

STRATHFIELD COUNCIL
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STATEMENT OF ENVIRONMENTAL EFFECTS

17 FIRTH AVENUE, STRATHFIELD

DEMOLITION OF EXISTING STRUCTURES

CONSTRUCTION OF TWO STOREY DWELLING HOUSE OVER
BASEMENT

Prepared by: Mark Boutros

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Introduction

This report has been prepared in support of a Development Application for 17 Firth Avenue, Strathfield. The Development Application proposes the demolition of existing structures and the subsequent construction of a two-storey dwelling house over basement with a swimming pool and cabana located in the rear.

The Site is located within an established low-density residential area. The Site is zoned R2 Low Density Residential under the provisions of the Strathfield Local Environmental Plan 2012. The Site is not located within a heritage conservation or adjacent a local heritage item. Figures 1, 2, 3, 4 and 5 demonstrate the site zoning and context of the site.



Figure 1. Zoning Map Extract –R2 Low Density Residential - Strathfield Local Environmental Plan 2012 (LZN_005)

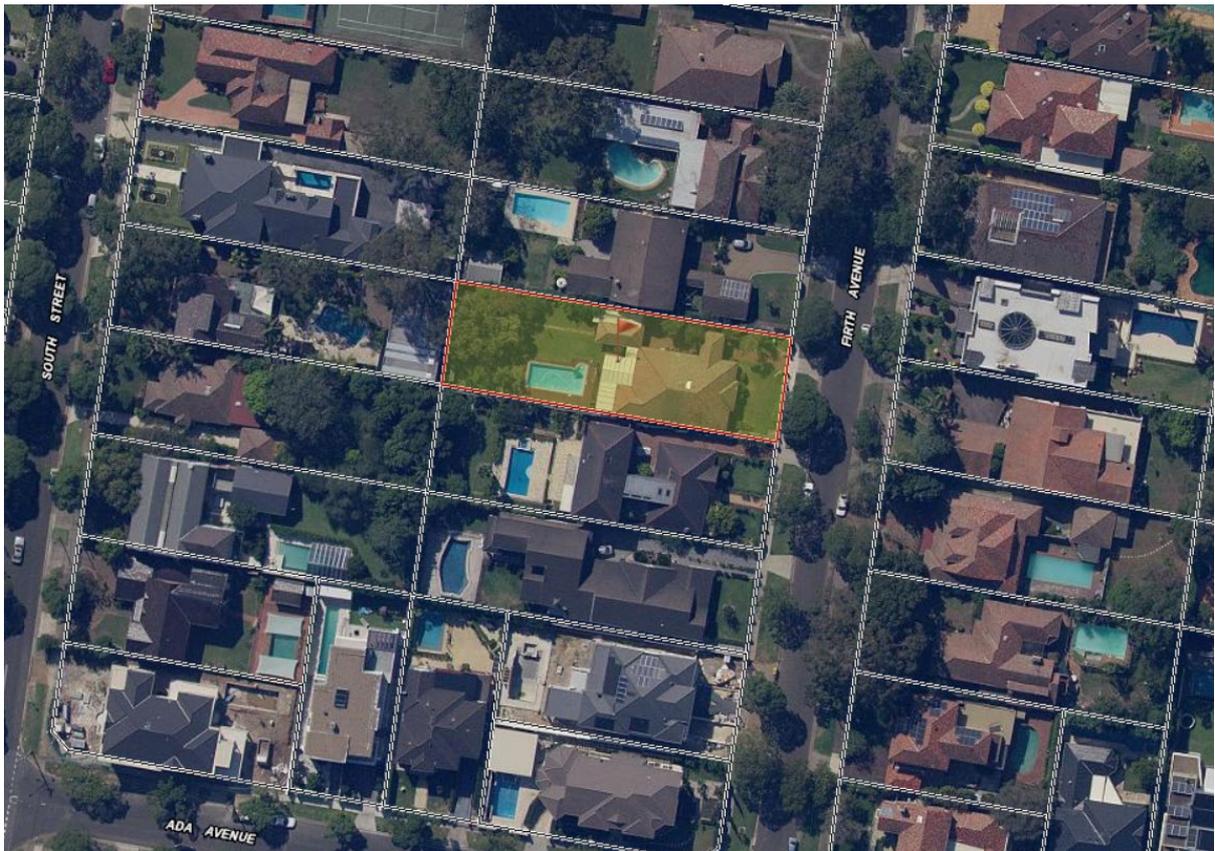


Figure 2. Ariel Map of Site (Six Maps)



Figure 3. Road Map of Site (Six Maps)



Figure 4. 17 Firth Avenue - View of Site [Viewing West]



Figure 5. 17 Firth Avenue - View of 15, 17 and 19 Firth Avenue [Viewing North-West]

Site Context

The subject site is known as 17 Firth Avenue, Strathfield having the legal description of Lot 96 in DP 8778 ('the Site'). The land is a regular shaped lot which fronts Firth Avenue with a frontage of 20.112m and an area of 1284m². The Site falls gently to the west from RL 41.18 along the eastern boundary down to RL39.88 to the western boundary.

A single storey dwelling currently resides on the Site which benefits from a porte cochere style car port. The also has a detached garage which is located in the rear setback.

The Site adjoins 15 Firth Avenue to the north, a double storey dwelling which has a gable roof. The property has no front fence, relying on hedging to establish the front boundary and has a detached garage which utilises similar materials as visible in Figure 6.



Figure 6. 15 Firth Avenue [Viewing West]

The Site adjoins 19 Firth Avenue to the south, a double storey dwelling which has a pitched roof and low-lying front fence. The front façade presents as a single storey dwelling with double storey elements being located behind the ridge line of the front portion of the dwelling as visible in Figure 7.



Figure 7. 15 Firth Avenue [Viewing West]

The greater streetscape includes double storey dwellings with pitched tile roof over basement car parking which is exemplified by 23 Firth Avenue in Figure 8.



Figure 8. 4 Firth Avenue [Viewing East]

The greater locality is characterised by residential dwellings, generally two-storey of varying age and form. The site is zoned R2 Low Density under the Strathfield Local Environmental Plan 2012.

Proposal

The Development Application proposes the demolition of existing structures in order to erect a two-storey dwelling house comprising 6 ('six') bedrooms over basement car parking. The design of the dwelling house incorporates contemporary architectural aesthetics that complement character of the locality while enhancing the landscaped amenity.

The Proposed Development is to consist of:

Proposal	
Basement	Wine Cellar
	Pool equipment storage
	Storage room
	Lift access
	Stairway
	2 x Car spaces
Ground Floor	Formal Living Area
	Guest bedroom with ensuite and walk in robe
	Lift Access
	Library / Study
	Stairway
	Living and Dining Area
	Laundry
	Kitchen and butlers pantry
	Ground Dwelling House Gross Floor Area – 329m ²
	Private Open Space – 570m ²
	Swimming Pool – 33m ²
	Cabana – GFA – 21m ²
Landscaped Area – 587m ² or 45.71%	
First Floor	Lift
	Stairway
	Rumpus Room
	Bedroom 1 with Ensuite and Walk in Robe
	Bedroom 2 with Ensuite and Walk in Robe
	Bedroom 3
	Bedroom 4
	Master Bedroom with Ensuite and Walk in Robe
	First Floor Gross Floor Area – 292m ²

The below listed documents have been prepared by suitably qualified consultants:

- Architectural Plans prepared by Urban Link Architecture.
- Landscape Plan prepared by A Total Concept Landscape Architect
- Stormwater and Drainage Plans Prepared by United Consulting Engineers
- Survey Plan prepared by C&A Surveyors NSW Pty Ltd

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

The application has been assessed under the Building Sustainability Index and is accompanied by a BASIX Certificate. See accompanying BASIX Certificate for detail.

State Environmental Planning Policy No 55—Remediation of Land

Given the historical use of the site for residential which appears to be on going since 1943 as per Figure 9, land contamination is not considered likely. If any contaminated material or suspected contaminated material is unearthed during the construction process, then actions consistent with the legislative requirements and guideline documents will be undertaken.



Figure 9. 17 Firth Avenue – Aerial Image of the Site from 1943 (Six Maps)

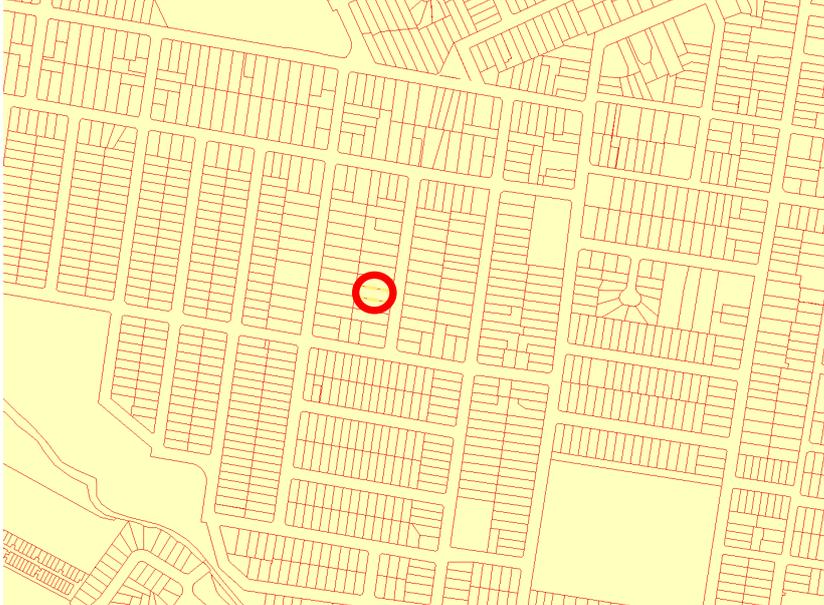
Strathfield Local Environmental Plan 2012

The Site is zoned R2 Low Density Residential under the provisions of the Strathfield Local Environmental Plan 2012 ('SLEP 2012'). The Proposed Development is permissible with Council's Development Consent. The relevant SLEP 2012 controls have been considered in the compliance table below.



