

STRATHFIELD COUNCIL

STRATHFIELD LOCAL PLANNING PANEL MEETING AGENDA

Strathfield Municipal Council

Notice is hereby given that a Strathfield Local Planning Panel Meeting will be held at Town Hall (Supper Room), 65 Homebush Road, Strathfield on:

Thursday 3 November 2022

Commencing at 10:00am for the purpose of considering items included on the Agenda

Persons in the gallery are advised that the proceedings of the meeting are being recorded for the purpose of ensuring the accuracy of the Minutes. However, under the Local Government Act 1993, no other tape recording is permitted without the authority of the Council or Committee. Tape recording includes a video camera and any electronic device capable of recording speech.



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TO: Strathfield Local Planning Panel Meeting - 3 November 2022
 REPORT: SLPP – Report No. 31
 SUBJECT: S8.2-DA2022.81- 20 KARUAH STREET STRATHFIELD
 LOT: 188 DP: 15259
 DA NO. S8.2-DA2022.81

SUMMARY

Property:	20 Karuah Street STRATHFIELD Lot: 188 DP: 15259 S8.2-DA2022.81
Proposal:	S8.2 Review of the determination of DA2022/81 for the purpose of demolition of existing structures and construction of a two-storey dwelling with basement, swimming pool and associated aworks.
Applicant:	A Wu
Owner:	X Luo
Date of lodgement:	16 September 2022
Notification period:	27 September 2022 - 12 October 2022
Submissions received:	Two (2) written submissions received
Assessment officer:	L Gibson
Estimated cost of works:	\$1,583,094.00
Zoning:	R2-Low Density Residential - SLEP 2012
Heritage:	No
Flood affected:	No
Local Planning Panel Criteria	Refused at IDAP
RECOMMENDATION OF OFFICER:	REFUSAL

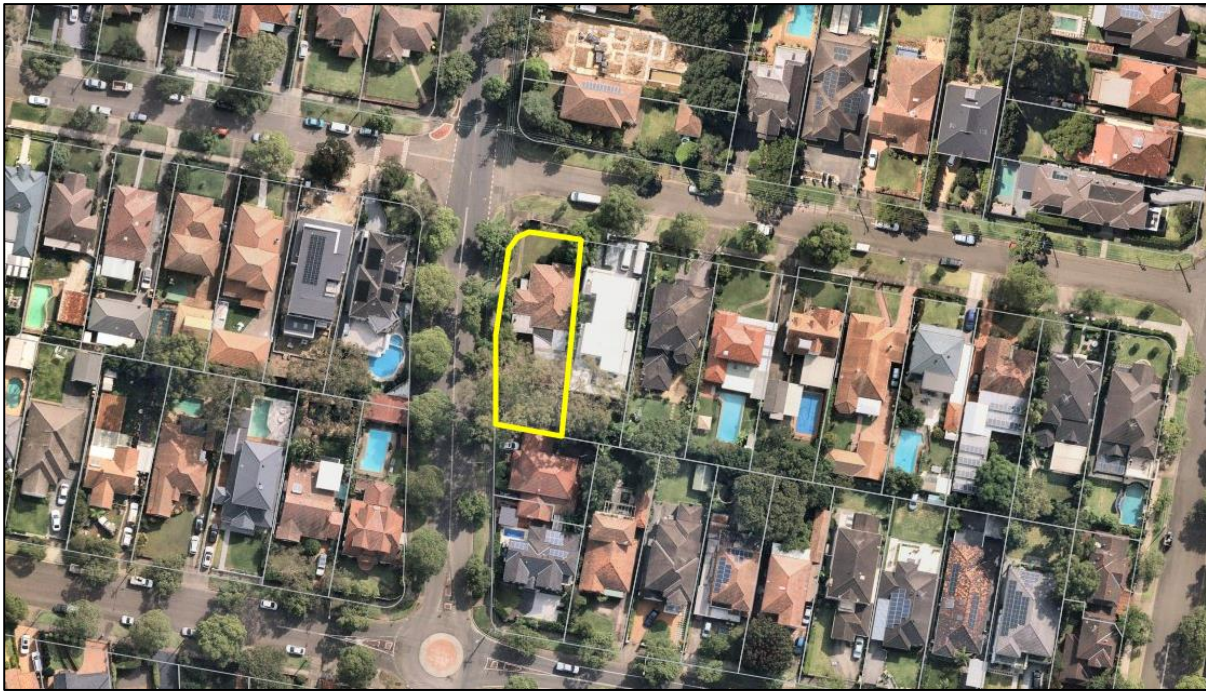


Figure 1: Aerial Image of the Subject Site Outlined in Yellow (Source: NearMaps 2022)

EXECUTIVE SUMMARY

Proposal

Development consent is being sought for the S8.2 Review of the determination of DA2022/81 for the purpose of demolition of existing structures and construction of a two-storey dwelling with basement, swimming pool and associated works.

The subject proposal has sought to relocate the driveway approximately 3m south of the location proposed under the original DA which was refused. The proposal has also sought to transplant the Council street tree approximately 3m north of its current location. All other elements of the design remain unchanged.

Site and Locality

The site is identified as 20 Karuah Street, Strathfield and has a legal description of Lot: 188 in DP: 15259. The site is a regular shaped parcel of land and is located on the south eastern corner of Karuah and Pemberton Streets. The site has a width of that ranges from 14.67m to 17.1m (given a primary frontage to Karuah Street), a depth of 45.79m and an overall site area of 746.1m². The locality surrounding the subject site comprises of detached low density residential development which is generally two storeys.

Strathfield Local Environmental Plan

The site is zoned R2-Low Density Residential under the provisions of Strathfield LEP 2012 and the proposal is a permissible form of development with Council's consent. The proposal satisfies all relevant objectives contained within the LEP.

Development Control Plan

The proposed development fails to comply with the provisions of Strathfield Consolidated DCP 2005. This is discussed in more detail in the body of the report.

Notification

The application was notified in accordance with Council's Community Participation Plan from 27 September 2022 until 12 October 2022. Two (2) submissions were received raising the following concerns for the impact on gum trees along rear property boundary.

Issues

- Council Street tree

Conclusion

Having regards to the heads of consideration under Section 4.15 of the *Environmental Planning & Assessment Act 1979*, Development Application 2022/81 is recommended for refusal subject to attached reason of refusal.

REPORT IN FULL

Background

12 August 2022	<p>Development Application (DA2022/81) was refused by IDAP for the following reasons:</p> <p>1. Refusal Reason – Environmental Planning Instrument</p> <p><i>Pursuant to Section 4.15(1)(a)(i) of the Environmental Planning and Assessment Act 1979, the proposed development does not comply with the relevant environmental planning instruments in terms of the following:</i></p> <p>(a) Chapter 2 of the State Environmental Planning Policy (Biodiversity and Conservation) 2021 due to the tree impacts; and</p> <p>(b) Clause 6.2 of the Strathfield Local Environmental Plan 2012 due to the impacts of the proposed earthworks.</p> <p>2. Refusal Reason - Development Control Plan</p> <p><i>Pursuant to Section 4.15(1)(a)(iii) of the Environmental Planning and Assessment Act 1979, the proposed development does not comply with the following sections of the Strathfield Consolidated Development Control Plan 2005 in terms of the following:</i></p> <p>(a) The proposal does not comply with the controls and objectives of Section 5 of Part A due to the impact on Tree 1 at 18 Karuah Street and the Council street tree;</p>
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	<p>(b) A portion of the front fence exceeds the 1.5m control in Section 5.2.4(3) of Part A;</p> <p>(c) The basement clearance height is insufficient and does not comply with Section 8.2.3(4) of Part A;</p> <p>(d) The proposal is antipathetic to the objectives of Section 9 of Part A; and</p> <p>(e) The proposal does not comply with the controls and objectives of Part O due to the impact on Tree 1 at 18 Karuah Street and the Council street tree.</p> <p>3. Refusal Reason – Impacts on the Environment</p> <p>Pursuant to Section 4.15(1)(b) of the Environmental Planning and Assessment Act 1979, the proposed development is likely to have an adverse impact on the following aspects of the environment:</p> <p>(a) Natural environment – the proposal has not demonstrated how the health of both Tree 1 at 18 Karuah Street and the Council street tree can be retained.</p> <p>4. Refusal Reason – Public Interest Pursuant to Section 4.15(1)(e) of the Environmental Planning and Assessment Act 1979, the proposed development is not considered to be in the public interest due to the tree impacts.</p>
16 September 2022	The subject Section 8.2 Application was lodged with Council. It is noted that the Application is subject to a prescribed period under Section 8.2 of the EP&A Act and can therefore be determined 1 year from determination.
27 September 2022	The subject Application was placed on neighbour notification for a period of 14 days in accordance with Council's CPP.
27 September 2022	Council's Assessing Officer undertook site inspection of the property.

Proposal

Council has received an application for the S8.2 Review of the determination of DA2022/81 for the purpose of demolition of existing structures and construction of a two-storey dwelling with basement, swimming pool and associated works.

The subject proposal has sought to relocate the driveway approximately 3m south of the location proposed under the original DA which was refused. The Applicant has proposed to transplant the Council street tree approximately 2m north of its current location to enable a new driveway crossover to Karuah Street. All other elements of the design remain unchanged (refer to Figures 2 – 15 below of comparisons between the refused design and proposed design).

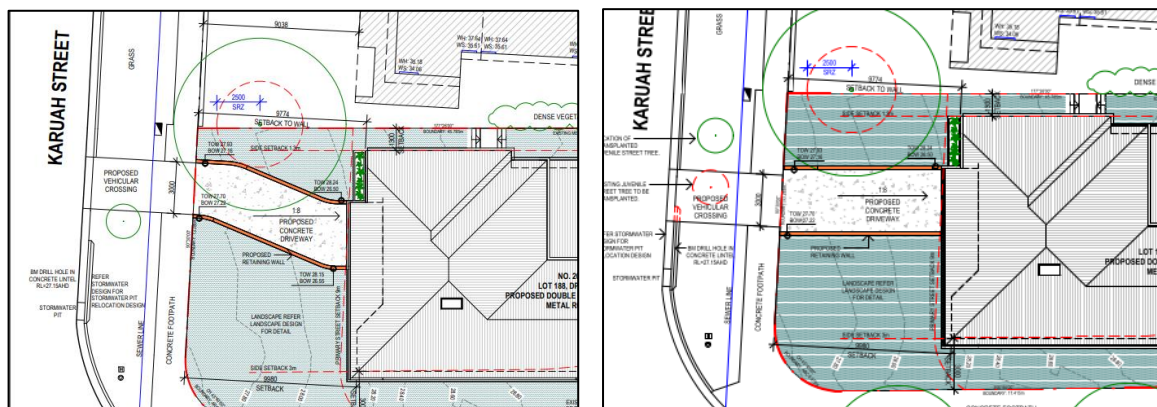


Figure 2:

Refused Driveway location (left) proposed driveway location (right)

The main reasons for refusal and how these have been addressed by the revised proposal as discussed in the table below:

<u>Reason for Refusal</u>	<u>Design Response under S8.2 Application</u>
(a) <i>The proposal does not comply with the controls and objectives of Section 5 of Part A due to the impact on Tree 1 at 18 Karuah Street and the Council street tree;</i>	Whilst the proposed relocation of the driveway would result in minimal impact on the tree at 18 Karuah Street, the proposal seeks removal of the Council street tree which still fails to address this matter.
(b) <i>A portion of the front fence exceeds the 1.5m control in Section 5.2.4(3) of Part A;</i>	The subject proposal did not include any detail of front fencing and therefore this reason has not been addressed.
(c) <i>The basement clearance height is insufficient and does not comply with Section 8.2.3(4) of Part A;</i>	The proposal still results in insufficient basement clearance height and has therefore not been addressed.
(d) <i>The proposal is antipathetic to the objectives of Section 9 of Part A;</i>	The proposal seeks to remove the Council street tree which is a direct disturbance to existing trees.
(e) <i>The proposal does not comply with the controls and objectives of Part O due to the impact on Tree 1 at 18 Karuah Street and the Council street tree.</i>	Whilst the proposed relocation of the driveway would result in minimal impact on the tree at 18 Karuah Street, the proposal seeks removal of the Council street tree which still fails to address this matter.

The proposal includes;

Basement level:

- Two car spaces; and
- Stair access to the level above.

Ground floor level:

- High ceiling open plan living/dining/family/kitchen;
- Study;
- Lounge room;
- Guest bedroom with ensuite, WIR and a small street facing balcony;
- Laundry;
- Powder room; and
- Stair access to levels above and below.

First floor level:

- Master bedroom with ensuite, WIRs and street facing balcony;
- Four other bedrooms, three with WIRs and two with ensuites; and
- Bathroom.

External works:

- Swimming pool;
- Alfresco area; and
- Associated stormwater and landscaping works

The Figures below show both the proposed dwelling design and the refused dwelling design.

