing adjoining dwellings are to be protected from direct overlooking by locating living areas on the ground floor and orientating them towards the rear and front setback.</p>	<p>Complies The rear private open space area of the proposal has been appropriately designed so as to ensure adequate separation between buildings and avoid undue overlooking from adjoining sites.</p>
<p>2. Provide adequate separation of buildings.</p>	
<p>3. Ensure finished floor levels are not excessively elevated above natural ground level.</p>	<p>Complies The proposal seeks fill in the rear of the site, however the dwelling is not considered to be excessively raised and will not result in undue privacy impacts given the location of the boundary fencing.</p>
<p>4. Appropriate evergreen screen plants and trees may assist in providing improved privacy to adjacent properties.</p>	<p>Complies The side and rear boundary setbacks include screen planting to avoid impacts on the adjoining properties.</p>
<p>7.2.2 Windows</p>	
<p>1. Windows should not directly face the windows, balconies and courtyards of adjoining dwellings.</p>	<p>Complies The proposal does not seek to provide balconies or windows that are directly oriented toward windows, balconies or courtyards on adjoining sites.</p>

<p>2. Where a transparent window is to be located within 9m of any window of a habitable room of an adjoining dwelling, the window must:</p> <p>a) be offset from the edge of any windows in an adjoining dwelling by a distance of at least 0.5m; or</p> <p>b) have a sill height of at least 1.7m above the finished floor level or have fixed, obscure glazing in any part of the window less than 1.7m above the floor level.</p>	<p>Complies</p> <p>The northern and southern side boundary windows within a habitable room on the first floor which do not provide a sill height are to be obscure and are to be offset from the neighbouring properties windows.</p>
<p>3. Where windows directly face a balcony or courtyard of an adjoining dwelling, the windows should:</p> <p>a) be narrow; and/or</p> <p>b) incorporate obscure glazing; and/or</p> <p>c) have a sill height of at least 1.7m above the finished floor level.</p>	
<p>4. Development applications for dwellings affected by high levels of external noise must be accompanied by an acoustic report demonstrating that habitable rooms of dwellings may achieve internal noise levels of no greater than 35 dBA</p>	<p>N/A</p>
<p>8 Vehicle Access and Parking</p>	
<p>Refer to Part I (Provision of Off-Street Parking Facilities) of SCDCP 2005 for additional requirements.</p>	<p>Note.</p>
<p>8.2.1 Driveway and Grades</p>	
<p>1. Existing driveways must be used unless the applicant can demonstrate that:</p> <p>(a) relocation would improve solar access to the property and/or adjoining properties;</p> <p>(b) the amenity of any adjoining residences would not be unduly affected (with regard to sleeping areas);</p> <p>(c) relocation would not impact on street trees, bus stops, bus zones, powerlines and other services, on street parking, heritage values or the streetscape; and</p> <p>(d) relocation would not adversely impact the safety of motorists or pedestrians.</p>	<p>Complies</p> <p>The proposal seeks to utilise the existing driveway location which permits the retention of the tree on the footpath.</p>
<p>2. The width of driveways at the property boundary is to be 3m.</p>	<p>Complies</p>
<p>3. The edge of driveway crossings, including apron and layback shall be located a minimum of 1m clear of any existing stormwater pits or poles and 2m clear of the trunk of any trees within the road reserve.</p>	<p>Complies</p>
<p>4. Vehicle access points and parking areas must:</p> <ul style="list-style-type: none"> - be easily accessible and recognisable to motorists; - not disrupt pedestrian flow and safety; and - be located to minimise traffic hazards and the potential for vehicles to queue on public roads. 	<p>Complies</p>