Figure 10. Height Map – J, 9.5m (Sheet HOB_005), (SLEP 2012)

Strathfield Local Environmental Plan 2012		
Clause	Comment	Complies
Zoning – R2 – Low Density Residential	Development for the purposes of a dwelling house over basement is permissible with Council consent in the R2 Low Density Residential zone.	YES
Zone Objectives and Land Use Table	The proposal is consistent with the zone objectives of the R2 – Low Density Residential zone. Most notably the below listed: <ul style="list-style-type: none"> To provide for the housing needs of the community within a low density residential environment. To ensure that development of housing does not adversely impact the heritage significance of adjacent heritage items and conservation areas 	YES
2.7 Demolition Requires Development Consent	The Proposal seeks approval for the demolition of all existing structures on the Site in accordance with the demolition plan prepared by Urban Link Architecture accompanying this submission.	YES
4.3 Height of Buildings	No part of the Proposed Development exceeds the 9.5m maximum height limit prescribed on the Site.	YES
4.4C Exceptions to floor space ratio (Zone R2) >1000 0.5:1	The Site has an area of 1284m ² , the proposal seeks a gross floor area of 642m ² (0.5:1).	YES
5.10 Heritage Conservation	The proposal is not considered to alter the streetscape in such a way that it adversely impacts the heritage significance of any item in the locality.	YES

<p>6.1 Acid Sulfate Soils</p>	<p>The Site is not located within 500m of Class 1, 2, 3 or 4 land:</p> 	<p>YES</p>
<p>6.2 Earthworks</p>	<p>Development consent is sought for earth works so as to facilitate a basement and swimming pool on the Site. It is considered that the proposed works will have minimal adverse environmental and amenity impacts on the neighbouring property.</p> <p>The proposal results in an appropriate outcome considering the nature of the development and the characteristics of the Site.</p> <p>The proposal will not adversely affect or disrupt drainage and flood patterns, flood storage or soil stability in the area. Please refer to the drainage plans accompanying this submission.</p> <p>The proposed excavation is consistent with the current and future use of the land and will ensure a quality open space amenity is provided.</p>	<p>YES</p>

Strathfield Development Consolidated Control Plan (DCP) 2005

The applicable controls which relate to Proposed Development in the Strathfield Development Consolidated Control Plan (DCP) 2005 are addressed in the following table:

<p>Strathfield Development Consolidated Control Plan (DCP) 2005</p>	
<p>Part A – Dwelling Houses and Ancillary Structures</p>	
<p>Control/Requirement</p>	<p>Comment</p>
<p>2 ARCHITECTURAL DESIGN AND STREETScape PRESENTATION</p>	
<p>2.2.1 Streetscape Presentation</p>	
<p>1. New dwellings must be positioned and oriented on their site to address the street frontage with a clearly identifiable entry.</p>	<p>Complies The Proposal has been oriented toward Firth Avenue with a clearly identifiable vehicle and pedestrian entryway way consistent with the existing pattern of the streetscape.</p>

<p>2. Consistently occurring positive building façade features within the existing streetscape should be incorporated into the proposed dwelling design such as roof shape, pitch and overhangs; entry porches, verandas, balconies and terraces; materials, finishes, fixtures, patterns, fenestrations, colours and detailing; and the location and proportion of windows and doors. Excessive parapets, irregular- shaped and irregular-spaced windows, excessive glazing to building facades and double-height vertical elements including columns are not permitted.</p> <p>Note: Historically, roofs in Strathfield were nearly always pitched (sloping): either pyramidal, or hipped and gabled. They had roofs of blue-greyy/brown slate or Marseilles tile, coloured orange-red.</p> <p>Note: Architectural elements such as bay windows, and gables are important design details and add visual interest, thereby enriching the architectural character of Strathfield.</p>	<p>Complies</p> <p>The design of the proposal is indicative of the most recent dwellings to constructed within the visual catchment particularly that depicted in Figure 8.</p> <p>The dwelling presents a double storey-built form behind a 1.5m front fence and deep soil landscaping within the front setback.</p> <p>The proposal results in an appropriate scale as guided by the applicable setbacks, existing built forms within the streetscape, height, landscape, and floor space controls.</p> <p>The design ensures that existing street rhythm is maintained by proposing a compatible street setback, and a perceived two storey-built form and high-quality landscaping within the front setback.</p>
<p>3. Streetscape elements that should be taken into account in the design of new and altered residential development include topography; width and location of carriageway; street tree planting and landscaping; allotment size/width; boundary fences; setbacks; building character and scale; bulk; setback and rhythm; and roof forms.</p>	
<p>4. Where security grilles/screens, ventilation louvres and garage doors are proposed, they must be integrated into facade designs. Solid security shutters will not be permitted.</p>	<p>Complies</p> <p>The proposal does not include security screening, louvres or garage doors within the front façade.</p>
<p>2.2.2 Scale, Massing and Rhythm of Street</p>	
<p>1. The overall scale, massing, bulk and layout of the proposed building must complement the existing streetscape. New buildings and alterations and additions should reflect the dominant building rhythm in the street as illustrated in Figure A.4.</p>	<p>Complies</p> <p>The proposed scale and massing of the proposal is indicative of the numerical standards of the SLEP 2012 and SDCP 2005 which ensures that it complements the existing streetscape of the locality.</p>
<p>2. Building height and mass must not result in loss of amenity to adjacent properties, open space or the public domain.</p>	
<p>2.2.3 Building Forms</p>	
<p>1. The building form must be articulated to avoid large expanses of unbroken wall. Articulation can be provided by setbacks, verandahs, awnings, recesses, blade walls or projecting bays.</p>	<p>Complies</p> <p>The dwelling house is proposed to be two storeys in height.</p> <p>The proposal will present as a two storey dwelling and will be generally compatible with the adjoining properties and greater streetscape.</p>
<p>2. Where a dwelling is located on a street corner it shall be designed to address both street frontages as shown in Figures A.5 and A.6. Blank walls shall not be presented to either frontage and walls shall be articulated or staggered so as to avoid appearing unduly bulky or long.</p>	

<p>3. An attic may be built in the roof space of either a two (2) storey dwelling or a single storey dwelling or garage provided access to the attic is via internal stairs.</p>	<p>The resulting dwelling will appropriately address the streetscape by providing earthy coloured face brick and variation in materials that complement the overall building form and provide visual interest in the proposal.</p>
<p>4. Attics are prohibited in flat roofed developments.</p>	
<p>5. Rooftop terraces are prohibited in dwelling houses, secondary dwellings and ancillary developments.</p>	<p>The proposal utilises a pitched tile roof utilising a similar colour to that presented elsewhere within the streetscape (namely 23 Firth Avenue).</p> <p>The front setback ensures that the proposal is appropriately aligned with 15 and 19 Firth Avenue.</p> <p>The proposal achieves sufficient articulation through the clearly observable variation in colours and materials as well as modulation through the architectural features located within the front façade.</p>
<p>Note: Attics in the roof space may not be appropriate in heritage conservation areas or on heritage items.</p>	<p>N/A The proposal does not seek approval for an attic.</p>
<p>2.2.4 Architectural Detailing, including Roof Forms, Materials and Colours</p>	
<p>Roof Forms</p>	
<p>1. The proposed roof design must be similar in pitch, materials and colour to roofs in the immediate streetscape. Roof forms should complement, but not necessarily replicate the predominant form in the locality.</p>	<p>The Proposed Development seeks a pitched tile roof. The proposed roof form is considered to be compatible with roof forms in the streetscape.</p>
<p>2. The proposed roof form shall minimise the appearance of bulk and scale of the building and be treated as an important architectural element in the street. First floor additions must complement the architectural style of the ground floor and where possible permit the existing roof form, slope and ridge to be easily discerned.</p>	<p>The Proposal does not include the provision for highly reflective materials on the walls or roof structures.</p> <p>The colours and materials are generally earthy in tone and will be suitable for the existing streetscape.</p>
<p>3. For flat roofed dwellings, the height of the parapet is to be kept to the minimum height required to ensure adequate screening of the proposed flat or low pitch skillion roof.</p>	
<p>4. Roof structures must be designed so that roof installations including solar energy panels, telecommunication facilities, hot water tanks or skylights are not visible from the public domain and are integrated into the design of the development.</p>	
<p>Materials</p>	
<p>5. Materials must be compatible with the existing dwelling house (in the case of alterations and additions) and compatible with adjoining dwelling houses and the streetscape in terms of type, form and colour.</p>	<p>Complies The proposal seeks to primarily utilise two tones of face brick and a pitched tiled roof so as to ensure compatibility with</p>