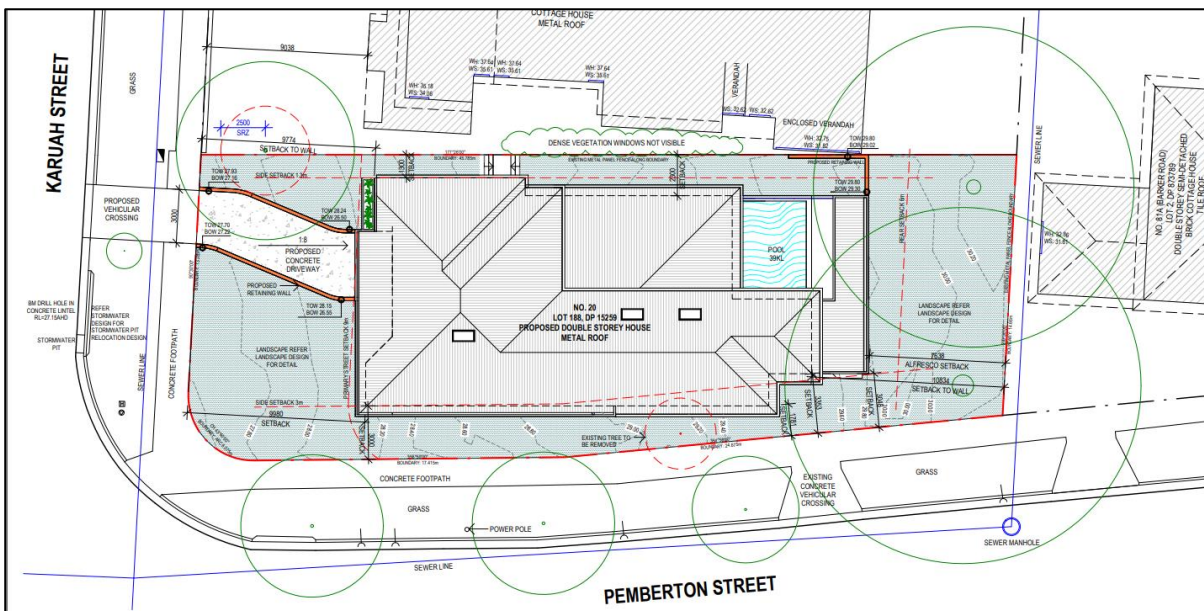


Figure 3: Refused Site Plan

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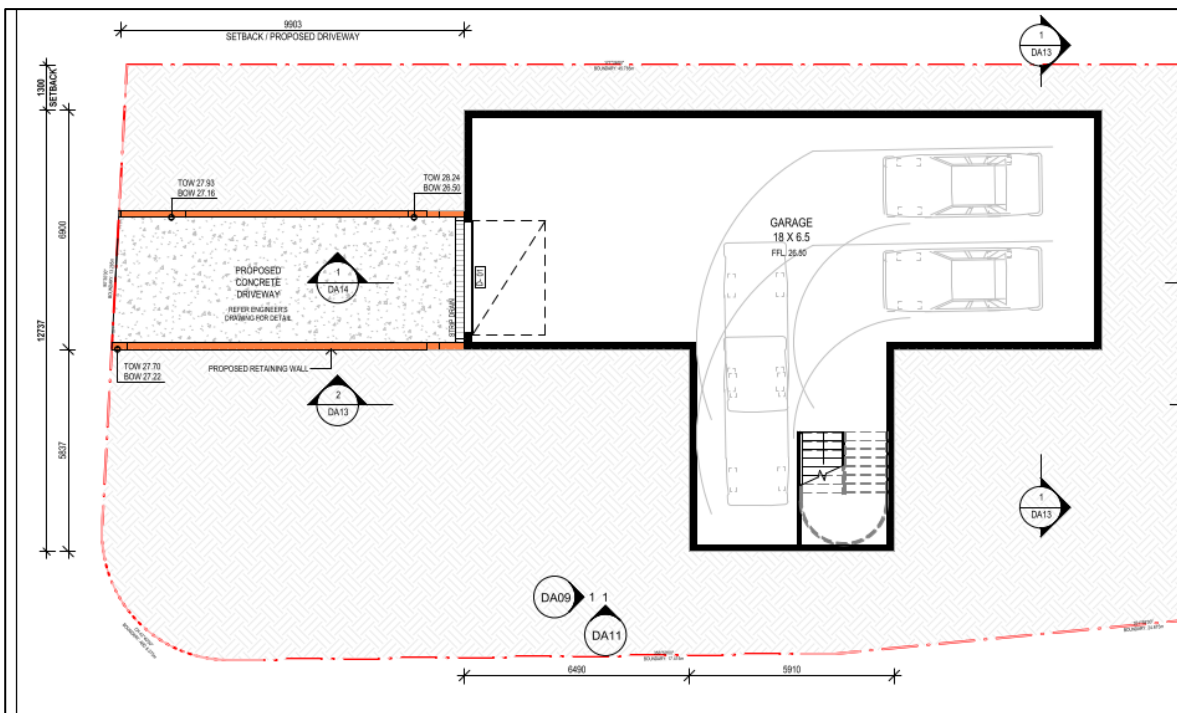