5. A maximum of one (1) vehicular crossing to any public road will be permitted per property except for corner allotments where Council may consider one on each frontage in appropriate circumstances.	Complies
6. Vehicles accessing sites which front main roads shall be capable of entering and exiting in a forward direction (i.e. vehicle manoeuvring shall be fully maintained within the site).	Complies
7. Vehicular turning areas for garages shall comply with the relevant Australian Standard.	Complies
8. Where properties have access to a rear lane or secondary street frontage, parking and access shall be provided from the secondary street/lane.	N/A
9. Driveways must be designed to avoid a long and straight appearance by using landscaping and variations in alignment.	Complies
10. A driveway should be set back a minimum of 0.5 metres from side boundaries to provide for landscaping between the driveway and side boundary.	Complies
11. Driveways within the property boundary should incorporate unit paving into the design.	Complies
12. Areas of concrete visible from a public road (including driveways and pedestrian ways) are to be kept to a minimum and coloured charcoal, grey or brown.	Complies
13. Kerb and footpath crossings as part of the public domain must only be finished in natural finished concrete and not customised finishes that match the property driveway. Coloured concrete is not permitted in the driveway crossing outside the property boundary.	Complies
8.2.2 Garages, Carports and Car Spaces	
1. Two (2) car parking spaces are to be provided and maintained behind the front building line of all new dwellings (i.e. garage, carport or car space). For lots less than 15m wide consideration may be given to one (1) car space. Where alterations and additions to existing dwellings are proposed and two (2) spaces are available, these spaces must be maintained.	<p>Complies</p> <p>The proposal provides two car spaces behind the front building line within the garage.</p>
2. Garages are to be recessed behind the main front facade of the dwelling and/or designed so as not to dominate the appearance of the building or streetscape.	<p>Complies</p> <p>The proposal is considered to appropriate integrate the garage into the design of the dwelling house as it abuts the porticoes and provides the landing for the balcony.</p> <p>The garage provides a setback from the street which ranges between 7-9m. The 7m setback being consistent with that of the guest bedroom on ground floor and</p>

	the planter associated with Bedroom 2 on the first floor.
3. Garages should be no more than 150mm above natural ground level at their entry unless the slope of the site exceeds 1:8 (12.5%) in which case a suspended garage may be acceptable.	Complies The garage entry is within 150mm of existing ground level.
4. The minimum dimensions of parking spaces and garages shall comply with the relevant Australian Standards.	Complies
5. Garages are not to be converted or used for any purpose other than that for which they are approved, that is, garages must not be converted into rumpus rooms, living areas, bedrooms, offices, etc.	Note.
8.2.3 Basements	
1. The maximum area of a basement shall be limited to and contained within the footprint of the dwelling at ground level.	N/A
2. No excavation is permitted within the required minimum side setbacks. Furthermore, the location of basement walls may warrant increased setbacks to provide sufficient area for water proofing, drainage etc.	
3. Where a basement is proposed, the maximum height of the basement above natural ground level measured to the floor level of the storey immediately above is to be less than 1 metre. Where the basement protrudes above ground level by more than 1 metre, it does not comply with the SLEP 2012 definition of a basement, it will be considered as a storey and the gross floor areas excluded within a basement under SLEP 2012 do not apply and will be included in the floor space ratio. Basement protrusion of more than 1 metre will generally not be accepted especially if it is considered to adversely impact the bulk and scale of the dwelling and may require the setback of the upper level.	
4. Minimum internal clearance of 2.2m in accordance with the Building Code of Australia requirements.	
5. Driveways shall comply with the relevant Australian Standards (AS2890.1: Parking Facilities, AS1248.1: Design for access and mobility) and a maximum 1:4 gradient.	
6. Basement entries and ramps/driveways within the property are to be no more than 3.5m wide.	
7. Driveway ramps are to be perpendicular to the property boundary at the street frontage.	

8. Where site and building dimensions allow it, basements shall be designed to permit vehicles to enter and exit the basement in a forward direction.	
9. Basements may not be permissible on flood affected sites. Applicants should check with Council and consider submitting a pre-lodgement application.	
10. Provision of pump-out systems and stormwater prevention should be in accordance with Council's Stormwater Management Code.	
11. Basements are not to be used for habitable purposes	
9 ALTERING NATURAL GROUND LEVEL (CUT & FILL)	
The Strathfield LGA has a relatively flat topography so the need for cut and fill should be minimal. Refer to Clause 6.2 (Earthworks) of the SLEP 2012 for additional requirements.	Clause 6.2 has been addressed in the SLEP 2012 compliance table.
1. Fill is limited to a maximum of 1m above natural ground level.	Complies The proposal does not seek approval for fill more than 1m above existing ground level.
2. For all excavation works that require the use of fill, only clean fill is to be used.	Complies A condition of consent may be imposed for these standards.
3. Cut and fill batters must be stabilised consistent with the soil properties.	
4. Vegetation or structural measures are to be implemented as soon as the site is disturbed.	
5. All areas of excavation shall be setback from property boundaries in accordance with the building setback controls. No excavation is permitted within the minimum required setbacks.	Complies
6. Where excavation work is proposed, the work must not affect or undermine the soil stability or structural stability of any buildings and Council assets on adjoining properties.	Complies A condition of consent may be imposed for this standard.
7. Applicants may be required to produce a dilapidation report for all buildings which adjoin proposed excavation areas, a copy of which will be made available to the relevant neighbour.	Complies A condition of consent may be imposed for this standard.
8. Avoid excessive fill that may create the potential for overlooking of adjoining properties	Complies It is not considered that the fill proposed as part of this application will result in undue overlooking.
10 WATER AND SOIL MANAGEMENT	
10.2.1 Stormwater Management and Flood Prone Areas	
1. Applicants seeking to develop on lands identified as flood prone are advised to contact Council before designing their proposal.	The Site is not identified as being flood prone.