	<p>the streetscape as the resulting dwelling will present traditional features.</p> <p>The roof will be monotone slate concrete tiles.</p>
<p>6. Monotone face brick walls and terracotta tiles for roofs shall be used where they are existing in the immediate streetscape. Alternative materials may be considered as architecturally appropriate to the style of the dwelling and the locality in some circumstances.</p>	
<p>7. Highly reflective materials are not acceptable for roof or wall cladding. New buildings and facades must not result in glare that causes discomfort or threaten the safety of pedestrians or motorists. A Reflectivity Report that analyses the effects of potential glare from the proposed new development on pedestrian and motorists may be required by Council.</p>	<p>N/A The proposal does not seek to utilise highly reflective materials.</p>
Colours	
<p>8. New development must incorporate colour schemes that have a hue and tonal relationship with the traditional colours or the predominant colours of the street.</p>	<p>Complies The proposal seeks to utilise earthy tones for both the roof and external walls. The chosen colours are considered to be appropriate in the context of Firth Avenue.</p>
<p>9. The colours of garages, window frames, ventilation and downpipes and balustrading on main facades and elevations must be integrated harmoniously with the external design of the building.</p>	
2.2.5 Two (2) Storey Porticoes	
<p>1. Two (2) storey porticoes may be considered only where they are in scale with the proposed dwelling and compatible with the streetscape and any adjoining heritage items.</p>	<p>Complies The proposal does not seek a two storey portico feature within the front setback, however, it does provide a double storey element but it does not extend beyond the front building line and is appropriately broken up to ensure that its prominence does not diminish the presentation of the dwelling house.</p>
	
<p>2. Two (2) storey porticoes are to be vertically articulated or broken to reduce their height as illustrated in Figure A.7. Figure A.7 - Vertically articulated two (2) storey portico provides visual prominence whilst minimising the bulk and scale of the dwelling.</p>	

<p>3. No porticoes or associated porches shall protrude more than 1m forward of the front building façade.</p>	
<p>4. Porticoes are not to extend higher than the understorey of the eaves/guttering.</p>	
<p>2.2.6 Dormers</p>	
<p>1. Where compatible with the architectural design of a dwelling, dormers (whether gabled, hipped or eye-lid) need to be traditionally proportioned and rectilinear.</p>	<p>N/A</p>
<p>2. The form and location of dormer windows to existing buildings should not overwhelm or detract from the integrity of the original building, especially heritage items and dwellings in heritage conservation areas.</p>	
<p>3 HERITAGE</p>	
<p>Refer to Part P - Heritage of SCDCP 2005 for objectives and controls in relation to development associated with a heritage item, within a heritage conservation area or within the vicinity of a heritage item under SLEP 2012.</p>	<p>The Site is not a heritage item nor is it located within proximity to a heritage item or conservation area.</p>
<p>4 BUILDING ENVELOPE</p>	
<p>4.2.1 Floor Space Ratio</p>	
<p>1. The maximum floor space ratio (FSR) permitted on a site is indicated on the SLEP 2012 Floor Space Ratio Map.</p>	<p>Complies The proposal ensures compliance with the SLEP 2012 FSR control.</p>
<p>2. Development must be compatible with the lot size. Larger sites should not allow dwellings that are so large and bulky that they would create undesirable environmental impacts. Smaller sites must provide for adequate sized dwellings.</p> <p>Note: In accordance with SLEP 2012, "Floor space ratio" means the ratio of the gross floor area of all buildings within the site to the site area.</p> <p>Note: In accordance with SLEP 2012, "Gross floor area" means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:</p> <ul style="list-style-type: none"> (a) Habitable rooms in a basement or an attic, and (b) The area of a mezzanine, and (c) Any shop, auditorium, cinema, and the like, in a basement or attic, But excludes: (d) Any area for common vertical circulation, such as lifts and stairs, and (e) Any basement: (i) Storage, and (ii) Vehicular access, loading areas, garbage and services, and (f) Plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and (g) Car parking to meet any requirements of the consent authority (including access to that car parking), and (h) Any space used for the loading or unloading of goods (including access to it), and (i) Terraces and balconies with outer walls less than 1.4 metres high, and 	

<p>(j) Voids above a floor at the level of a storey or storey above.</p> <p>Note: In the case of dwelling houses, floor space ratio calculations should be inclusive of vertical circulation areas (stairs, lifts etc.), voids and outbuildings.</p>	
<p>4.2.2 Building Height</p>	
<p>1. The maximum height of dwelling houses in accordance with the SLEP 2012 Height of Buildings Map is 9.5 metres.</p>	<p>Complies The proposal ensures compliance with the 9.5m height limit prescribed under the SLEP 2012.</p>
<p>2. The maximum height to the top of parapet for flat roofed dwelling houses is to be 7.8 metres.</p>	<p>Complies The proposal results in a flat roof being located in the centre of the 'two-wings' created by the dwelling house. The proposal ensures that the flat roof portion of the site does not exceed 7.8m to the top of the parapet.</p>
<p>3. The maximum height of the parapet wall for flat roofed dwelling houses is to be 0.8 metres above the uppermost ceiling level.</p>	<p>Complies</p>
<p>4. The maximum height of the external wall from the existing ground level to the underside of the uppermost ceiling level is to be 7.2 metres.</p>	<p>Complies The proposal ensures that no part of the external wall height will exceed 7.2m</p>
<p>5. The maximum internal floor to ceiling height is to be 3.0 metres for any residential level.</p>	<p>Complies The ground floor 'floor to ceiling height is approximately 2.8m and the first floor is 2.7m.</p>
<p>6. The maximum height of outbuildings, detached garages and carports is to be 3.5m to the highest point on the roof above natural ground level</p>	<p>N/A The proposal does not seek approval for a detached garage or car port.</p>
<p>7. Dwelling houses and any ancillary structures are to be no more than two (2) storeys high.</p>	<p>Complies, The proposal seeks approval for a single storey outbuilding located in the rear setback.</p>
<p>8. The building height should respond to the gradient of any given site and minimise the need for cut and fill.</p>	<p>Complies The height of the dwelling house and outbuilding ensure compliance with the referenced numerical standards pertaining to natural ground level.</p>
<p>Note: In accordance with SLEP 2012, "Building height (or height of building)" means:</p> <p>a) In relation to the height of a building in metres – the vertical distance from ground level (existing) to the highest point of the building, or</p> <p>b) In relation to the reduced level of a building – the vertical distance from the Australian Height Datum to the highest point of the building,</p> <p>including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like.</p>	<p>Note.</p>

The height is measured to the existing ground level directly below the point of measurement, so where the existing ground level slopes, so will the height limit plane. The height limit plane is not a horizontal line and will follow the topography of the site. Where there is a significant slope on the site, the building may have to be stepped to stay within the height limits and must not present as three residential levels at any point

4.2.3 Setbacks

Note: In accordance with SLEP 2012, “setback” is the horizontal distance between the property boundary or other stated boundary (measured at 90 degrees from the boundary) and:

- a) A building wall, or
- b) The outside face of any balcony, deck or the like, or
- c) The supporting posts of a carport or verandah roof, whichever distance is the shortest.

Note.

4.2.3.1 Street Setbacks

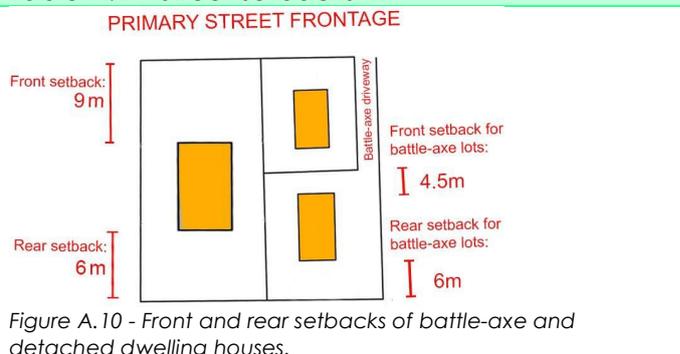
1. The street setbacks in Table A.1 and illustrated in Figure A.10 apply to new dwellings and extensions (where the building footprint is proposed to be altered) except where exempted below in Subclause 2:

Complies

The proposal ensures a minimum 10.7m setback to Firth Avenue consistent with 15 and 19 Firth Avenue.

	Minimum street setback required
Primary street setback	9m
Primary street frontage for battle-axe lots	4.5m
Secondary street setbacks for dwellings on corner allotments	
Where the main entrance to the dwelling is from the secondary frontage	3m

Table A.1 – Street setbacks



Note.