Figure 6: Proposed Basement Plan

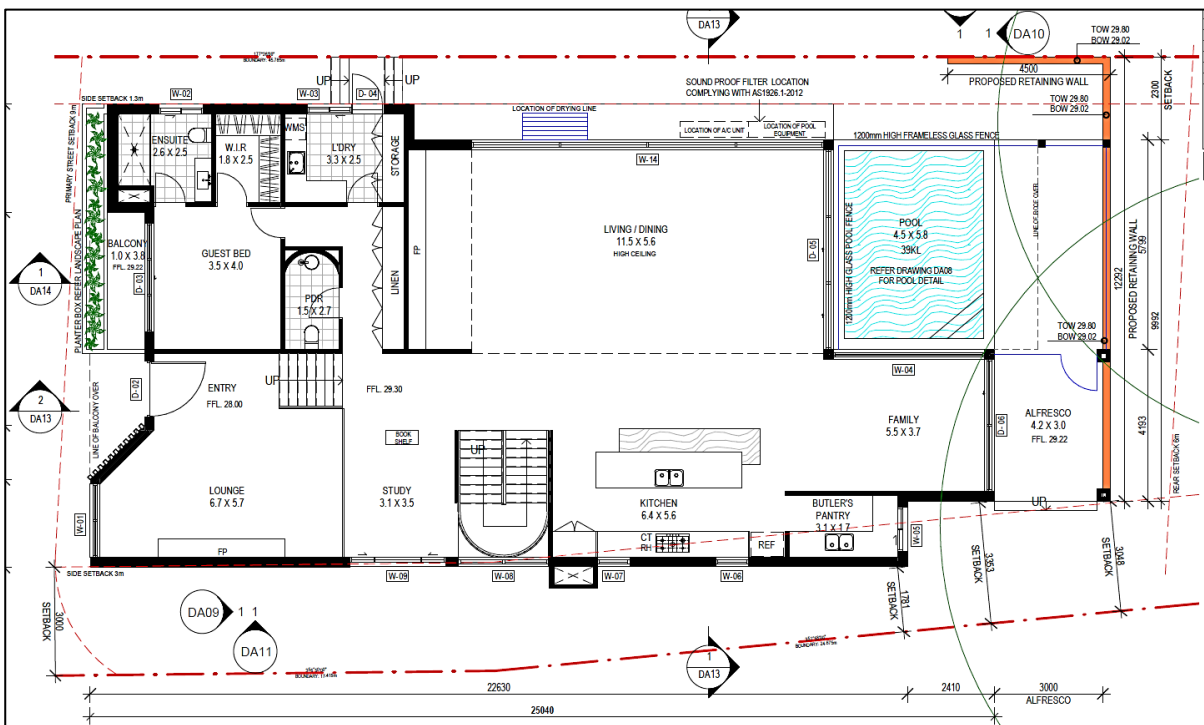


Figure 7: Refused Ground Floor Plan

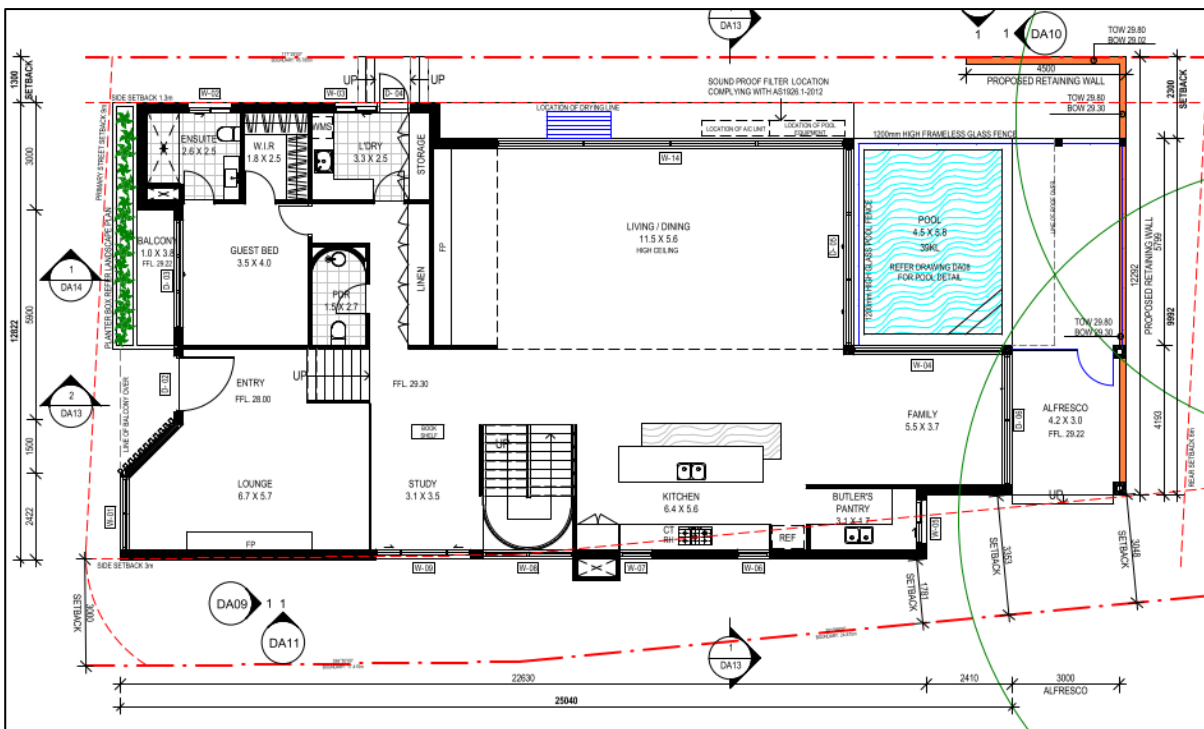


Figure 8: Proposed Ground Floor Plan



Figure 9: Refused First Floor Plan

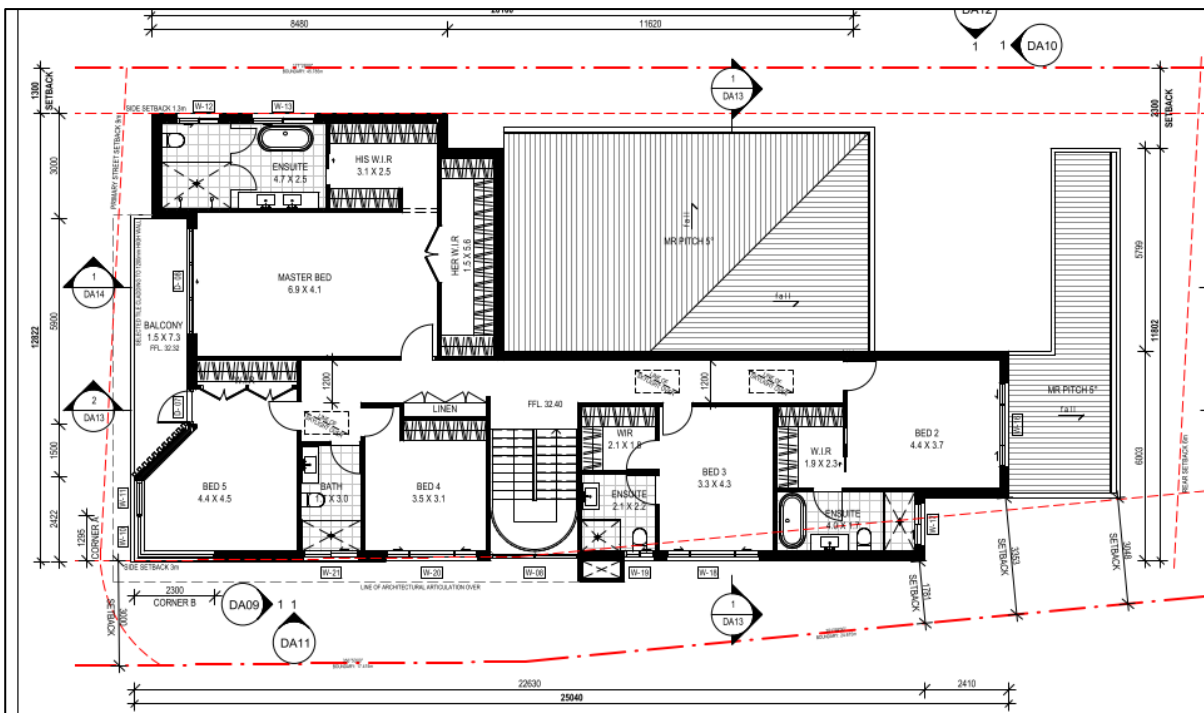


Figure 10: Proposed First Floor Plan

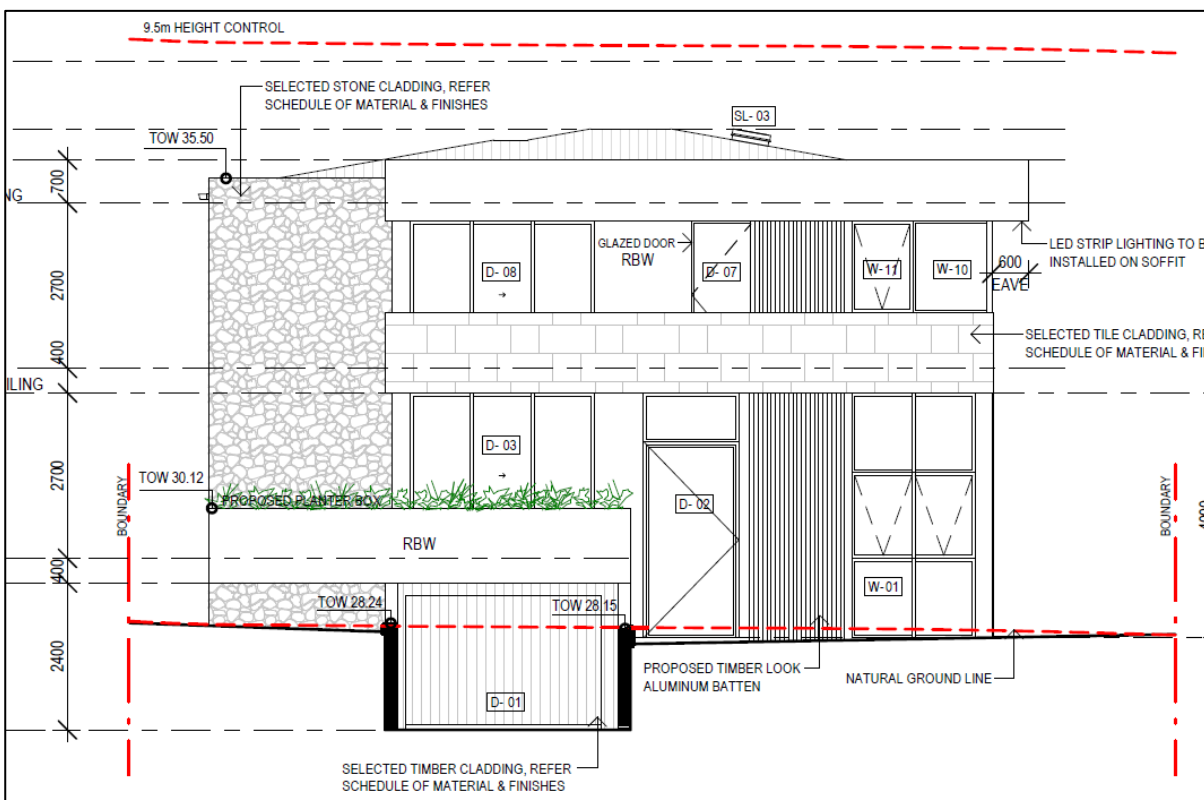


Figure 11: Refused Northern (front) Elevation to Karuah Street

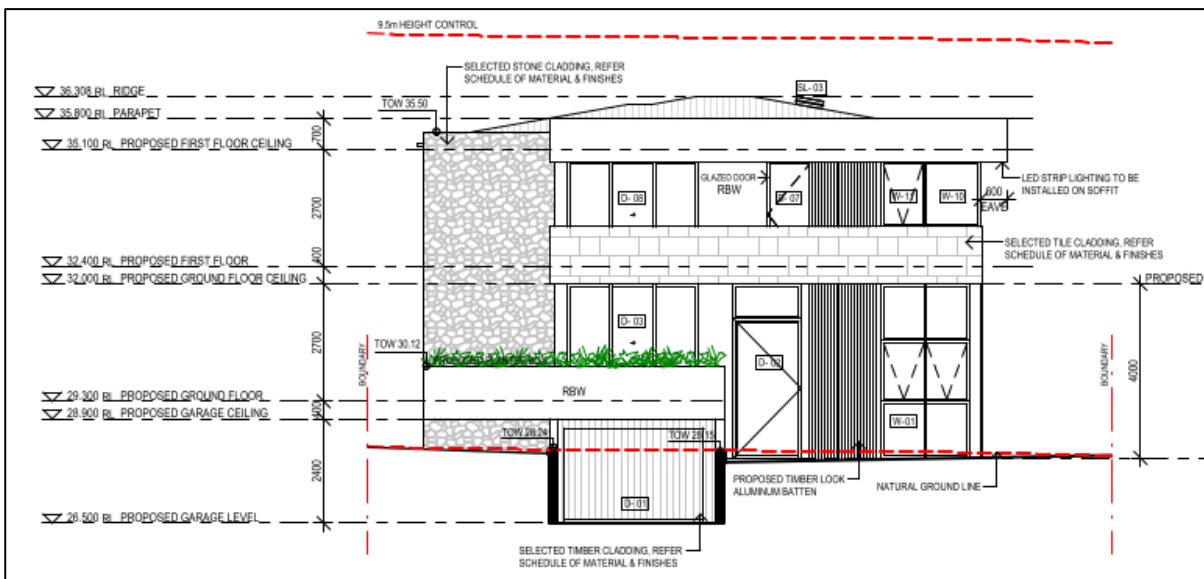


Figure 12: Proposed Northern (front) Elevation to Karuah Street

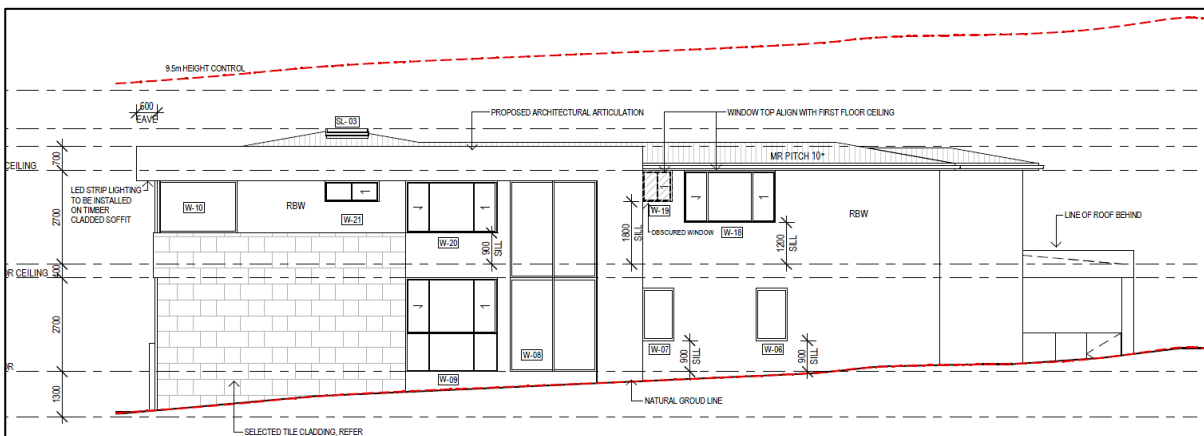


Figure 13: Refused Western Side Elevation to Pemberton Street

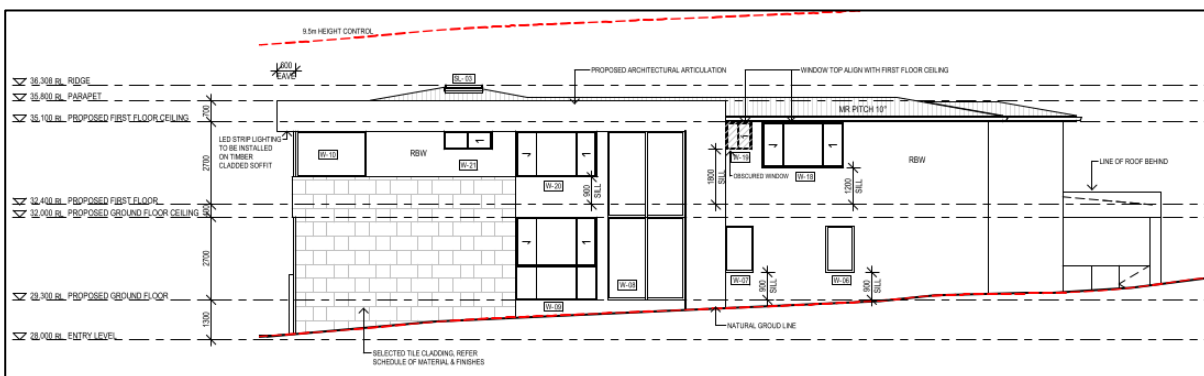


Figure 14: Proposed Western (side) Elevation to Pemberton Street

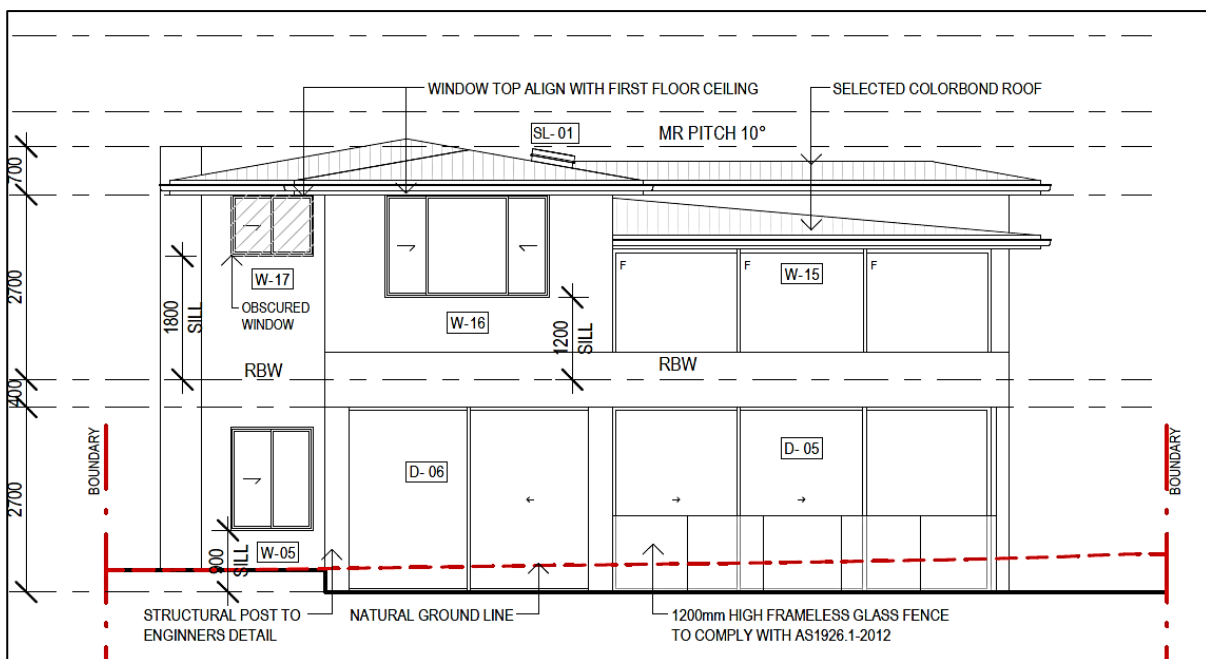


Figure 15: Refused Southern (rear) Elevation

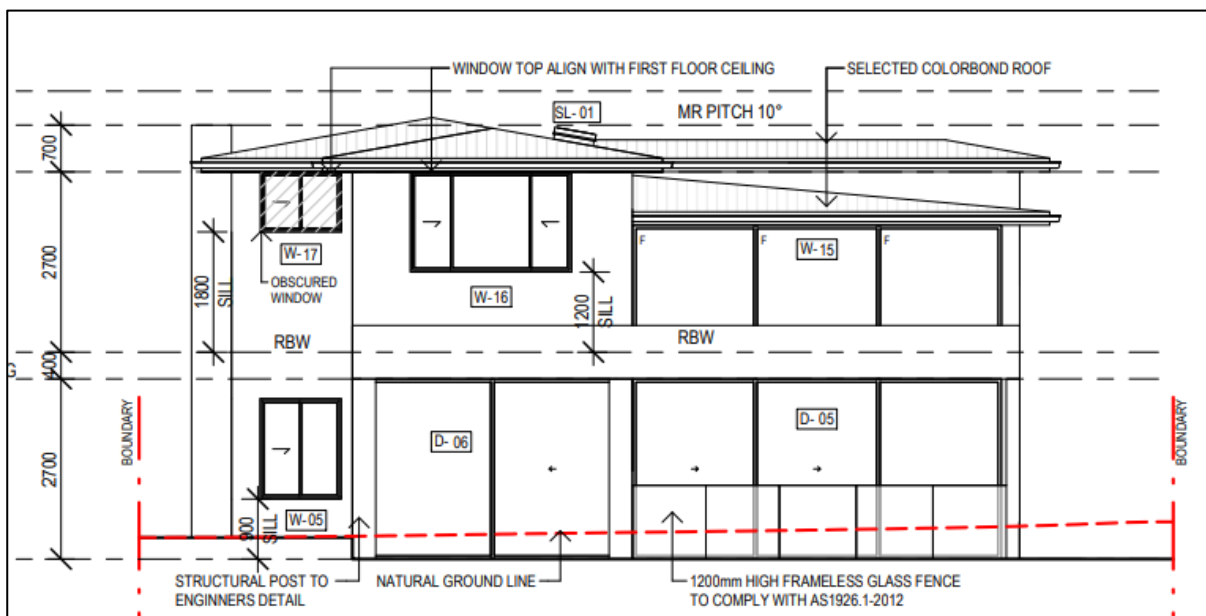


Figure 16: Proposed Southern (rear) Elevation

With regard to the above, the proposal has remained relatively unchanged with the exception of the driveway crossover location and basement driveway. It is noted that the refused basement design plan was not updated in the initial assessment so to reflect the revised basement design as shown on the refused site plan. Notwithstanding, whilst the revised design appears to achieve an appropriate distance from the neighbouring tree, the driveway is in direct conflict with the Council street tree.

The Site and Locality

The subject site is legally described as Lot: 188 in DP: 15259 and commonly known as 20 Karuah Street, Strathfield. It is located on the south eastern side of the intersection of Karuah and Pemberton Streets, with a primary frontage to Karuah Street (refer to Figure 17).



Figure 17: Closer Aerial Image of the Subject Site Outlined in Yellow

The site is rectangular in shape and has a frontage of 13.29m (excluding a splayed corner) to the north (Karuah Street), a rear boundary of 14.66m to the south, a side boundary length of 45.79m to the east, and side boundary length of 42.09m (excluding the splayed corner) to the west, providing a total site area of 746.1m². The site is relatively steep, sloping 2.85m from south (RL 30.37 AHD) to north (RL 27.52 AHD) however does not have a significant cross-fall.

There is an existing Council street tree at the front of the subject site along Karuah Street and another three along Pemberton Street. The site is occupied by a single storey blonde brick dwelling with a pitched tile roof. Vehicular access is provided to the site via an existing single width driveway from Pemberton Street to an existing brick garage and carport located in the rear yard (see Figures 18 to 20).

The current streetscape is characterised by single dwellings of varying age and architectural design. To the north, on the other side of the road, is a 2 storey brick dwelling with a pitched roof at 40 Pemberton Street. Adjoining the subject site to the east is a contemporary 2 storey rendered dwelling with a metal roof at 18 Karuah Street. Adjoining the rear boundary to the south is 81A Barker Street, comprising of a 2 storey brick dwelling with a tile roof. To the west, on the opposite side of the road is 22 Karuah Street, comprising of a rendered 2 storey dwelling with a darker colour tone.

There is an emerging character of more contemporary dwellings with rendered facades and flat roofs. This includes 18 Karuah Street directly to the east, 24 Karuah Street (CDC 2021-0140) to the west and 38 Pemberton Street (DA 2021/112) to the north (currently under construction). A number of developments in the direct vicinity also include swimming pools.