<p>2. Developments shall comply with Council's Stormwater Management Code. On site detention devices may be required to assist in the management of stormwater on site.</p>	<p>Please refer to drainage plans accompanying this submission.</p>
<p>3. Flood affected properties must comply with Council's Interim Flood Prone Lands Policy (Flood Prone Areas and Through Site Drainage).</p>	<p>The Site is not identified as being flood prone.</p>
<p>4. Where a site is subject to flooding applicants should seek written advice from Council's Planning & Environment section in relation to minimum habitable floor height for the site.</p>	
<p>5. In areas subject to major overland flow from adjoining properties, applicants are required to engage a suitably qualified hydraulics engineer and lodge a drainage/flood report prepared by a hydraulics engineer.</p>	
<p>6. Applicants must comply with Council's Stormwater Management Code with regard to drainage and stormwater detention matters. Full details and plans of the stormwater system are to be submitted for approval as part of the development application</p>	<p>Please refer to drainage plans accompanying this submission.</p>
<p>10.2.2 Acid Sulfate Soils</p>	
<p>1. Development is to ensure that sites with the potential to contain acid sulfate soils are managed in a manner consistent with the provisions contained in Clause 6.1 (Acid Sulfate Soils) of SLEP 2012 and the relevant standards and guidelines.</p>	<p>Complies The Site is located on Class 5 land and is not within close proximity to Class 1, 2, 3 or 4 land.</p>
<p>2. Applicants seeking to develop on lands subject to acid sulfate soils are advised to contact Council before designing their proposal.</p>	
<p>10.2.3 Soil Erosion and Sediment Control</p>	
<p>1. Appropriate soil erosion and sediment control measures during construction must be detailed in the development application and implemented prior to the commencement of work.</p>	<p>Please refer to drainage plans accompanying this submission.</p>
<p>2. The following sediment control measures are recommended:</p> <ul style="list-style-type: none"> (a) Perimeter bank and channels; (b) Turf filter strips; (c) Sediment fences; (d) Sediment traps; and (e) Roof guttering. 	
<p>3. Applicants may be required to provide plans showing stormwater quality treatment techniques to prevent sediments and polluted waters from discharging from the site during the construction phase. Such plans will show temporary measures designed in accordance with the Managing Urban Stormwater (MUS): soils and construction vol.1 (commonly referred to as the Blue Book), published by Landcom http://www.environment.nsw.gov.au/resources/water/BlueBookVol1.pdf</p>	
<p>11 ACCESS, SAFETY AND SECURITY</p>	