2. Despite Subclause 1 above, a primary street setback of less than 9m may be considered where:

N/A

- a) The predominant front setback in the street is less than 9m;

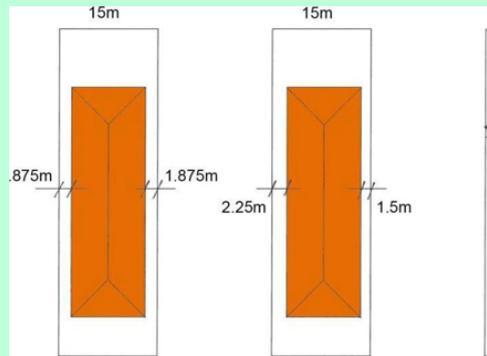
- b) The proposed setback is not less than the setback of the existing dwelling; or
- c) The proposed setback would not conflict with the character of the existing streetscape.

4.2.3.2 Side and Rear Setbacks

1. New dwellings and extensions (where the building footprint is proposed to be altered) are to have a combined side setback equivalent to 20% of the width of the block (measured at right angles for splayed frontages). The combined side setback may be unevenly distributed between both sides as long as a minimum side setback of 1.2m is provided on each side.

Where an allotment is deemed to be undersized or irregular, a variation to the minimum setback may be considered (e.g. blocks less than 12m wide). Examples of side and rear setbacks are provided in Figure A.11.

Note: For irregular shaped allotments where the frontage is wider or narrower than the rear, the side setback is to be 25% of the width of the block at each point.

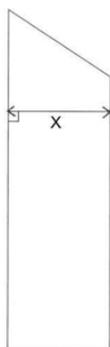


Example -

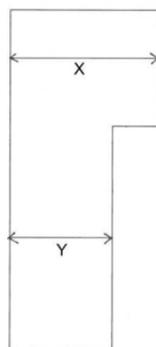
Example -

1. Evenly distributed side setbacks.

2. Unevenly distributed side setbacks.



3. Lot width calculation for side setbacks.



4. Lot width calculation for side setbacks

Complies

The proposal ensures a minimum combined setback of 5.1m which equates to 25.36% of the site width (20.11m).

Figure A.11 - Permissible side setback examples and requirements for dwelling houses.														
2. Dwellings are to have a minimum rear setback of 6m to provide adequate open space and deep soil areas for shading/screening trees.		Complies The dwelling house provides a rear setback of approximately 20.48m.												
3. Subject to meeting the minimum landscaped area (as per section 5 of this part of the DCP) in the rear of the site, ancillary facilities such as garages/outbuildings may be located within the rear setback area.		Complies The proposal ensures compliance with the landscape requirements and as such includes an outbuilding located in the rear setback.												
4. Garages and carports are to comply with the minimum setbacks in Table A.2.		N/A The proposal seeks a basement car park.												
<table border="1"> <thead> <tr> <th>Detached Garages and Carports</th> <th>Minimum setback required</th> </tr> </thead> <tbody> <tr> <td>Minimum setback from side and rear boundaries for carports (open on three (3) sides)</td> <td>Nil</td> </tr> <tr> <td>Minimum setback from side and rear boundaries</td> <td>0.5m</td> </tr> <tr> <td>Where the side of the dwelling, garage or carport is proposed to face the secondary frontage</td> <td>1.5m</td> </tr> </tbody> </table>	Detached Garages and Carports	Minimum setback required	Minimum setback from side and rear boundaries for carports (open on three (3) sides)	Nil	Minimum setback from side and rear boundaries	0.5m	Where the side of the dwelling, garage or carport is proposed to face the secondary frontage	1.5m						
Detached Garages and Carports	Minimum setback required													
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Table A.2 – Setbacks for garages and carports.														
4.2.4 East-West Lots														
1. For east-west oriented lots with the primary street frontage facing east, the minimum side setback should be on the north and the larger side setback should be on the south so that overshadowing is reduced.		Complies The Site is an East-West lot and a such the greater setback (3.6m) is provided along the southern boundary.												
2. The southern side setback should be utilised for the driveway/garage entry so that potential overshadowing of adjacent properties is reduced		N/A												
5 LANDSCAPING														
5.2.1 Landscaped Area														
1. The minimum landscaped area required on each lot is indicated in Table A.3 below.		Complies The proposal ensures that 45.87% of the Site area (587m ²) will be landscaped.												
<table border="1"> <thead> <tr> <th>Area of site</th> <th>Minimum Landscape Area</th> </tr> </thead> <tbody> <tr> <td>200 - 500m²</td> <td>35%</td> </tr> <tr> <td>501 - 600m²</td> <td>38.5%</td> </tr> <tr> <td>601 - 700m²</td> <td>41.5%</td> </tr> <tr> <td>701 -799m²</td> <td>43%</td> </tr> <tr> <td>800 -1300m²</td> <td>45%</td> </tr> </tbody> </table>	Area of site	Minimum Landscape Area	200 - 500m ²	35%	501 - 600m ²	38.5%	601 - 700m ²	41.5%	701 -799m ²	43%	800 -1300m ²	45%		
Area of site	Minimum Landscape Area													
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701 -799m ²	43%													
800 -1300m ²	45%													
Table A.3 – Minimum landscaped area requirements.														
Note: In accordance with SLEP 2012, "Landscaped area" means a part of a site used for growing														

<p>plants, grasses and trees, but does not include any building, structure or hard paved area.</p> <p>Building, structure and hard paved areas include dwelling and ancillary structures, vehicular driveways and manoeuvring areas, stairways, side setback areas between the boundary and house (paved or unpaved) that are 1.5 metres or less in width, unenclosed ground level pedestrian terraces or walkways, swimming pools, covered awnings, tennis courts (except natural grass courts), outbuildings, sheds, BBQs, gazebos, rainwater tanks and the like.</p>	
<p>2. At least 50% of the minimum landscaped area should be located behind the building line to the rear boundary.</p>	<p>Complies The proposal ensures that 431m² of landscaped area will be located behind the front setback.</p>
<p>3. At least 50% of the front yard should be maintained as deep soil soft landscaping.</p>	<p>Complies The proposal ensures that the front setback will have a landscaped area of 156m² which equates to 70.5% of the front setback.</p>
<p>4. The amount of hard surface area (in the form of concrete/brick/stone paving and bitumen) shall be minimised to reduce run-off and to maintain the prevailing early twentieth century garden character. Run off from hard surfaces is to be directed to permeable surfaces such as garden beds.</p>	<p>Complies The hard-paved areas are limited to the dwelling house, outbuilding and accessways along the swimming pool and side setback.</p>
<p>5. Planting areas shall include a mix of low-lying shrubs, medium-high shrubs and canopy trees in locations where they will soften the built form.</p>	<p>Complies Please refer to landscape plan prepared by A Total Concept for details relating to the planting arrangement.</p>
<p>6. The design and quality of front gardens must respond to the character of the street and surrounding area and contribute to the garden character of Strathfield.</p>	
<p>7. Where the landscape pattern in the prevailing streetscape and surrounding locality is desirable, this must be retained and reinforced, particularly in relation to heritage items and heritage conservation areas.</p>	
<p>8. In relation to conservation and energy efficiency, plant species must be retained, selected and planted to:</p> <ul style="list-style-type: none"> - shade buildings in summer; - reduce glare from hard surfaces; - permit sunlight access into living rooms in cooler months; - cool air currents channeled into the dwelling in summer; and - act as windbreaks where desirable 	
<p>5.2.2 Tree Protection</p>	

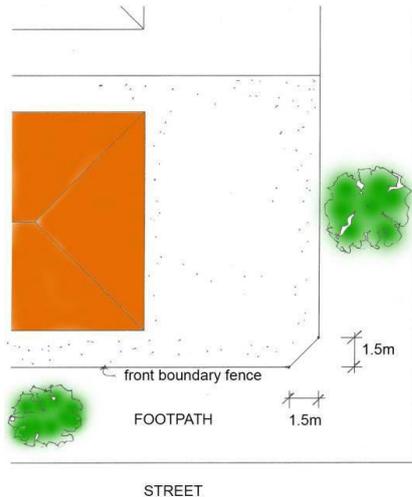
<p>1. Applicants must engage an Australian Qualification Framework (AQF) Level 5 Arborist to prepare an Arboricultural Impact Assessment Report in accordance with Australian Standards 4970: Protection of trees on development sites to determine the feasibility of retaining existing site trees prior to the design of a development.</p>	<p>Note</p> <p>The proposal does not seek to remove a significant tree and is not located within proximity to any known significant trees identified on the survey plan.</p>
<p>2. The Arboricultural Impact Assessment Report must include a site plan and at a minimum indicate the following for trees on the subject site, adjoining sites and nature strip:</p> <ul style="list-style-type: none"> • Number of tree(s); • Location of tree(s); • Species of tree(s); • Whether the tree(s) is proposed to be retained or removed; • Stockpile(s); • Detailed scaffold plans accurately depicting setbacks from buildings and trees; • Detailed and complete map of all underground services; and • Where necessary, recommendations of detailed tree sensitive construction methods. 	
<p>3. Development shall provide for the retention and protection of existing significant trees, especially near property boundaries and within the front setback, and natural features such as rock outcrops. The proposed removal of any significant tree will need to be considered based on the submission of an Arboricultural Impact Assessment Report. The significance of a tree must be checked at the pre-lodgement development application stage.</p>	
<p>4. With the exception of trees that are first approved by Council for removal, new dwellings and alterations and additions to dwellings must be set back an appropriate distance from all trees in accordance with the Arboricultural Impact Assessment Report to ensure that tree branches and roots will not be affected by the works. Building works should be located outside of the canopy spread of existing trees, with suitable setbacks depending upon species and size. Hand excavation is mandatory in the immediate vicinity of trees especially within the dripline.</p>	
<p>5. Where applicable, Council may request the applicant to engage a project Arborist. Council shall not issue an Occupational Certificate until Council is satisfied that relevant “hold points” have been reviewed and endorsed by the project Arborist to ensure tree protection measures have been implemented for trees to be retained onsite.</p>	
<p>6. New developments should provide opportunities for planting new canopy trees within the front setback, except where the existing front setback already contains at least two</p>	