Figure 18: Subject dwelling from Karuah Street



Figure 19: Western side elevation of dwelling from Pemberton Street



Figure 20: 18 Karuah Street and subject site (left to right)



Figure 21: 22 Karuah Street located opposite the site on the western side of Pemberton Street

Referrals – Internal and External

Traffic Manager Comments:

The proposal was referred to Council's Tree Manager for comment. The following comments were made:

"The Architectural plans show a 3.0m wide driveway at the boundary, this width is acceptable. However, the location of the proposed vehicular crossing will require modifications to Council Storm water drainage network, i.e. drainage lintel and removal of the Council Street Tree."

It was suggested by Council's Traffic Manager under the original assessment of the application that the driveway be relocated further north of the proposed driveway location. This has been refused by Council's Tree Department as the revised driveway position would then conflict with the health of the neighbouring Jacaranda tree to the north as well as the health of the Council street tree which would be located less than 2m from the driveway.

No other concerns were raised by Council's Traffic Manager by way of basement design subject to conditions requiring the design of the basement to accommodate a maneuvering area to allow vehicles to enter and exit in a forward direction.

Tree Comments:

The proposal was referred to Council's Urban Forest Supervisor for comment. The following concerns were raised:

"I cannot support the transplanting of the Lophostemon Confertus as the proposed planting location will impact the neighbouring property and adjacent tree. Therefore, Council is refusing the proposal as the tree is part of the existing streetscape."

Stormwater Engineer Comments:

The proposal was referred to Council's Stormwater Engineer for comment. No concerns were raised.

Section 4.15 Assessment – EP&A Act 1979

The following is an assessment of the application with regard to Section 4.15 (1) of the Environmental Planning and Assessment Act 1979.

(1) Matters for consideration – general

In determining an application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) the provision of:**
- (i) any environmental planning instrument,**

State Environmental Planning Policies

Compliance with the relevant state environmental planning policies is detailed below:

STATE ENVIRONMENTAL PLANNING POLICY	COMPLIES
State Environmental Planning Policy (Biodiversity and Conservation) 2021 <ul style="list-style-type: none"> Chapter 2 – Vegetation in non-rural areas Chapter 10 – Sydney Harbour Catchment 	No Yes
State Environmental Planning Policy (Building Sustainability Index BASIX) 2004	Yes
State Environmental Planning Policy (Resilience and Hazards) 2021 <ul style="list-style-type: none"> Chapter 4 – Remediation of land 	Yes

STATE ENVIRONMENTAL PLANNING POLICY (BIODIVERSITY AND CONSERVATION) 2021

Chapter 2 – Vegetation in non-rural areas

The intent of this Chapter within the SEPP is related to the protection of the biodiversity values of trees and other vegetation on the site.

The intent of this Chapter within the SEPP is related to the protection of the biodiversity values of trees and other vegetation on the site.

The proposal was referred to Council's Urban Forest Supervisor whom raised concern for the proposed removal of the Council street tree to accommodate the new driveway.

There is limited opportunity for the tree to be relocated elsewhere along the Council verge given the stormwater pit located along the verge, a neighbouring Jacaranda tree located along the northern boundary and the intersection of Pemberton Street and Karuah Street immediately south of the site which requires sight lines to be maintained for motorists.

Council's Urban Forest Supervisor has advised that the Council street tree is of a species which requires sufficient space to grow and that if the driveway were to be located where it is currently proposed, a new tree species would have to be planted and the current tree removed from site. For these reasons, the proposal cannot be supported.

The aims and objectives outlined within the SEPP are considered to be satisfied.

Chapter 10 – Sydney harbour Catchment

All stormwater from the proposed development as modified can be treated in accordance with Council's Stormwater Management Code and would satisfy the relevant planning principles of Chapter 10 - Sydney Harbour Catchment.

STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

A BASIX Certificate has been issued for the proposed development and the commitments required by the BASIX Certificate have been satisfied.

STATE ENVIRONMENTAL PLANNING POLICY (RESILIENCE AND HAZARDS) 2021

Chapter 4 – Remediation of land

Chapter 4 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations.

The objectives outlined within Chapter 4 of the SEPP are considered to be satisfied.

Strathfield Local Environmental Plan

The development site is subject to the Strathfield Local Environmental Plan 2012

Part 2 – Permitted or Prohibited Development

Clause 2.1 – Land Use Zones

The subject site is zoned R2-Low Density Residential and the proposal is a permissible form of development with Council's consent.

Part 4 – Principal Development Standards

Applicable SLEP 2012 Clause	Development Standards	Development Proposal	Compliance/ Comment
4.3 Height of Buildings	9.5m	7.7m	YES
4.4 Floor Space Ratio	0.575:1 (429.01m ²)	0.56:1 (418.9m ²)	YES

Part 5 – Miscellaneous Provisions

Heritage Conservation

The subject site is not listed as a heritage item or located within a heritage conservation area. The site does not adjoin nor is in close proximity to a heritage item and as such, the provisions of this clause are not applicable.

Flood Planning

The proposed site has not been identified within the flood planning levels and as such, the provisions of this Clause are not applicable to the subject development.

Part 6 – Additional Local Provisions

Acid Sulfate Soils

The subject site is identified as having Class 5 Acid Sulfate Soils but is not located within 500m of a Class 1, 2 3 or 4 soils. Therefore, Development Consent under the provisions of this section is not required and as such an Acid Sulfate Soils Management Plan is not required.

Earthworks

Clause 6.2 of the SLEP 2012 contains objectives and controls relating to earthworks. The proposal involves significant excavation works for the provision of a basement, driveway ramps and ancillary works. The extent of excavation has been limited to the footprint of the ground floor above and access to and from the basement. The depth of excavation has been kept to minimum requirements to comply with Council's SCDP 2005 controls and all ancillary works have been limited to what is required to provide access to and from the basement.

Essential Services

Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well serviced area and features existing water and electricity connection and access to Council's stormwater drainage system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development

It is considered that the proposed development satisfies the aims, objectives and development standards, where relevant, of the Strathfield LEP 2012.

(ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority, and

There are no draft planning instruments that are applicable to this site.

(iii) any development control plan,

The proposed development is subject to the provisions of the Strathfield Consolidated Development Control Plan 2005. The following comments are made with respect to the proposal satisfying the objectives and controls contained within the DCP.

Applicable DCP Controls	DCP Controls	Development Proposal	Compliance/ Comment
Building Envelope			
Heights:			
Floor to ceiling heights:	3.0m	2.7m – 5m	No – refer to discussion below.
Height to underside of eaves:	7.2m	7.1m	Yes
Parapet height:	0.8m	0.7m	Yes
Basement height above NGL:	1.0m	0.90m	Yes
Number of Storeys/Levels:	2	2	Yes
Setbacks:			
Front:	9m	9.9m	Yes
Side:	1.2m (min)	1.3m – 2.3m (east)	Yes
Side:	1.2m (min)	1.78m – 3.m (west)	Yes
Combined Side Setback:	3.048m (20%)	4.3m	Yes
Rear:	6m	7.64m	Yes

Landscaping			
Landscaping/Deepsoil Provisions:	43% (320.82m ²)	43.3% (323.30m ²)	Yes
Fencing			
Height (overall/piers): Solid Component: Secondary Frontage:	1.5m (maximum) 0.7m 1.8m	No fencing details have been provided as part of this application.	N/A
Solar Access			
POS or habitable windows	3hrs to habitable windows and to 50% of POS	>3 hours	Yes
Vehicle Access and Parking			
Driveway width at Boundary:	3m	3m	Yes
Vehicular Crossing:	1	1	Yes
Driveway setback – side:	0.5m	4.3m	Yes
No. of Parking Spaces:	2	2	Yes
Basement:			
Basement protrusion:	Less than 1.0m	900mm	Yes
Basement ramp/driveway	3.5m	3.5m	Yes
Internal height:	2.2m	2.1m	No
Ancillary Development			
SWIMMING POOL Side/Rear Setback	1.0m	2.36m from eastern side boundary and 3.25m from rear southern boundary.	Yes

The proposal is generally consistent with the SCDCP 2005 provisions, however cannot be supported on the basis of the likely tree impacts beyond the subject site. Compliance with the relevant provisions will be discussed in more detail below.

Building Envelope

The proposed development satisfies the objectives and controls within the development control plan relevant to:

- Building scale, height and floor space ratio
- Rhythm of built elements in the streetscape,
- Fenestration and external materials, and
- Street edge.

Floor to Ceiling Heights / Void Spaces

The proposal results in a void to a height of 4m to the front entry and lounge room and a rear void over the living/dining room area to a height of 5m. All remaining floor to ceiling heights to the ground floor and first floor remain at 2.7m. The entry ceiling height of 4m is a result of the undulating topography of the site which slopes down in the north western corner of the site toward the street. The increased floor to ceiling heights allows for the first floor to remain at the same height which improves access and amenity for future residents of the site. The void above the living/dining area results in a floor to ceiling height of 5m. The objectives of the height provisions of the SCDGP 2005 are as follows:

- A. To ensure that dwellings are compatible with the built form of the local area and that overall bulk and scale, size and height of dwellings relative to natural ground level responds to the adjoining dwellings, topography and desired future character.*
- B. To minimise impact on the amenity of adjoining properties.*
- C. To establish and maintain the desired setbacks from the street and define the street edge.*
- D. To create a perception or reinforce a sense of openness in the locality.*
- E. To maintain view corridors between dwellings.*
- F. To assist in achieving passive surveillance whilst protecting visual privacy.*
- G. To provide a transitional area between public and private space.*

The proposed void area is located near the rear of the dwelling where it will not be readily visible from the public domain. Accordingly, it will not materially impact the character of the area nor impact any potential view corridors.

Although the void does not contribute to GFA, a relevant consideration is whether the built form could have been improved if upper level GFA was relocated to the location of the void. This would not be appropriate in the circumstances of this particular case given the only adjoining dwelling is to the east and therefore the habitable floor space would have, in any event, remained massed towards the west. This is also not a fair comparison given the height of the void has been reduced such that it is insufficient to act as habitable floor area. There will not be significant solar impacts as will be addressed in the relevant section below. The void will allow additional sunlight to penetrate into the primary living areas. Accordingly, the void will improve the amenity for residents without readily impacting neighbours.

For these reasons, although the void exceeds the floor to ceiling height, it is considered acceptable in its reduced form.

Overall, the dwelling remains compliant with the prescribed wall and building height provisions which demonstrate that the dwelling is of an appropriate height and scale for the streetscape.

Accordingly, the non-compliance is considered acceptable in this instance.

Landscaping and Open Space

The proposed development satisfies the relevant objectives and controls of the SCDGP 2005. The development is considered to enhance the existing streetscape, adequate areas for deep soil planting have been provided and can accommodate large canopy trees and where possible trees have been retained and protected.

Fencing

Whilst it is acknowledged that a front fence design was prepared and submitted with the original application, a front fence design was not submitted as part of the Section 8.2 review package. Accordingly, an assessment against the fencing requirements has not been undertaken and the fence will not form part of this application in the event of an approval.

Solar Access

Given the orientation of the site, solar access to windows of habitable rooms and to at least 50% of the private open space is achieved or maintained for a minimum period of 3 hours between 9.00am-3:00pm at the winter solstice. Solar access is also achieved or maintained to the private open space of the adjoining premises. The proposal is considered to generally satisfy the relevant objectives and controls of the SCDP 2005.

Privacy

As the subject site is located on a corner allotment, the only dwelling adjoining a side boundary is to the east at 18 Karuah Street. Sightlines from the ground floor are obscured by the boundary fence and dense landscaping on the neighbouring site. The alfresco area at the rear is set into the existing ground level. There are no window openings on the upper level towards the east, other than the ensuite. These are highlight windows servicing a non-habitable room. Accordingly, there will not be privacy impacts and the proposed development satisfies the relevant privacy objectives and controls of the SCDP 2005.

Vehicular access, Parking and Basements

The proposed development satisfies the relevant objectives and controls of the SCDP 2005 in that it provides the minimum number of required parking spaces and adequate vehicular access provisions. The basement has been kept to less than 1m above natural ground level, does not extend beyond the ground floor above, and has been designed so that vehicles can enter and exit in a forward direction.

The basement ramp width varies from 3m at the boundary to 3.5m at the basement entrance which achieves the minimum 3.5m SCDP 2005 provisions.

The long section shows the basement entry as having a floor to ceiling height of 2.1m which falls short of the 2.2m minimum in the SCDP 2005. The insufficient headroom for vehicles forms a reason for refusal.

Cut and fill

The proposed development is considered to satisfy the relevant objectives and controls of the SCDP 2005, in that the need for cut and fill has been kept to a minimum and existing ground levels have been maintained where appropriate to reduced site disturbance. There are also unlikely to be impacts on overland flow and drainage is minimised. However, the excavation and new driveway location will result in impacts on the Council Street Tree which is considered contrary to Council's DCP objectives.

Water and Soil Management

The proposed development satisfies the relevant objectives and controls of the SCDP 2005 and complies with Council's Stormwater Management Code. A soil erosion plan has been submitted with the application to prevent or minimise soil disturbances during construction.

Access, Safety and Security

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005. Separate pedestrian and vehicle access provisions are provided, passive surveillance of the public street has been provided providing safety and perception of safety in the street.

ANCILLARY STRUCTURES

Swimming Pools, Spas & Associated Enclosures

The proposed development satisfies the relevant objectives and controls with SCDCP 2005. The pool has been adequately setback from all adjoining boundaries, allowing for screen planting if required. The pool pump equipment is proposed along the site's eastern side elevation and is located in a sound proof enclosure so as not to adversely impact adjoining neighbours. The pool coping has been designed to suit the existing ground level of the site and is capable of complying with the swimming pools act and relevant standards.

PART H – Waste Management (SCDCP 2005)

In accordance with Part H of Strathfield CDCP 2005, a waste management plan was submitted with the application. The plan details measure for waste during demolition and construction, and the on-going waste generated by the development during its use. It is considered that this plan adequately address Part H and considered satisfactory.

(iv) Any matters prescribed by the regulations, that apply to the land to which the development application relates,

The requirements of Australian Standard AS2601–1991: *The Demolition of Structures* is relevant to the determination of a development application for the demolition of a building.

The proposed development does involve the demolition of a building. Should this application be approved, appropriate conditions of consent may be imposed to ensure compliance with the requirements of the above standard.