11.2.1 Address and Entry Sightlines	
1. Buildings are to be designed to allow occupants to overlook public places in order to maximise passive surveillance.	Complies
2. Design landscaping around dwellings and ancillary structures so that when plants are mature they do not unreasonably restrict views of pathways, parking and open space areas.	Complies
3. External lighting should enhance safe access and security around the dwelling and light spill must not adversely impact on adjoining properties. Lighting must be designed and located so that it minimises the opportunity for vandalism or damage, is appropriate for the street and minimises glare.	Complies
4. The incorporation of Crime Prevention through Environmental Design (CPTED) principles in the design of developments should not detract from the amenity of the streetscape.	Complies
11.2.2 Pedestrian Entries	
1. Pedestrian entries and vehicular entries should be suitably separated to ensure the safety of pedestrians and residents.	Complies
2. Dwelling entrances should be easily identifiable with walkways and landscaping used to direct visitors to the main dwelling entrance.	Complies
3. House numbers are to be clearly visible from the street. As a minimum, one set of house numbers will be displayed on the front fence. House numbers should generally be no less than 100mm high.	Complies
12 ANCILLARY DEVELOPMENT	
12.2.1 Secondary Dwellings	
1. The total floor area of a secondary dwelling must not exceed whichever of the following is the greater: (a) 60m ² ; or (b) 20% of the total floor area of the dwelling.	N/A
2. Secondary dwellings should have a minimum setback to a secondary frontage (where applicable) of 3m, side setback of 1.5m, a rear setback of 3m and a minimum street setback in accordance with Section 4 (Building Envelope) of this Part.	
3. Secondary dwellings should be located at the rear of the primary dwelling.	
4. Secondary dwellings must provide deep soil planting within the rear setback.	
5. The design, materials, colours, bulk and scale, and location of a secondary dwelling must be compatible with the existing dwelling and established surrounding residential character.	

<p>6. Secondary dwellings are to comply with solar access, visual and acoustic privacy controls set out in this Part of the DCP.</p>	
<p>7. A secondary dwelling must be accessed via the same street as the principal dwelling.</p>	
<p>8. Blank walls facing the street will not be accepted.</p>	
<p>9. The roof design must be compatible with the predominant roof forms prevalent in the surrounding residential neighbourhood.</p>	
<p>10. A primary private open space is to be provided for the secondary dwelling and must be directly accessible to the internal living areas of the dwelling. It can be in the form of a balcony or at ground level and should be a minimum area of 12m² with a minimum dimension of 3m.</p> <p>Note: Private open space does not include: non-recreational structures such as garages, tool sheds and similar structures; swimming pools; driveways, turning areas, car parking spaces; clothes drying areas; and pathways.</p>	
<p>11. The primary private open space must be located to maximise solar access.</p>	
<p>12. The private open space area must be appropriately landscaped and screened to ensure adequate privacy.</p>	
<p>13. Secondary dwellings do not require additional parking or driveway access.</p>	
<p>14. No garages or carports are to be attached to secondary dwellings.</p>	
<p>12.2.2 Outbuildings</p>	<p>N/A</p>
<p>1. No outbuilding shall be constructed forward of the front building line of the dwelling.</p>	
<p>2. The minimum side and rear setback for an outbuilding is 0.5m.</p>	
<p>3. New garden sheds, studios, cabanas and the like are limited to a maximum gross floor area of 40m².</p>	
<p>4. Windows will not be permitted to face an adjoining property, unless the windows in the proposed outbuilding are:</p> <p>(a) screened by boundary fencing; or (b) have a sill height of at least 1.7m above the floor; or (c) have fixed translucent (or otherwise treated) glazing in any part of the window less than 1.7m above the floor.</p>	
<p>5. Under no circumstances is the roof area of an outbuilding to be accessible for any purpose or used as an entertaining or viewing area.</p>	
<p>6. Outbuildings are not to be used for habitable purposes.</p>	

7. No kitchen facilities will be permitted in an outbuilding. A small fridge and a sink alone are not considered to constitute a kitchen.	
8. Any external lighting of an outbuilding is to be positioned or shielded to prevent glare to adjoining premises.	
12.2.3 Retaining Walls	
1. Retaining walls are to be a maximum of 1.2m in height.	Complies
2. Council requires retaining walls in excess of 0.6m to be fully designed and documented by a qualified practising engineer.	Complies
12.2.4 Air-conditioning	
1. Air-conditioning units should be located away from the habitable rooms of adjoining properties and/or screened by acoustic treatments.	Complies
2. Any building work associated with the installation of an air-conditioning unit must not reduce the structural integrity of any existing buildings.	Standard may require a condition of consent.
3. Only residential grade air conditioners are to be installed and not commercial grade air conditioners.	Complies
4. Air-conditioning units must be installed to comply with the Protection of the Environment Operations Act 1997 and Protection of the Environment Operations (Noise Control) Regulation 2008.	Standard may require a condition of consent.
12.2.5 Satellite Dishes	
1. A maximum of one (1) satellite dish per property will be permitted.	N/A
2. Satellite dishes must be located behind the front building line of the dwelling; preferably ground mounted unless justified to be roof mounted by an appropriately qualified consultant in order to receive a signal and where it will not be visible from any street frontage.	
3. Satellite dishes must be located below the fence-line on corner allotments.	
4. A maximum height of 2.4m is permitted from natural ground level to the top of the satellite dish.	
5. Satellite dishes must be set back at least 3m from the side or rear boundary.	
6. Satellite dishes must be constructed of pre-finished steel in recessive colours which blend with the existing building and surroundings.	
12.2.6 Swimming Pools	
1. The minimum side and rear setback of a swimming pool from the outside edge of the pool concourse (and any paved/concreted area adjacent to the concourse) must be at least 1m wide and consist of a deep soil soft landscape area	N/A