<p>(2) trees. These trees should achieve a minimum mature height of 10m.</p>	
<p>7. At least one (1) canopy tree must be provided in the rear yard if not already provided.</p>	
<p>8. Generally, the trunk of a proposed canopy tree must be planted a minimum of 4m from built structures, or a minimum of 3m from pier beam footings. New trees must have a minimum setback of 3m from all boundaries, unless a species with non-invasive root system is proposed.</p>	<p>Please refer to the landscape plan prepared by A Total Concept for details relating to planting arrangement and sourcing.</p>
<p>9. Provided existing trees are not adversely affected, new trees planted on side boundaries adjacent to neighbouring dwellings and structures must have a minimum 0.6m deep root deflection barrier provided for a minimum of 1.5m either side of the tree centre.</p>	
<p>10. The construction of driveways must not result in the removal, lopping or root damage to any street tree.</p>	
<p>11. A minimum of 25% of canopy trees and other vegetation shall be locally sourced indigenous species.</p> <p>Note: A canopy tree is a tree which is expected to have a minimum mature height of 10m planted within a minimum 50 litre container (Refer to Appendix 1 of General Introduction of SCDCP 2005 for weblink to Council's recommended tree list).</p>	
<p>5.2.3 Private Open Space</p>	
<p>Note: In accordance with SLEP 2012, "Private open space" means an area external to a building (including an area of land, terrace, balcony or deck) that is used for private outdoor purposes ancillary to the use of the building. Private open space does not include non-recreational structures such as garages, tool sheds, swimming pools, driveways, car spaces, drying areas and pathways.</p>	<p>Note.</p>
<p>1. Private open space is to be provided in a single parcel rather than a fragmented space and shall be directly accessible from internal living areas of the dwelling.</p>	<p>Complies</p> <p>The private open space is consolidated within the rear setback.</p>
<p>2. The principal private open space area should be generally level and may be in the form of a deck, patio, terrace or paved area. The principal private open space must include a deep soil area compliant with the minimum landscaped area.</p>	<p>Complies</p> <p>The Proposal seek a relatively flat private open space area through minor fill primarily located toward the western boundary.</p>
<p>3. For terraces and decks to be included in calculations of areas for private open space, they must be of a usable size (at least 10m²) with one length or width being at least 3 metres and be directly accessible from an internal living area of the dwelling. To be included in a calculation of</p>	

<p>private open space, decks cannot be located more than 500mm above natural ground level.</p>	
<p>4. Areas within setbacks are not to be included as private open space unless they have a minimum width of 3m.</p>	
<p>5. The primary private open space is to be located at the rear of the property.</p>	
<p>5.2.4 Fencing</p>	
<p>Note: Historically, fencing and gates were an extension of the architecture of the house.</p>	<p>Note.</p>
<p>1. Front and side fencing including fencing facing the secondary street on a corner site must be designed to be sympathetic to the particular style of the dwelling and be compatible with the style and height of fencing on adjoining properties and the streetscape. A number of different styles of fencing appropriate to particular architectural styles are illustrated in Figure A.12 and Figure A.14 below.</p>  <p>Figure A.12 - Front fence designs should complement the dwelling.</p>	<p>N/A The Site is not a corner allotment.</p>
<p>2. Front fences must not be erected where the streetscape is characterised by an absence of front fences. In these instances, landscaping shall be used to create identifiable street address and privacy.</p>	<p>Complies The vast majority of allotments have front boundary fences.</p>
<p>3. Fencing forward of the building line (including the building line to a secondary street frontage on a corner site) shall not exceed a height of 1.5m. In these cases, a solid fence shall not exceed a height of 0.7m above natural ground level and may be topped by an additional maximum 0.8m high open timber picket, wrought iron, palisade or similar element. Brick piers over 1m in height are permitted to support the</p>	<p>Complies The front fence is proposed to be 1.5m in height with solid masonry elements located at even intervals. Between the solid masonry elements open metal slits are to be provided.</p>

decorative elements, provided they are equally spaced along the street and do not exceed a height of 1.5m. Where the predominant height of fencing in the street is higher, the solid fence component shall not exceed a height of 1m.	
4. Solid fencing up to a maximum 1.8m in height may be permitted along a secondary street frontage, provided it only encloses private open space. The design of any section of solid fencing along a secondary street frontage shall be consistent and compatible with the style of fencing provided along the primary frontage.	N/A
5. Side and rear fences (including any retaining walls) are to be no taller than 1.8m, but may be capped with a maximum 300mm of open weave timber lattice privacy screen where the consent of the neighbouring property owner has agreed.	Complies The side fences are proposed to be 1.8m
6. Side fences forward of the front building line shall be designed to taper down to the height of the front fence.	Complies
7. Front fences should be designed to be visually permeable and where applicable, the main infill panels should have an appropriate width and spacing to provide an open appearance and enable casual surveillance.	Complies
8. Front fences, particularly on busy roads, must be designed to provide adequate acoustic attenuation whilst ensuring an appropriate level of visibility and outlook, casual surveillance, privacy and security.	Complies The proposed front fence ensures casual surveillance to the streetscape.
9. The following materials and finishes are not permitted to be used in any fence forward of the front building line (including the building line to a secondary street frontage on a corner site): <ul style="list-style-type: none"> • unrendered cement block; • galvanised or aluminium sheeting; • fibre-cement board; • brushwood; or • barbed wire. 	Complies
10. Fencing on corner allotments shall incorporate a minimum 1.5m x 1.5m splay adjacent to the road intersection to maintain sight distances for pedestrians and motorists as illustrated in Figure A.13.	N/A

Figure A.13 - Front boundary splay to corner block.



11. Solid fences adjoining vehicular access driveways (including driveways on adjoining properties) are to be provided with a minimum 1m x 1m splay to maintain sight distances for pedestrians and motorists.

Complies

12. The remaining areas created by providing a splay adjacent to a road intersection or driveway entrance must be landscaped with low-growing vegetation or suitable paving.

Complies

13. Council will not allow significant trees to be removed to facilitate a fence design.

N/A

The fence design does not require the removal of a significant tree.

14. Side and rear fences on a slope must be designed to allow stormwater to flow through or under the fence without the flow becoming unduly concentrated.

Complies

15. Dividing fences between private property and Council parks, reserves, open space, etc. must be constructed only of timber palings (lapped and capped) with a maximum height of 1.8m.

N/A

16. Gates or entries from private property onto Council parks, reserves, open space, etc. are permitted, subject to them being kept locked when not in use.

N/A

17. Gatehouses are not permitted unless they are compatible with the surrounding streetscape.

N/A

6 Solar Access

6.2.1 Sunlight Access

1. In new dwellings, solar access to the windows of habitable rooms and to at least 50% of private open space must be provided or achieved for a minimum period of 3 hours between 9.00am and 3.00pm at the winter solstice (June 21).

Complies

The rear private open space benefits from a direct northern orientation and as such receives in excess of 50% direct solar access at the winter solstice.