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

The proposed development is of a scale and character that is in keeping with other developments being constructed in the locality. Accordingly, the proposal is not considered to have a significant impact on the built environment or any negative social or economic impacts on the locality. As assessed earlier in this report, the environmental amenity impacts are also considered acceptable. However, the impact on the Council street tree is an unacceptable impact on the natural environment.

(c) the suitability of the site for the development,

It is considered that the proposed development is of a scale and design that is suitable for the site having regard to its size and shape, its topography, vegetation and relationship to adjoining developments.

(d) any submissions made in accordance with this Act or the regulations,

In accordance with the provisions of Councils Community Participation Plan, the application was placed on neighbour notification for a period of fourteen (14) days where adjoining property owners were notified in writing of the proposal and invited to comment. Two (2) submissions were received raising the following concerns:

- 1. Endangerment of 2 gum trees to the rear of the property – concern is raised by the adjoining neighbours at 81A Barker Road, Strathfield and 18 Karuah Street, Strathfield and any impact the proposal may have on the health and vitality of the trees.**

Comment: The proposal was referred to Council's Tree Department for comment. Whilst they have raised concerns for the health and vitality of the Council street tree on Karuah Street, no concerns are raised with regard to the 2 gum trees located in the rear yard. The closest site structure will be located 4.8m from the gum trees which comprises the alfresco area. As the application is recommended for refusal, a future conversation can be had between the two neighbours whereby a tree pruning permit can be applied for with Council for so to alleviate adverse impacts of branches extending into adjoining properties.

Mediation with Objectors

Both of the objectors were contacted via email following receipt of their submission and advising that the application would be recommended for refusal. Nevertheless, their concerns have been discussed in this section.

(e) the public interest.

The proposed development is generally considered in the public interest however the impacts on the Council street tree beyond the subject site are not. This forms a recommended reason for refusal.

Local Infrastructure Contributions

Section 7.13 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. This section prescribes in part as follows:

A consent authority may impose a condition under section 7.11 or 7.12 only if it is of a kind allowed by, and is determined in accordance with, a contributions plan (subject to any direction of the Minister under this Division).

STRATHFIELD INDIRECT SECTION 7.12 CONTRIBUTIONS PLAN

Section 7.12 Contributions are applicable to the proposed development in accordance with the Strathfield Indirect Development Contributions Plan as follows:

Based on the Cost of Works of \$1,583,094 and in accordance with Council's Section 7.12 Indirect Contributions Plan, a contribution of 1% of the cost of works is applicable. In this regard, the contribution is as follows;

Local Amenity Improvement Levy	\$15,831
--------------------------------	----------

Conclusion

The application has been assessed having regard to the Heads of Consideration under Section 4.15 (1) of the *Environmental Planning and Assessment Act 1979*, the provisions of the SLEP 2012 and SCDCP 2005.

Following detailed assessment it is considered that Development Application No. 2022/81 should be refused subject to reasons attached.



Signed:

L Gibson
Senior Planner

Date: 19 October 2022



I confirm that I have assessed the abovementioned development application with the delegations assigned to my position;



I have reviewed the details of this development application and I also certify that Section 7.12 Contributions are applicable to this development and have been levied accordingly;

Report and recommendations have been peer reviewed by;



Signed:

P Santos
Senior Planner

Date: 20 October 2022

That Development Application No. S8.2-DA2022.81 for S8.2 Review of the determination of DA2022/81 for the purpose of demolition of existing structures and construction of a two-storey dwelling with basement, swimming pool and associated works at 20 Karuah Street STRATHFIELD be **REFUSED**, for the following reasons:

REFUSAL REASONS

Under Section 4.16(1)(b) of the Environmental Planning and Assessment 1979, this consent is REFUSED for the following reasons;

1. Refusal Reason – Environmental Planning Instrument

Pursuant to Section 4.15(1)(a)(i) of the [Environmental Planning and Assessment Act 1979](#), the proposed development does not comply with the relevant environmental planning instruments in terms of the following:

- (a) Chapter 2 of the State Environmental Planning Policy (Biodiversity and Conservation) 2021 due to the tree impacts.

2. Refusal Reason - Development Control Plan

Pursuant to Section 4.15(1)(a)(iii) of the [Environmental Planning and Assessment Act 1979](#), the proposed development does not comply with the following sections of the Strathfield Consolidated Development Control Plan 2005 in terms of the following:

- (a) The proposal does not comply with the controls and objectives of Section 5 of Part A due to the impact on the Council street tree;
- (b) The basement clearance height is insufficient and does not comply with Section 8.2.3(4) of Part A;
- (c) The proposal does not comply with the controls and objectives of Part O due to the impact on the Council street tree.

3. Refusal Reason – Impacts on the Environment

Pursuant to Section 4.15(1)(b) of the [Environmental Planning and Assessment Act 1979](#), the proposed development is likely to have an adverse impact on the following aspects of the environment:

- (a) Natural environment – the proposal has not demonstrated how the health of the Council street tree can be retained.

4. Refusal Reason – Public Interest

Pursuant to Section 4.15(1)(e) of the [Environmental Planning and Assessment Act 1979](#), the proposed development is not considered to be in the public interest due to the tree impacts.

ATTACHMENTS

1. [Download](#) S8.2-DA2022.81- 20 Karuah St STRATHFIELD-Architectural Plans

STRATHFIELD COUNCIL LEP & DCP - 2005 - COMPLIANCE TABLE

DCP PART A - DWELLING HOUSES

SUMMARY OF KEY CONTROLS

SITE AREA: 746.1m² SITE FRONTAGE: 13.285m & ARC 6.075m

DETAILS	CONTROL	PROPOSED	COMPLIANCE
LEP 4.3 Height	Max. building height: 9.5m	8.6m	Yes
DCP Part A Section 4.2.3.1	Min. primary street setback: 9m	9.77m	Yes
	Min. side setback: 3.65m - 4.3m overall	Min. 4m overall	Yes
	Min. rear setback: 6m	7.6m	Yes
Section 4.4C Floor space ratio	Max floor space ratio: 0.575:1	0.56:1	Yes
Section 5.2.1 Landscape	Min. landscape area: 43%	48.3%	Yes
Section 5.2.3 Private Open space	The principal private open space: minimum 10m ² with minimum dimension of 3.0m	Refer landscape plan	Yes

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AS22001

DRAWING SCHEDULE	
DA00	COVER PAGE
DA01	SITE PLAN
DA02	SITE ANAYSIS PLAN
DA03	DEMOLITION PLAN
DA04	PROPOSED GARAGE FLOOR PLAN
DA05	PROPOSED GROUND FLOOR PLAN
DA06	PROPOSED FIRST FLOOR PLAN
DA07	PROPOSED ROOF PLAN
DA08	POOL DETAILS
DA09	NORTH ELEVATION
DA10	SOUTH ELEVATION
DA11	WEST ELEVATION

DRAWING SCHEDULE	
DA12	EAST ELEVATION
DA13	SECTIONS
DA14	SECTION & STREETSCAPE
DA15	AREA CALCULATION
DA16	SCHEDULE OF MATERIAL & FINISHES
DA17	PERSPECTIVES
DA18	PERSPECTIVES
DA19	SHADOW DIAGRAM
DA20	SHADOW DIAGRAM
DA21	SHADOW DIAGRAM
DA22	EROSION AND SEDIMENT CONTROL PLAN
DA23	NOTIFICATION PLAN

DEVELOPMENT APPLICATION

20 KARUAH STREET, STRATHFIELD 2135



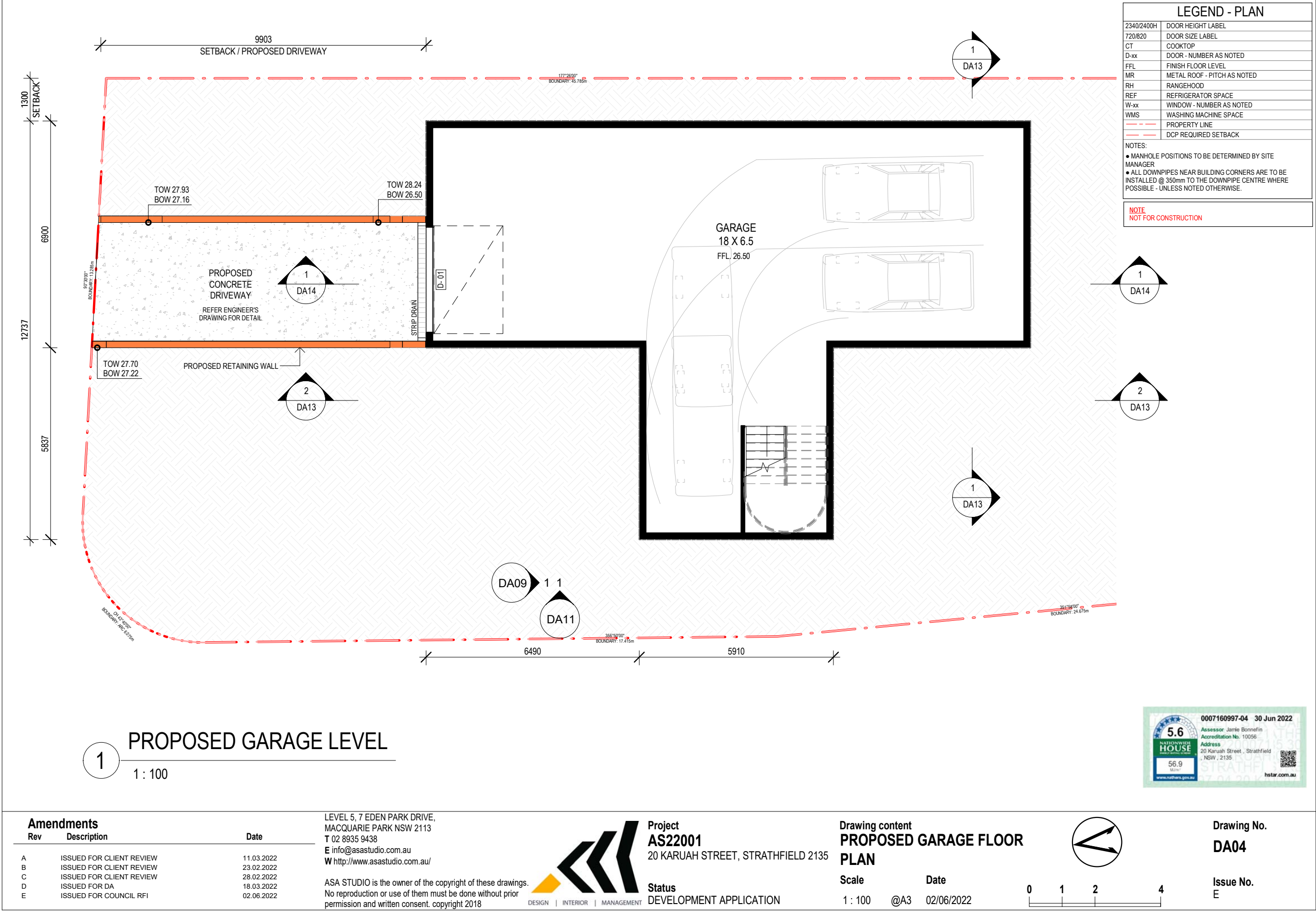
LOCATION PLAN

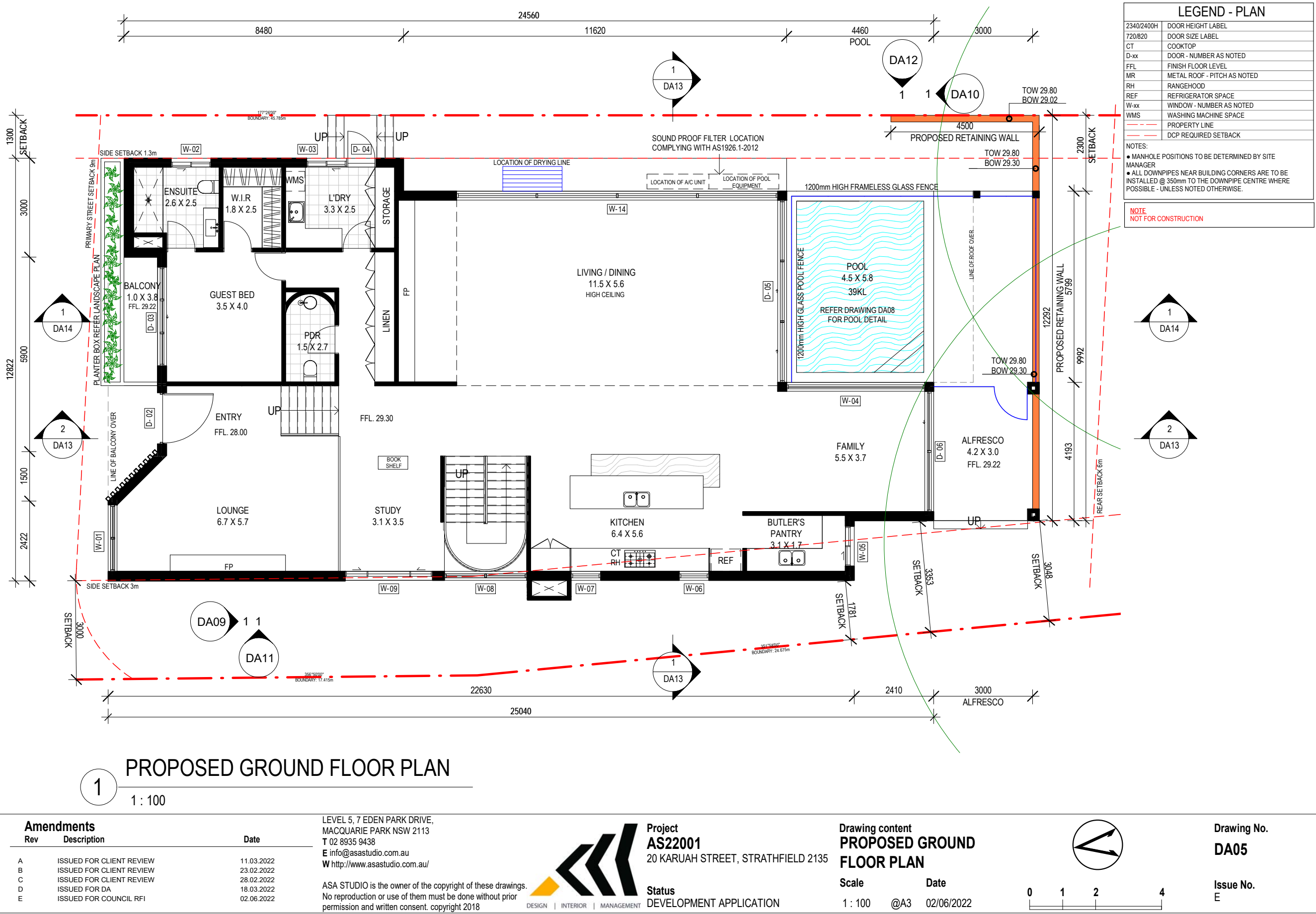
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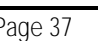