<p>containing a continuous planting of screening shrubs.</p>	
<p>2. Where a pool is more than 1m above ground, the space between the bond beam/concourse and the ground is to be suitably finished with decorative blocks or other approved material and landscaped to Council's satisfaction.</p>	
<p>3. The pool filter and pump equipment is to be designed and located so as not to emit a noise level that exceeds 5dBA above the ambient background noise level measured at any property boundary. The pool equipment shall be located within an enclosed structure so as to not be readily visible.</p>	
<p>4. Any lighting associated with a swimming pool should be positioned to prevent light spillage and minimise any nuisance to adjoining premises.</p>	
<p>5. Swimming pool enclosures shall comply with the Swimming Pools Act and relevant Australian Standards as amended.</p>	
<p>12.2.7 Tennis Courts</p>	
<p>1. Tennis courts may only be used for residential uses associated with the dwelling.</p>	N/A
<p>2. The minimum setback from any boundary is 1m. However, where the tennis court adjoins a neighbouring habitable building, the required minimum setback is 3m.</p>	
<p>3. Side boundaries shall be landscaped appropriately to ensure privacy to adjoining properties and prevent light spill and unnecessary glare. The outside edge of a tennis court must be separated from a property boundary by an area of land at least 1m wide of soft landscaping containing a continuous planting of screening shrubs.</p>	
<p>4. No portion of the finished surface level of a tennis court shall be more than 0.75m above natural ground level adjacent to the court.</p>	
<p>5. A tennis court is permitted to be enclosed to a maximum height of 3.6m with plastic-coated chain wire on a suitable galvanised iron pipe frame. The plastic coating must be black or dark green in colour.</p>	
<p>6. Any lighting provided on a tennis court shall have a maximum intensity of 450 lux on the court surface with a spill of zero lux at horizontal distance of 2m from the court surface.</p>	
<p>7. Tennis courts must comply with Council's Stormwater Management Code</p>	
<p>12.2.8 Waste Bin Storage and Management</p>	
<p>Refer to Part H - Waste Minimisation and Management of SCDCP 2005.</p>	
<p>13 ECOLOGICALLY SUSTAINABLE DEVELOPMENT</p>	

<p>Australia's National Strategy for Ecologically Sustainable Development (1992) defines ecologically sustainable development (ESD) as:</p> <p>“Using, conserving and enhancing the community's resources so that ecological processes, on which life depends, are maintained, and the total quality of life, now and in the future, can be increased”.</p> <p>In addition to the requirements under State Environmental Planning Policy Building Sustainability Index (BASIX) 2004 (refer to Section 1.10 of the General Introduction to the SCDCP 2005) Council also has a number of objectives and controls that aim to encourage ecologically sustainable development.</p>	<p>Please refer to Waste Management Plan accompanying this submission.</p>
<p>13.2.1 Natural Lighting and Heating</p>	
<p>1. Where possible, new dwellings should have living areas face north, sleeping areas face to the east or south, and utility areas to the west or south to maximise winter solar access.</p>	<p>Complies The proposed living areas will benefit from a northern orientation.</p>
<p>2. Where it is proposed to plant trees to the north of the dwelling they must be deciduous to allow solar access during the winter.</p>	<p>Complies The northern boundary (behind the front building line) will have low lying vegetation so as to permit solar access during the winter.</p>
<p>3. Use materials that have a high thermal mass e.g. bricks to retain heat made available during the day.</p>	<p>Complies</p>
<p>13.2.2 Natural Cooling and Ventilation</p>	
<p>1. Windows and walls on northern facades should be shaded by shading devices, eaves, louvres and trees as illustrated in Figures A.17-A.19. Shading devices should be sympathetic to dwelling design and not detract from the appearance of the dwelling.</p>	<p>Complies</p>
<p>2. Windows should be positioned to capture breezes and allow for cross-ventilation.</p>	<p>Complies</p>
<p>13.2.3 Water Tanks</p>	
<p>Where a water tank is not exempt development under SEPP (Exempt & Complying Development Codes) 2008, the following controls shall apply:</p>	<p>Note</p>
<p>1. Above ground water tanks shall be located behind the dwelling. Where it is not possible to locate a water tank wholly behind the dwelling, it should be located behind the front building line and screened from view from the public domain with appropriate landscaping.</p>	<p>Complies</p>
<p>2. Where water tanks are visible, the tanks and any associated support structure and plumbing must be a colour that complements the dwelling.</p>	<p>Complies</p>
<p>3. Above ground water tanks must be located at least 450mm from any property boundary.</p>	<p>Complies</p>