2. In the case of alterations or additions to existing dwellings, solar access to the windows of habitable rooms and to the majority of private open space must be substantially maintained or

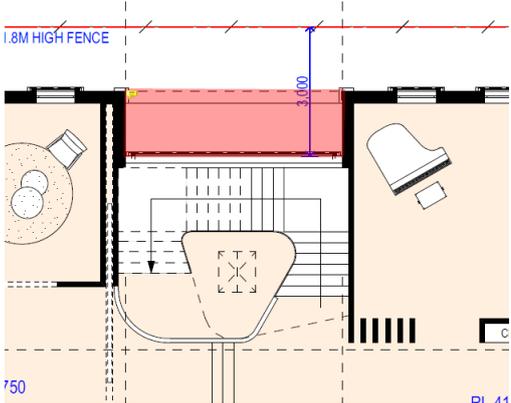
Complies

The proposal does not cause in any unreasonable shadow impacts on the neighbouring properties. Given the size

<p>achieved for a minimum period of 3 hours between 9.00am and 3.00pm at the winter solstice (June 21).</p> <p>Note: In accordance with the Building Code of Australia, a “habitable room” is: “a room used for normal domestic activities and</p> <ul style="list-style-type: none"> • includes a bedroom, living room, lounge room, music room, television room, kitchen, dining room, sewing room, study, playroom, family room, home theatre and sunroom; but, • excludes a bathroom, laundry, water closet, pantry, walk-in wardrobe, corridor, hallway, lobby, photographic darkroom, clothes drying room, and other spaces of a specialised nature occupied neither frequently nor for extended periods.” 	<p>of the rear private open space areas of the dwellings at 15 Firth Avenue it is considered that it will continue to achieve at least 50% solar access to their private open space areas during the winter solstice.</p>
<p>3. 50% of the principal private open space of any adjoining premises should receive solar access for a minimum period of 3 hours between 9.00am and 3.00pm at the winter solstice (June 21).</p>	
<p>4. Where the principal private open space of an adjoining development currently receives less than the required amount of solar access (on 21 June), the proposed development must not further reduce the amount of solar access.</p>	
<p>7 Privacy</p>	
<p>7.2.1 Building Envelope and Dwelling Layout</p>	
<p>1. Private open space, bedrooms, balconies and living rooms of proposed and any existing adjoining dwellings are to be protected from direct overlooking by locating living areas on the ground floor and orientating them towards the rear and front setback.</p>	<p>Complies The rear private open space area of the proposal has been appropriately designed so as to ensure adequate separation between buildings and avoid undue overlooking from adjoining sites.</p>
<p>2. Provide adequate separation of buildings.</p>	<p>Complies The proposal seeks fill in the rear of the site, however the dwelling is not considered to be excessively raised and will not result in undue privacy impacts.</p>
<p>3. Ensure finished floor levels are not excessively elevated above natural ground level.</p>	
<p>4. Appropriate evergreen screen plants and trees may assist in providing improved privacy to adjacent properties.</p>	<p>Complies The side and rear boundary setbacks include screen planting to avoid impacts on the adjoining properties.</p>
<p>7.2.2 Windows</p>	
<p>1. Windows should not directly face the windows, balconies and courtyards of adjoining dwellings.</p>	<p>Complies The proposal does not seek to provide balconies or windows that are directly oriented toward windows, balconies or courtyards on adjoining sites.</p>
<p>2. Where a transparent window is to be located within 9m of any window of a habitable room of an adjoining dwelling, the window must:</p>	<p>Complies The northern and southern side boundary windows within a habitable</p>

<p>a) be offset from the edge of any windows in an adjoining dwelling by a distance of at least 0.5m; or</p> <p>b) have a sill height of at least 1.7m above the finished floor level or have fixed, obscure glazing in any part of the window less than 1.7m above the floor level.</p> <p>3. Where windows directly face a balcony or courtyard of an adjoining dwelling, the windows should:</p> <p>a) be narrow; and/or</p> <p>b) incorporate obscure glazing; and/or</p> <p>c) have a sill height of at least 1.7m above the finished floor level.</p>	<p>room on the first floor which do not provide a sill height are to be obscure and are to be offset from the neighbouring properties windows.</p> <p>It is noted that the proposal provides large glazed windows oriented to the north and south within the centre of the dwelling house which are located between the two wings of the dwelling. These windows provide a 3m setback to the north and a 5.7m setback to the south.</p> <p>These windows are proposed to permit light within the dwelling house.</p> <p>The windows are considered to provide sufficient distance between dwellings and adjoining windows as they align with the gaps between the dwellings on the adjoining sites:</p>  <p>These windows will be glazed to address privacy concerns and the recessed areas along the southern boundary setback are to be densely landscaped.</p>
<p>4. Development applications for dwellings affected by high levels of external noise must be accompanied by an acoustic report demonstrating that habitable rooms of dwellings may achieve internal noise levels of no greater than 35 dBA</p>	<p>N/A</p>
<p>8 Vehicle Access and Parking</p>	
<p>Refer to Part I (Provision of Off-Street Parking Facilities) of SCDCP 2005 for additional requirements.</p>	<p>Note.</p>
<p>8.2.1 Driveway and Grades</p>	
<p>1. Existing driveways must be used unless the applicant can demonstrate that:</p> <p>(a) relocation would improve solar access to the property and/or adjoining properties;</p>	<p>Complies</p> <p>The proposal seeks to utilise the existing driveway location which permits the retention of the tree on the footpath.</p>

<p>(b) the amenity of any adjoining residences would not be unduly affected (with regard to sleeping areas);</p> <p>(c) relocation would not impact on street trees, bus stops, bus zones, powerlines and other services, on street parking, heritage values or the streetscape; and</p> <p>(d) relocation would not adversely impact the safety of motorists or pedestrians.</p>	
2. The width of driveways at the property boundary is to be 3m.	Complies
3. The edge of driveway crossings, including apron and layback shall be located a minimum of 1m clear of any existing stormwater pits or poles and 2m clear of the trunk of any trees within the road reserve.	Complies
4. Vehicle access points and parking areas must: <ul style="list-style-type: none"> - be easily accessible and recognisable to motorists; - not disrupt pedestrian flow and safety; and - be located to minimise traffic hazards and the potential for vehicles to queue on public roads. 	Complies
5. A maximum of one (1) vehicular crossing to any public road will be permitted per property except for corner allotments where Council may consider one on each frontage in appropriate circumstances.	Complies
6. Vehicles accessing sites which front main roads shall be capable of entering and exiting in a forward direction (i.e. vehicle manoeuvring shall be fully maintained within the site).	Complies
7. Vehicular turning areas for garages shall comply with the relevant Australian Standard.	Complies
8. Where properties have access to a rear lane or secondary street frontage, parking and access shall be provided from the secondary street/lane.	N/A
9. Driveways must be designed to avoid a long and straight appearance by using landscaping and variations in alignment.	Complies
10. A driveway should be set back a minimum of 0.5 metres from side boundaries to provide for landscaping between the driveway and side boundary.	Complies
11. Driveways within the property boundary should incorporate unit paving into the design.	Complies
12. Areas of concrete visible from a public road (including driveways and pedestrian ways) are to be kept to a minimum and coloured charcoal, grey or brown.	Complies
13. Kerb and footpath crossings as part of the public domain must only be finished in natural finished concrete and not customised finishes that	Complies

<p>match the property driveway. Coloured concrete is not permitted in the driveway crossing outside the property boundary.</p>	
<p>8.2.2 Garages, Carports and Car Spaces</p>	
<p>1. Two (2) car parking spaces are to be provided and maintained behind the front building line of all new dwellings (i.e. garage, carport or car space). For lots less than 15m wide consideration may be given to one (1) car space. Where alterations and additions to existing dwellings are proposed and two (2) spaces are available, these spaces must be maintained.</p>	<p>Complies The proposal provides two car spaces behind the front building line within the basement area.</p>
<p>2. Garages are to be recessed behind the main front facade of the dwelling and/or designed so as not to dominate the appearance of the building or streetscape.</p>	<p>N/A</p>
<p>3. Garages should be no more than 150mm above natural ground level at their entry unless the slope of the site exceeds 1:8 (12.5%) in which case a suspended garage may be acceptable.</p>	<p>N/A</p>
<p>4. The minimum dimensions of parking spaces and garages shall comply with the relevant Australian Standards.</p>	<p>Complies</p>
<p>5. Garages are not to be converted or used for any purpose other than that for which they are approved, that is, garages must not be converted into rumpus rooms, living areas, bedrooms, offices, etc.</p>	<p>N/A</p>
<p>8.2.3 Basements</p>	
<p>1. The maximum area of a basement shall be limited to and contained within the footprint of the dwelling at ground level.</p>	<p>Minor variation sought on merit The basement is generally located within the footprint of the dwelling house with the below red highlighted area:</p>  <p>The variation is sought on the basis that the basement will still be within the required setbacks however providing an indent in the basement at this point would result in unfavourable manoeuvrability implications for the proposed basement ramp.</p> <p>The basement will not undermine landscape planting within the side</p>

	setback as it is proposed to be used for access, and it is not considered to be in the objective of this standard to result in an onerous driveway arrangement for those proposals that provide setbacks which provide additional modulation in built form.
2. No excavation is permitted within the required minimum side setbacks. Furthermore, the location of basement walls may warrant increased setbacks to provide sufficient area for water proofing, drainage etc.	Complies
3. Where a basement is proposed, the maximum height of the basement above natural ground level measured to the floor level of the storey immediately above is to be less than 1 metre. Where the basement protrudes above ground level by more than 1 metre, it does not comply with the SLEP 2012 definition of a basement, it will be considered as a storey and the gross floor areas excluded within a basement under SLEP 2012 do not apply and will be included in the floor space ratio. Basement protrusion of more than 1 metre will generally not be accepted especially if it is considered to adversely impact the bulk and scale of the dwelling and may require the setback of the upper level.	Complies No part of the ground floor habitable areas will be more than 1m of the existing ground level.
4. Minimum internal clearance of 2.2m in accordance with the Building Code of Australia requirements.	Complies The proposal ensures minimum clearance of 2.5m
5. Driveways shall comply with the relevant Australian Standards (AS2890.1: Parking Facilities, AS1248.1: Design for access and mobility) and a maximum 1:4 gradient.	Complies
6. Basement entries and ramps/driveways within the property are to be no more than 3.5m wide.	Complies
7. Driveway ramps are to be perpendicular to the property boundary at the street frontage.	Complies
8. Where site and building dimensions allow it, basements shall be designed to permit vehicles to enter and exit the basement in a forward direction.	Complies
9. Basements may not be permissible on flood affected sites. Applicants should check with Council and consider submitting a pre-lodgement application.	N/A
10. Provision of pump-out systems and stormwater prevention should be in accordance with Council's Stormwater Management Code.	Please refer to drainage plans accompanying this submission.
11. Basements are not to be used for habitable purposes	Complies