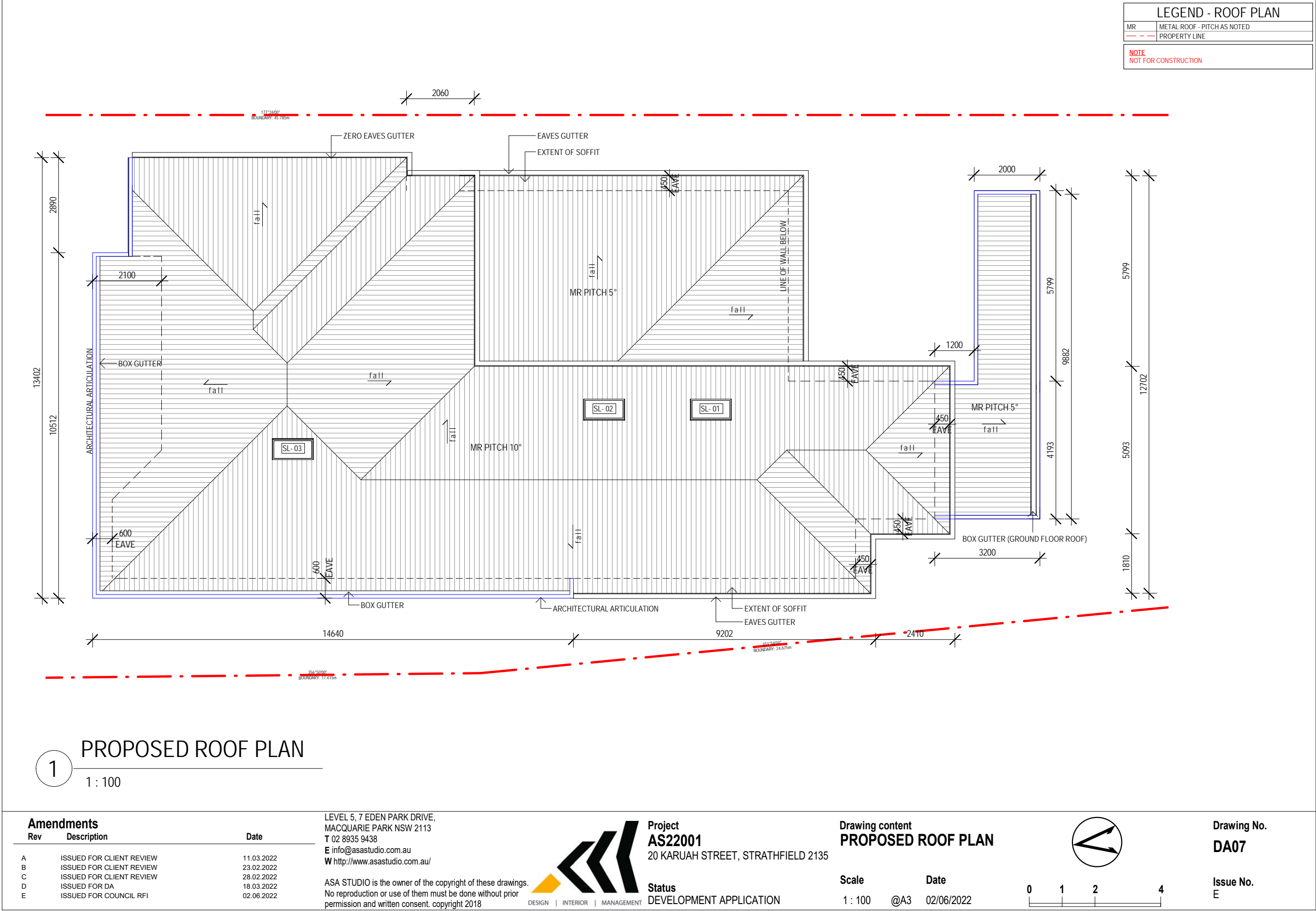


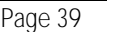

















EXTERNAL FINISHES		
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE		
WALL TYPE & FINISH:		
	RBW	RENDERED BRICKWORK
		EXTERNAL TILE CLADDING
		EXTERNAL TIMBER CLADDING
BOW	BOTTOM OF WALL	
COS	CHECK ON SITE	
D - xx	DOOR - NUMBER AS NOTED	
F	FIXED	
MR	METAL ROOF - PITCH AS NOTED	
TOW	TOP OF WALL	
W - xx	WINDOW - NUMBER AS NOTED	

WINDOW SCHEDULE

No.	HEIGHT	WIDTH	OPERATION	COMMENTS
01	4000	2025	AWNING	
02	900	1210	SLIDING	OBSCURED
03	1200	1210	SLIDING	
04	2700	4190	FIXED	
05	1500	1210	SLIDING	
06	1500	900	FIXED	
07	1500	900	FIXED	
08	5500	2500	FIXED	
09	2700	2650	SLIDING	
10	1485	2300		CORNER WINDOW CORNER A: 1295W X 1785H CORNER B: 2300W X 1785H
11	1485	1000	FIXED	
12	600	1210	SLIDING	
13	600	1810	SLIDING	
14	900	9740	FIXED	
15	2300	5525	FIXED	
16	1500	2410	SLIDING	
17	900	1210	SLIDING	OBSCURED
18	1500	2650	SLIDING	
19	900	850	SLIDING	OBSCURED
20	1500	2650	SLIDING	
21	600	1570	SLIDING	OBSCURED

SKYLIGHT WINDOW SCHEDULE				
No.	HEIGHT	WIDTH	OPERATION	COMMENTS
SL- 01	600	1200		
SL- 02	600	1200		
SL- 03	600	1200		

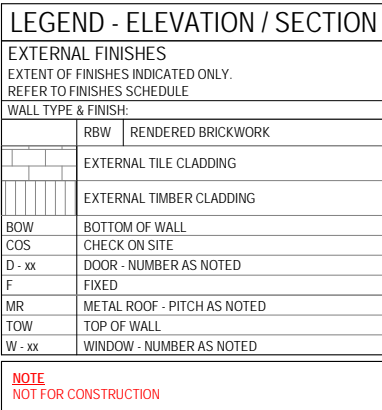
EXTERNAL DOOR SCHEDULE				
NO.	HEIGHT	WIDTH	OPERATION	COMMENTS
01	2100	3200		GARAGE
02	4000	1500	HINGE	3200mm HIGH DOOR WITH 800mm HIGH WINDOW ON TOP
03	2700	3000	SLIDING	
04	2340	820	HINGE	
05	2700	5525	STACKING	
06	2700	3650	SLIDING	
07	2400	920		GLAZED
08	2400	3000	SLIDING	


5.6
 NATIONWIDE
 HOUSE
 INDUSTRY ACCREDITED AUSTRALIA
56.9
 MARK

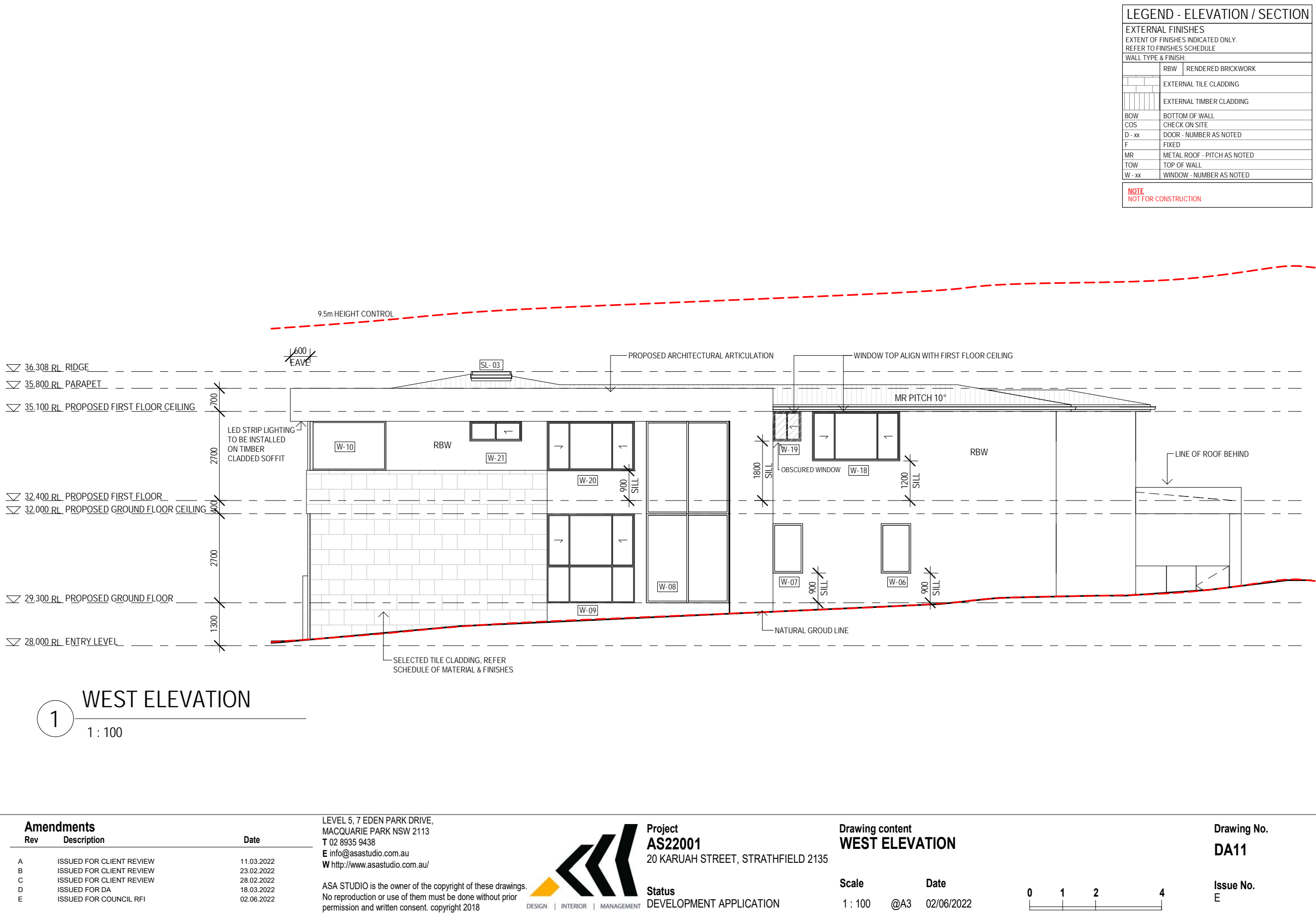
0007160997-04 30 Jun 2022
Assessor: Jamie Bonnerin
Accreditation No: 10056
Address:
 20 Karuah Street, Strathfield
 NSW, 2135