4. Above ground water tanks must not exceed 3m in height above natural ground level including any stand for the tank.	Complies
5. Overflow from the water tank is to be piped directly to the approved stormwater drainage system except in cases where stormwater is required to be directed to on-site stormwater detention (OSD) storage (as per Council's Stormwater Management Code).	Complies
6. No part of the water tank or support stand may rest on a wall footing.	Complies
7. The installation of the tank must not involve the filling of more than 1m above the existing ground level they are screened from public view.	Complies
8. The tank must not be located over or adjacent to a water main or sewer main or installed over any associated structure or fittings unless it is installed in accordance with any requirements of the public authority that has responsibility for the main.	Complies
9. The design of any water tank support structure is to be in accordance with the requirements of a qualified practicing structural engineer or to the maker's specifications.	Complies
13.2.4 Hot Water Heater Units	
1. Hot water units shall be located behind the dwelling. Where it is not possible to locate the unit either internally or wholly behind the dwelling, it must be located behind the front building line and screened from view from the public domain with appropriate landscaping.	Complies
2. Hot water units including instantaneous gas systems are not to be located on balconies unless	
3. Hot water units are to be placed within a short distance of the most frequent point of use	

Section 4.15 Evaluation – Matters for Consideration

Context and Setting

The subject site is located in the suburb of Belfield at 24 Cecily Street. The locality is characterised by residential uses. The Proposed Development is consistent with the existing and intended streetscape of the locality. It will also be sympathetic to the surrounding properties and amenity of the area as it presents a two-storey dwelling in a context where the existing streetscape includes analogous built form. The proposal seeks to improve the landscaped amenity and built form on the Site and will represent design excellence in the streetscape.

Heritage Impacts

The proposal will have no adverse impact on any individual heritage items or greater heritage conservation area. The works are entirely consistent with the streetscape presentation of the area and will retain and protect the integrity of the area.

Social, Environmental and Economic Impacts

As demonstrated in this statement, the proposal will result in positive social, economic and environmental outcomes. The construction of the dwelling will improve the social and physical environment by improving the amenity of the streetscape through appropriate of solar impacts, improving the landscaped amenity and enhancing the aesthetics of the Site and greater locality. The proposal is expected to result in positive economic outcomes.

The Suitability of the Site for the Development

The Proposed Development is a permissible development under the relevant zoning and the proposal complies with the fundamental planning controls for the Site as detailed in this statement. As such it is considered that the proposal is suitable for the site.

Any submissions made in accordance with the Act

It is anticipated Strathfield Council will consider any submissions in its assessment of the proposal.

The Public Interest

As demonstrated throughout this the Proposed Development is consistent with the objectives of the public interest as it provides social, environmental and economic benefits.

Conclusion and Recommendation

Following a review of the relevant planning controls, it is concluded that the Proposed Development is consistent with the objectives, planning strategies, public interest and detailed controls of the relevant environmental planning instruments.

The Proposal is indicative of a shovel ready development in that it is consistent with the overarching planning standards/objectives and it is emphasised that construction may be facilitated immediately after the issue of a development consent, as such this application is submitted to Strathfield Council for its assessment and subsequent approval.