	The proposed basement are does not include habitable rooms.
9 ALTERING NATURAL GROUND LEVEL (CUT & FILL)	
The Strathfield LGA has a relatively flat topography so the need for cut and fill should be minimal. Refer to Clause 6.2 (Earthworks) of the SLEP 2012 for additional requirements.	Complies
1. Fill is limited to a maximum of 1m above natural ground level.	Complies The proposal does not seek approval for fill more than 1m above existing ground level.
2. For all excavation works that require the use of fill, only clean fill is to be used.	Complies A condition of consent may be imposed for these standards.
3. Cut and fill batters must be stabilised consistent with the soil properties.	
4. Vegetation or structural measures are to be implemented as soon as the site is disturbed.	
5. All areas of excavation shall be setback from property boundaries in accordance with the building setback controls. No excavation is permitted within the minimum required setbacks.	Complies
6. Where excavation work is proposed, the work must not affect or undermine the soil stability or structural stability of any buildings and Council assets on adjoining properties.	Complies A condition of consent may be imposed for this standard.
7. Applicants may be required to produce a dilapidation report for all buildings which adjoin proposed excavation areas, a copy of which will be made available to the relevant neighbour.	Complies A condition of consent may be imposed for this standard.
8. Avoid excessive fill that may create the potential for overlooking of adjoining properties	Complies It is not considered that the fill proposed as part of this application will result in undue overlooking.
10 WATER AND SOIL MANAGEMENT	
10.2.1 Stormwater Management and Flood Prone Areas	
1. Applicants seeking to develop on lands identified as flood prone are advised to contact Council before designing their proposal.	The Site is not identified as being flood prone.
2. Developments shall comply with Council's Stormwater Management Code. On site detention devices may be required to assist in the management of stormwater on site.	Please refer to drainage plans accompanying this submission.
3. Flood affected properties must comply with Council's Interim Flood Prone Lands Policy (Flood Prone Areas and Through Site Drainage).	The Site is not identified as being flood prone.
4. Where a site is subject to flooding applicants should seek written advice from Council's Planning & Environment section in relation to minimum habitable floor height for the site.	

<p>5. In areas subject to major overland flow from adjoining properties, applicants are required to engage a suitably qualified hydraulics engineer and lodge a drainage/flood report prepared by a hydraulics engineer.</p>	
<p>6. Applicants must comply with Council's Stormwater Management Code with regard to drainage and stormwater detention matters. Full details and plans of the stormwater system are to be submitted for approval as part of the development application</p>	<p>Please refer to drainage plans accompanying this submission.</p>
<p>10.2.2 Acid Sulfate Soils</p>	
<p>1. Development is to ensure that sites with the potential to contain acid sulfate soils are managed in a manner consistent with the provisions contained in Clause 6.1 (Acid Sulfate Soils) of SLEP 2012 and the relevant standards and guidelines.</p>	<p>Complies The Site is located on Class 5 land and is not within proximity to Class 1, 2, 3 or 4 land.</p>
<p>2. Applicants seeking to develop on lands subject to acid sulfate soils are advised to contact Council before designing their proposal.</p>	
<p>10.2.3 Soil Erosion and Sediment Control</p>	
<p>1. Appropriate soil erosion and sediment control measures during construction must be detailed in the development application and implemented prior to the commencement of work.</p>	<p>Please refer to drainage plans accompanying this submission.</p>
<p>2. The following sediment control measures are recommended: (a) Perimeter bank and channels; (b) Turf filter strips; (c) Sediment fences; (d) Sediment traps; and (e) Roof guttering.</p>	
<p>3. Applicants may be required to provide plans showing stormwater quality treatment techniques to prevent sediments and polluted waters from discharging from the site during the construction phase. Such plans will show temporary measures designed in accordance with the Managing Urban Stormwater (MUS): soils and construction vol.1 (commonly referred to as the Blue Book), published by Landcom http://www.environment.nsw.gov.au/resources/water/BlueBookVol1.pdf</p>	
<p>11 ACCESS, SAFETY AND SECURITY</p>	
<p>11.2.1 Address and Entry Sightlines</p>	
<p>1. Buildings are to be designed to allow occupants to overlook public places in order to maximise passive surveillance.</p>	<p>Complies</p>
<p>2. Design landscaping around dwellings and ancillary structures so that when plants are mature they do not unreasonably restrict views of pathways, parking and open space areas.</p>	<p>Complies</p>
<p>3. External lighting should enhance safe access and security around the dwelling and light spill must not adversely impact on adjoining</p>	<p>Complies</p>

properties. Lighting must be designed and located so that it minimises the opportunity for vandalism or damage, is appropriate for the street and minimises glare.	
4. The incorporation of Crime Prevention through Environmental Design (CPTED) principles in the design of developments should not detract from the amenity of the streetscape.	Complies
11.2.2 Pedestrian Entries	
1. Pedestrian entries and vehicular entries should be suitably separated to ensure the safety of pedestrians and residents.	Complies
2. Dwelling entrances should be easily identifiable with walkways and landscaping used to direct visitors to the main dwelling entrance.	Complies
3. House numbers are to be clearly visible from the street. As a minimum, one set of house numbers will be displayed on the front fence. House numbers should generally be no less than 100mm high.	Complies
12 ANCILLARY DEVELOPMENT	
12.2.1 Secondary Dwellings	
1. The total floor area of a secondary dwelling must not exceed whichever of the following is the greater: (a) 60m ² ; or (b) 20% of the total floor area of the dwelling.	<p>N/A</p> <p>The Proposal does not seek to provide a secondary dwelling.</p>
2. Secondary dwellings should have a minimum setback to a secondary frontage (where applicable) of 3m, side setback of 1.5m, a rear setback of 3m and a minimum street setback in accordance with Section 4 (Building Envelope) of this Part.	
3. Secondary dwellings should be located at the rear of the primary dwelling.	
4. Secondary dwellings must provide deep soil planting within the rear setback.	
5. The design, materials, colours, bulk and scale, and location of a secondary dwelling must be compatible with the existing dwelling and established surrounding residential character.	
6. Secondary dwellings are to comply with solar access, visual and acoustic privacy controls set out in this Part of the DCP.	
7. A secondary dwelling must be accessed via the same street as the principal dwelling.	
8. Blank walls facing the street will not be accepted.	
9. The roof design must be compatible with the predominant roof forms prevalent in the surrounding residential neighbourhood.	
10. A primary private open space is to be provided for the secondary dwelling and must be directly accessible to the internal living areas of the	

<p>dwelling. It can be in the form of a balcony or at ground level and should be a minimum area of 12m² with a minimum dimension of 3m.</p> <p>Note: Private open space does not include: non-recreational structures such as garages, tool sheds and similar structures; swimming pools; driveways, turning areas, car parking spaces; clothes drying areas; and pathways.</p>	
11. The primary private open space must be located to maximise solar access.	
12. The private open space area must be appropriately landscaped and screened to ensure adequate privacy.	
13. Secondary dwellings do not require additional parking or driveway access.	
14. No garages or carports are to be attached to secondary dwellings.	
12.2.2 Outbuildings	
1. No outbuilding shall be constructed forward of the front building line of the dwelling.	Complies The proposal seeks to provide an outbuilding in the rear setback.
2. The minimum side and rear setback for an outbuilding is 0.5m.	Complies The proposal ensures a minimum 1m setback to the rear and side boundaries.
3. New garden sheds, studios, cabanas and the like are limited to a maximum gross floor area of 40m ² .	Complies The cabana will have an area of 21m ² .
4. Windows will not be permitted to face an adjoining property, unless the windows in the proposed outbuilding are: <ul style="list-style-type: none"> (a) screened by boundary fencing; or (b) have a sill height of at least 1.7m above the floor; or (c) have fixed translucent (or otherwise treated) glazing in any part of the window less than 1.7m above the floor. 	Complies The outbuilding has a window oriented north, but it is screened by the boundary fence.
5. Under no circumstances is the roof area of an outbuilding to be accessible for any purpose or used as an entertaining or viewing area.	Complies The roof is to be pitched and made non-accessible.
6. Outbuildings are not to be used for habitable purposes.	Complies The outbuilding is to be used in conjunction with the swimming pool, but it will not have kitchen facilities or be used as a bedroom.
7. No kitchen facilities will be permitted in an outbuilding. A small fridge and a sink alone are not considered to constitute a kitchen.	
8. Any external lighting of an outbuilding is to be positioned or shielded to prevent glare to adjoining premises.	Complies Any lighting is to be oriented away from the adjoining properties.
12.2.3 Retaining Walls	