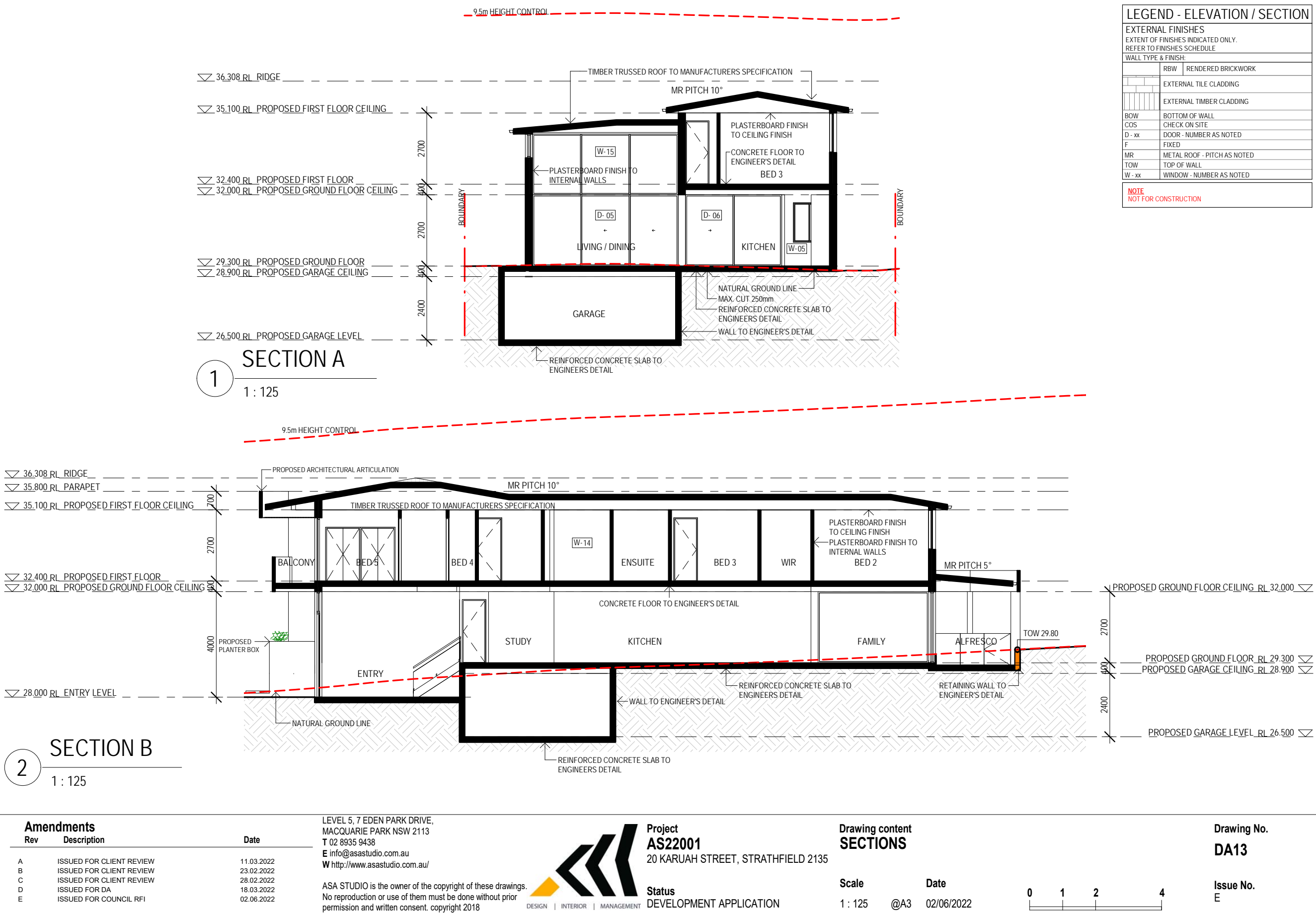
www.nahri.org.au
hstar.com.au

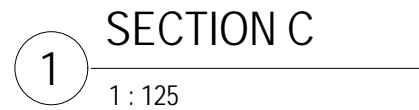


Issue No.
E

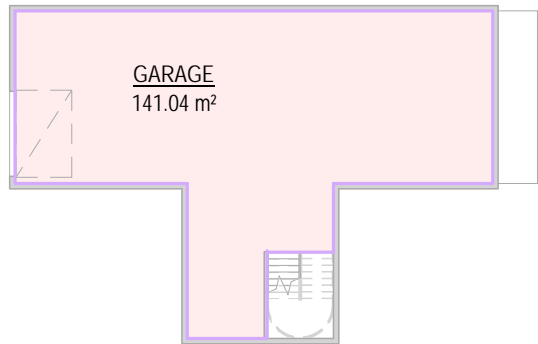




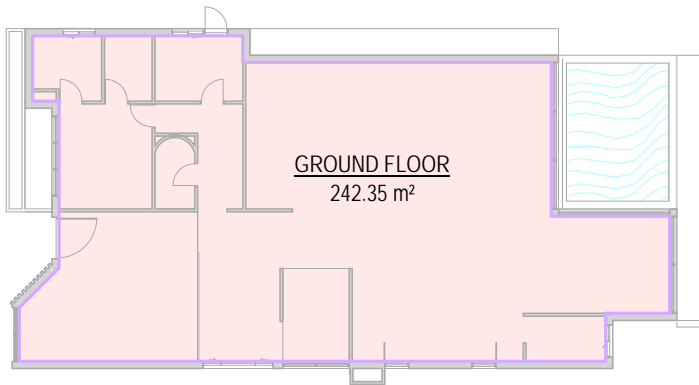




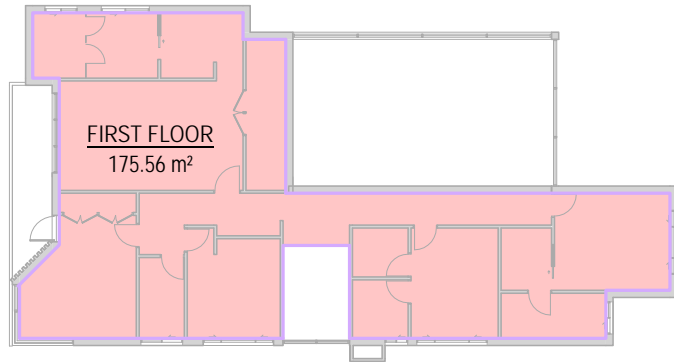
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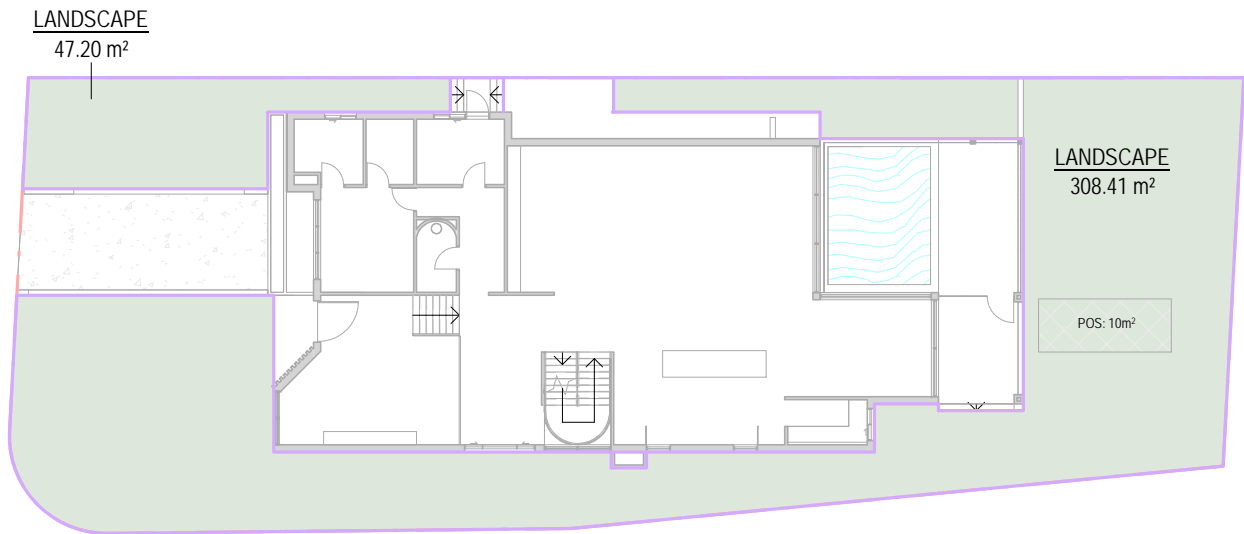
1 GARAGE AREA CALCULATION
1 : 250



2 GROUND FLOOR AREA CALCULATION
1 : 250



3 FIRST FLOOR AREA CALCULATION
1 : 250



4 SITE COVERAGE CALCULATION
1 : 250

GROSS FLOOR AREA(m²)	
FIRST FLOOR	175.56 m²
GROUND FLOOR	242.35 m²
TOTAL GFA	417.91 m²

LANDSCAPE AREA CALCULATION (m²)	
LANDSCAPE	47.20 m²
LANDSCAPE	308.41 m²
TOTAL	355.61 m²



Amendments		
Rev	Description	Date
A	ISSUED FOR CLIENT REVIEW	11.03.2022
B	ISSUED FOR CLIENT REVIEW	23.02.2022
C	ISSUED FOR CLIENT REVIEW	28.02.2022
D	ISSUED FOR DA	18.03.2022
E	ISSUED FOR COUNCIL RFI	02.06.2022

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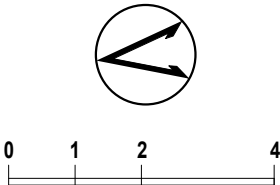
Project
AS22001
20 KARUAH STREET, STRATHFIELD 2135

Status
DEVELOPMENT APPLICATION

Drawing content
AREA CALCULATION

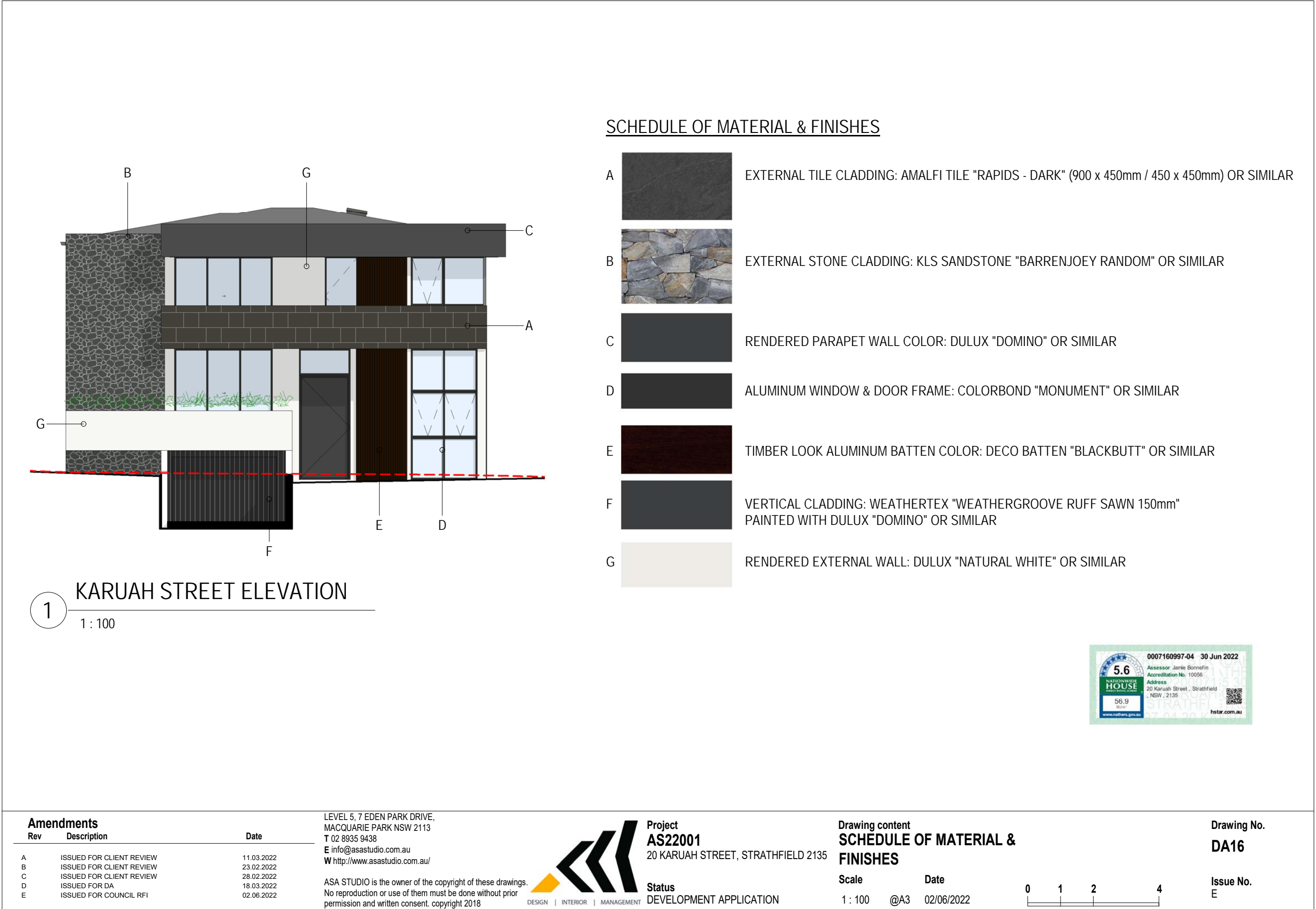
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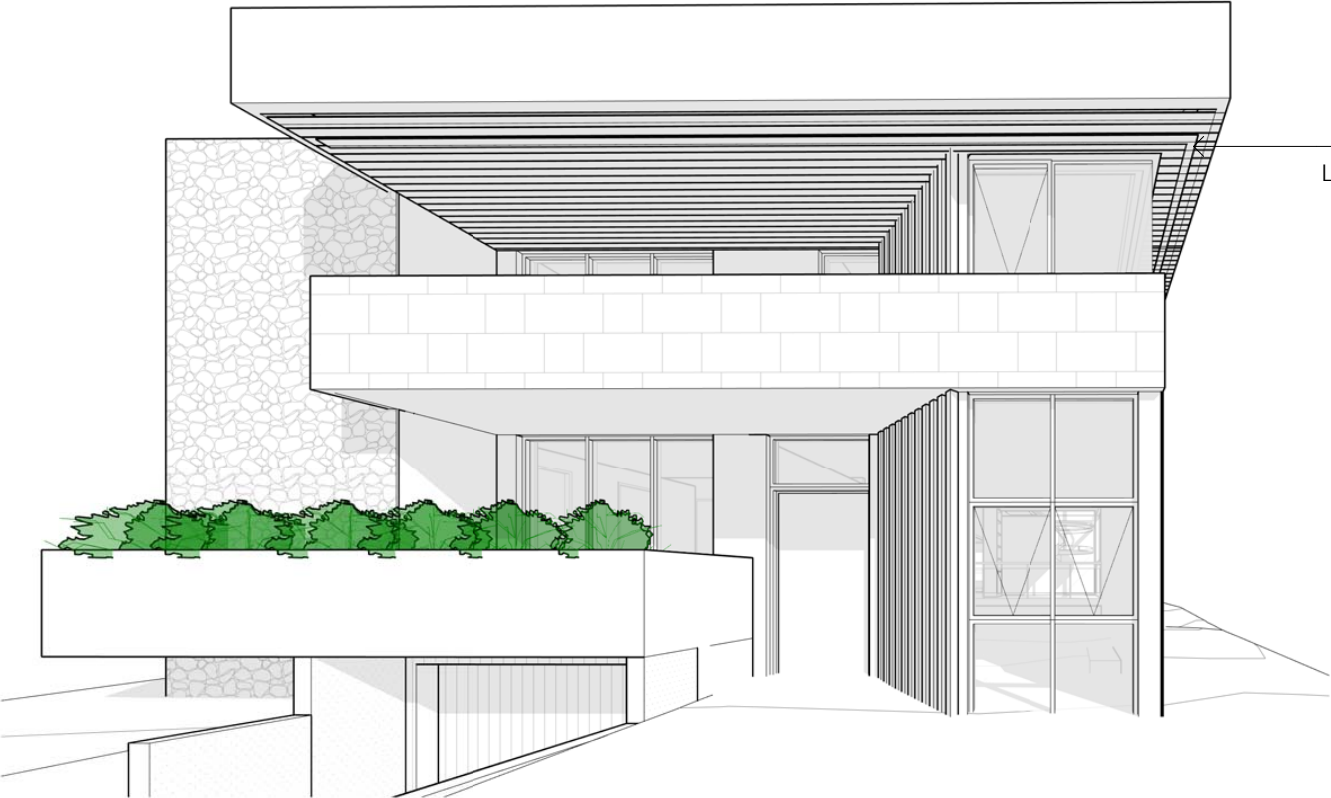
Date
02/06/2022