1. Retaining walls are to be a maximum of 1.2m in height.	Complies
2. Council requires retaining walls in excess of 0.6m to be fully designed and documented by a qualified practising engineer.	Complies
12.2.4 Air-conditioning	
1. Air-conditioning units should be located away from the habitable rooms of adjoining properties and/or screened by acoustic treatments.	Complies
2. Any building work associated with the installation of an air-conditioning unit must not reduce the structural integrity of any existing buildings.	Standard may require a condition of consent.
3. Only residential grade air conditioners are to be installed and not commercial grade air conditioners.	Complies
4. Air-conditioning units must be installed to comply with the Protection of the Environment Operations Act 1997 and Protection of the Environment Operations (Noise Control) Regulation 2008.	Standard may require a condition of consent.
12.2.5 Satellite Dishes	
1. A maximum of one (1) satellite dish per property will be permitted.	N/A
2. Satellite dishes must be located behind the front building line of the dwelling; preferably ground mounted unless justified to be roof mounted by an appropriately qualified consultant in order to receive a signal and where it will not be visible from any street frontage.	
3. Satellite dishes must be located below the fence-line on corner allotments.	
4. A maximum height of 2.4m is permitted from natural ground level to the top of the satellite dish.	
5. Satellite dishes must be set back at least 3m from the side or rear boundary.	
6. Satellite dishes must be constructed of pre-finished steel in recessive colours which blend with the existing building and surroundings.	
12.2.6 Swimming Pools	
1. The minimum side and rear setback of a swimming pool from the outside edge of the pool concourse (and any paved/concreted area adjacent to the concourse) must be at least 1m wide and consist of a deep soil soft landscape area containing a continuous planting of screening shrubs.	Complies The proposal ensures compliance with this standard being setback in excess of 1m from the adjoining property. This setback area will have an extensive landscape buffer.
2. Where a pool is more than 1m above ground, the space between the bond beam/concourse and the ground is to be suitably finished with decorative blocks or other approved material and landscaped to Council's satisfaction.	N/A

<p>3. The pool filter and pump equipment is to be designed and located so as not to emit a noise level that exceeds 5dBA above the ambient background noise level measured at any property boundary. The pool equipment shall be located within an enclosed structure so as to not be readily visible.</p>	<p>Complies The pool equipment is to be located within the basement and appropriately screened.</p>
<p>4. Any lighting associated with a swimming pool should be positioned to prevent light spillage and minimise any nuisance to adjoining premises.</p>	<p>A condition of consent may be imposed to ensure adherence to this standard.</p>
<p>5. Swimming pool enclosures shall comply with the Swimming Pools Act and relevant Australian Standards as amended.</p>	<p>Complies</p>
<p>12.2.7 Tennis Courts</p>	
<p>1. Tennis courts may only be used for residential uses associated with the dwelling.</p>	<p>N/A</p>
<p>2. The minimum setback from any boundary is 1m. However, where the tennis court adjoins a neighbouring habitable building, the required minimum setback is 3m.</p>	
<p>3. Side boundaries shall be landscaped appropriately to ensure privacy to adjoining properties and prevent light spill and unnecessary glare. The outside edge of a tennis court must be separated from a property boundary by an area of land at least 1m wide of soft landscaping containing a continuous planting of screening shrubs.</p>	
<p>4. No portion of the finished surface level of a tennis court shall be more than 0.75m above natural ground level adjacent to the court.</p>	
<p>5. A tennis court is permitted to be enclosed to a maximum height of 3.6m with plastic-coated chain wire on a suitable galvanised iron pipe frame. The plastic coating must be black or dark green in colour.</p>	
<p>6. Any lighting provided on a tennis court shall have a maximum intensity of 450 lux on the court surface with a spill of zero lux at horizontal distance of 2m from the court surface.</p>	
<p>7. Tennis courts must comply with Council's Stormwater Management Code</p>	
<p>12.2.8 Waste Bin Storage and Management</p>	
<p>Refer to Part H - Waste Minimisation and Management of SCDCP 2005.</p>	
<p>13 ECOLOGICALLY SUSTAINABLE DEVELOPMENT</p>	
<p>Australia's National Strategy for Ecologically Sustainable Development (1992) defines ecologically sustainable development (ESD) as:</p> <p>“Using, conserving and enhancing the community's resources so that ecological processes, on which life depends, are maintained, and the total quality of life, now and in the future, can be increased”.</p>	<p>Please refer to Waste Management Plan accompanying this submission.</p>

In addition to the requirements under State Environmental Planning Policy Building Sustainability Index (BASIX) 2004 (refer to Section 1.10 of the General Introduction to the SCDCP 2005) Council also has a number of objectives and controls that aim to encourage ecologically sustainable development.	
13.2.1 Natural Lighting and Heating	
1. Where possible, new dwellings should have living areas face north, sleeping areas face to the east or south, and utility areas to the west or south to maximise winter solar access.	Complies The proposed living areas will benefit from a northern orientation.
2. Where it is proposed to plant trees to the north of the dwelling they must be deciduous to allow solar access during the winter.	Complies The northern boundary (behind the front building line) will have low lying vegetation so as to permit solar access during the winter.
3. Use materials that have a high thermal mass e.g. bricks to retain heat made available during the day.	Complies
13.2.2 Natural Cooling and Ventilation	
1. Windows and walls on northern facades should be shaded by shading devices, eaves, louvres and trees as illustrated in Figures A.17-A.19. Shading devices should be sympathetic to dwelling design and not detract from the appearance of the dwelling.	Complies
2. Windows should be positioned to capture breezes and allow for cross-ventilation.	Complies
13.2.3 Water Tanks	
Where a water tank is not exempt development under SEPP (Exempt & Complying Development Codes) 2008, the following controls shall apply:	Note
1. Above ground water tanks shall be located behind the dwelling. Where it is not possible to locate a water tank wholly behind the dwelling, it should be located behind the front building line and screened from view from the public domain with appropriate landscaping.	Complies
2. Where water tanks are visible, the tanks and any associated support structure and plumbing must be a colour that complements the dwelling.	Complies
3. Above ground water tanks must be located at least 450mm from any property boundary.	Complies
4. Above ground water tanks must not exceed 3m in height above natural ground level including any stand for the tank.	Complies
5. Overflow from the water tank is to be piped directly to the approved stormwater drainage system except in cases where stormwater is required to be directed to on-site stormwater detention (OSD) storage (as per Council's Stormwater Management Code).	Complies

6. No part of the water tank or support stand may rest on a wall footing.	Complies
7. The installation of the tank must not involve the filling of more than 1m above the existing ground level they are screened from public view.	Complies
8. The tank must not be located over or adjacent to a water main or sewer main or installed over any associated structure or fittings unless it is installed in accordance with any requirements of the public authority that has responsibility for the main.	Complies
9. The design of any water tank support structure is to be in accordance with the requirements of a qualified practicing structural engineer or to the maker's specifications.	Complies
13.2.4 Hot Water Heater Units	
1. Hot water units shall be located behind the dwelling. Where it is not possible to locate the unit either internally or wholly behind the dwelling, it must be located behind the front building line and screened from view from the public domain with appropriate landscaping.	Complies
2. Hot water units including instantaneous gas systems are not to be located on balconies unless	
3. Hot water units are to be placed within a short distance of the most frequent point of use	

Section 4.15 Evaluation – Matters for Consideration

Context and Setting

The subject site is located in the suburb of Strathfield at 17 Firth Avenue. The locality is characterised by residential uses. The Proposed Development is consistent with the existing and intended streetscape of the locality. It will also be sympathetic to the surrounding properties and amenity of the area as it presents a two-storey dwelling in a context where the majority of the streetscape is of an analogous built form. The proposal seeks to improve the landscaped amenity and built form on the Site and will represent design excellence in the streetscape.

Heritage Impacts

The proposal will have no adverse impact on any individual heritage items or greater heritage conservation area. The works are entirely consistent with the streetscape presentation of the area and will retain and protect the integrity of the area.

Social, Environmental and Economic Impacts

As demonstrated in this statement, the proposal will result in positive social, economic and environmental outcomes. The construction of the dwelling will improve the social and physical environment by improving the amenity of the streetscape through appropriate of solar impacts, improving the landscaped amenity and enhancing the aesthetics of the Site and greater locality. The proposal is expected to result in positive economic outcomes.

The Suitability of the Site for the Development

The Proposed Development is a permissible development under the relevant zoning and the proposal complies with the fundamental planning controls for the Site as detailed in this statement. As such it is considered that the proposal is suitable for the site.

Any submissions made in accordance with the Act

It is anticipated Strathfield Council will consider any submissions in its assessment of the proposal.

The Public Interest

As demonstrated throughout this the Proposed Development is consistent with the objectives of the public interest as it provides social, environmental and economic benefits.

Conclusion and Recommendation

Following a review of the relevant planning controls, it is concluded that the Proposed Development is consistent with the objectives, planning strategies, public interest and detailed controls of the relevant environmental planning instruments.

Careful consideration has been given to the potential environmental and amenity impacts and in the absence of adverse impacts the application is submitted to Strathfield Council for its assessment and subsequent approval.