Drawing No.
DA15

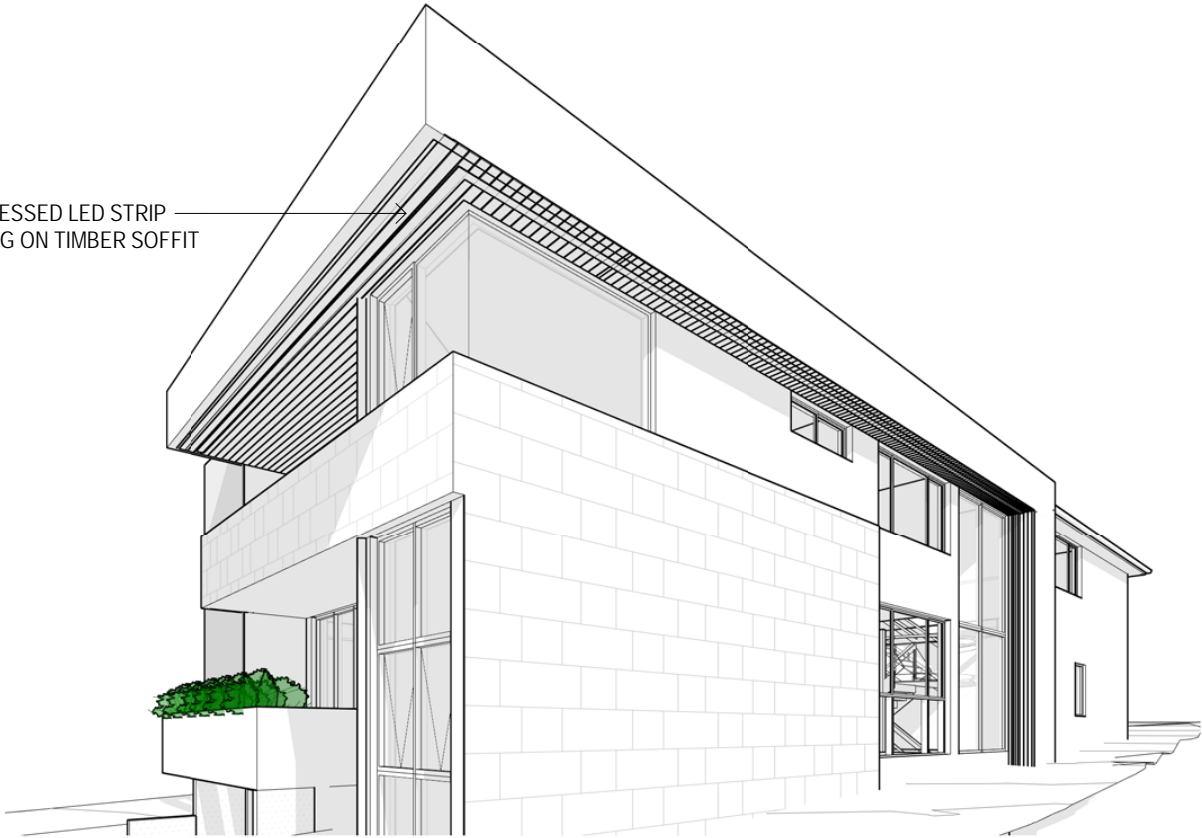
Issue No.
E





PERSPECTIVE 01

1



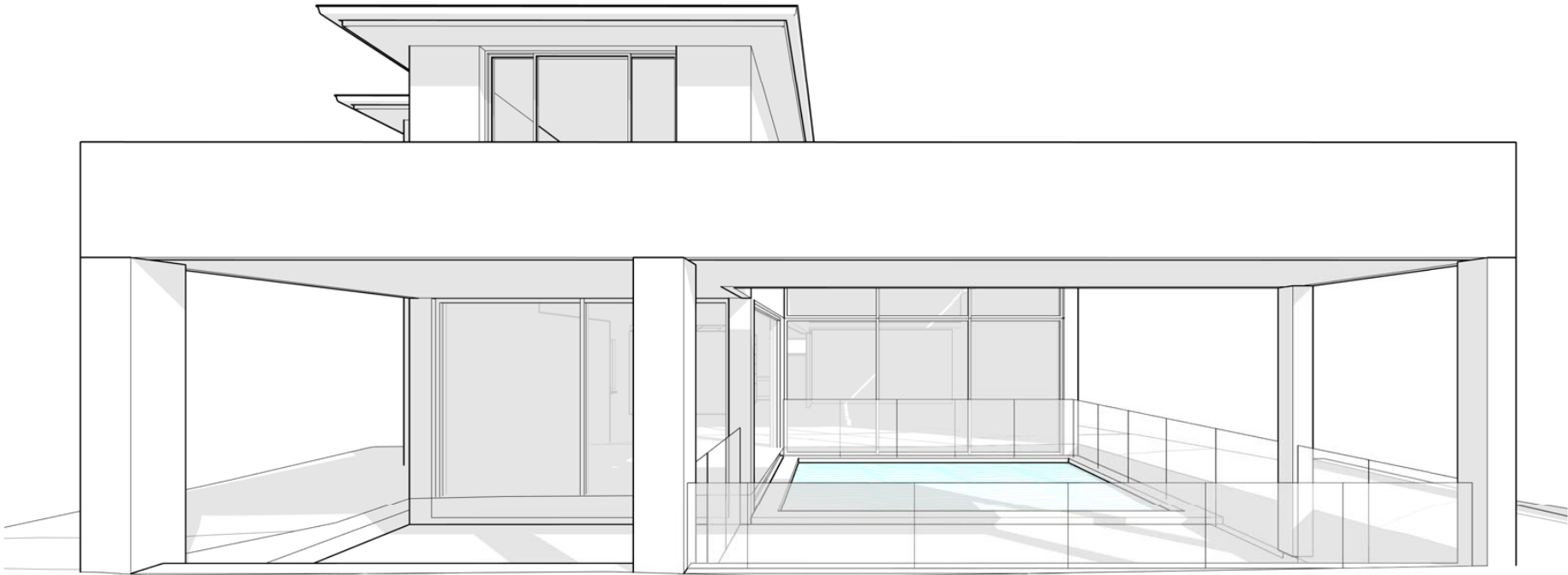
PERSPECTIVE 02

2

Amendments			<div>LEVEL 5, 7 EDEN PARK DRIVE, MACQUARIE PARK NSW 2113 T 02 8935 9438 E info@asastudio.com.au W http://www.asastudio.com.au/</div> <div>ASA STUDIO is the owner of the copyright of these drawings. No reproduction or use of them must be done without prior permission and written consent. copyright 2018</div> <div></div>	<div>Project AS22001 20 KARUAH STREET, STRATHFIELD 2135</div> <div>Status DEVELOPMENT APPLICATION</div>	<div>Drawing content PERSPECTIVES</div> <div>Scale @A3</div>	<div>Date 02/06/2022</div> <div></div>	<div>Drawing No. DA17</div> <div>Issue No. E</div>
Rev	Description	Date					
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B	ISSUED FOR CLIENT REVIEW	23.02.2022					
C	ISSUED FOR CLIENT REVIEW	28.02.2022					
D	ISSUED FOR DA	18.03.2022					
E	ISSUED FOR COUNCIL RFI	02.06.2022					

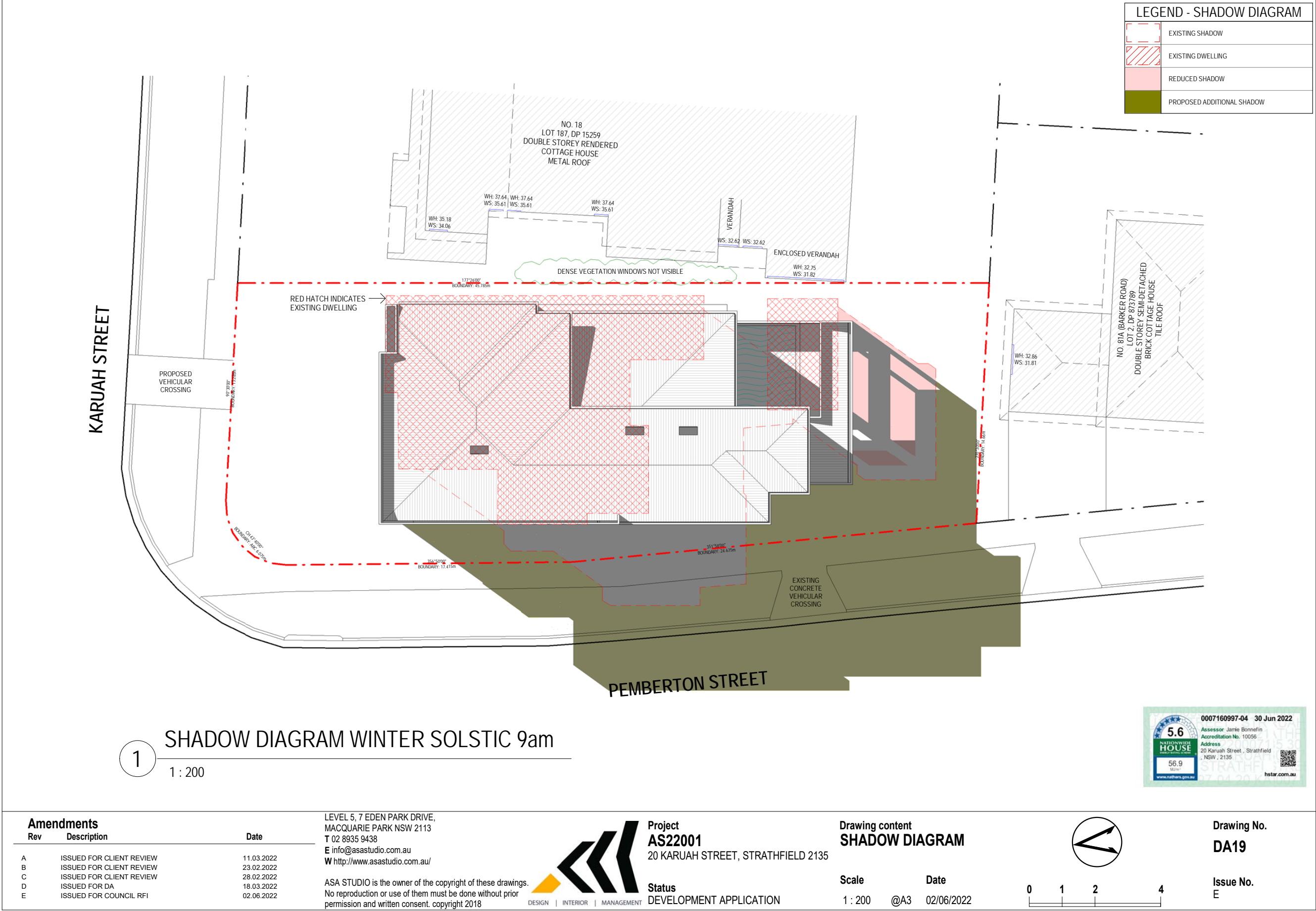


1 PERSPECTIVE 03



2 PERSPECTIVE 04

Amendments			<div>LEVEL 5, 7 EDEN PARK DRIVE, MACQUARIE PARK NSW 2113 T 02 8935 9438 E info@asastudio.com.au W http://www.asastudio.com.au/</div> <div>ASA STUDIO is the owner of the copyright of these drawings. No reproduction or use of them must be done without prior permission and written consent. copyright 2018</div>	<div>Project AS22001 20 KARUAH STREET, STRATHFIELD 2135</div> <div> Design Interior Management</div>	<div>Drawing content PERSPECTIVES</div> <div>Scale @A3</div>	<div>Date 02/06/2022</div> <div></div>	<div>Drawing No. DA18</div> <div>Issue No. E</div>
Rev	Description	Date					
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B	ISSUED FOR CLIENT REVIEW	23.02.2022					
C	ISSUED FOR CLIENT REVIEW	28.02.2022					
D	ISSUED FOR DA	18.03.2022					
E	ISSUED FOR COUNCIL RFI	02.06.2022					
			<div>DEVELOPMENT APPLICATION</div>				





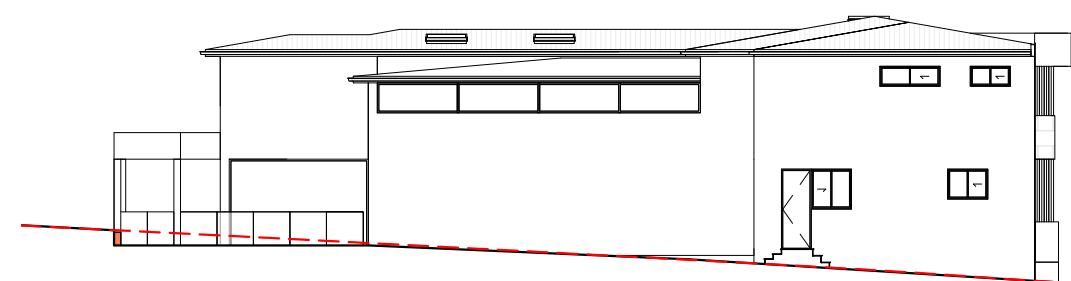




2 NORTH ELEVATION
1 : 200



3 SOUTH ELEVATION
1 : 200

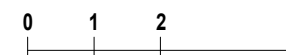


4 EAST ELEVATION
1 : 200



5 WEST ELEVATION
1 : 200

Issue No.
E



TO: Strathfield Local Planning Panel Meeting - 3 November 2022
 REPORT: SLPP – Report No. 32
 SUBJECT: S8.2-DA2021.302- 12 MOUNT STREET STRATHFIELD
 LOT: 12 DP: 5836
 DA NO. S8.2-DA2021.302

SUMMARY

Property:	12 Mount Street STRATHFIELD Lot: 12 DP: 5836 S8.2-DA2021.302
Proposal:	Section 8.2 Application to review previous determination to refuse the development for the demolition of existing structures and construction of a two (2) storey dwelling house with basement, alfresco area, swimming pool, outbuilding and ancillary landscaping.
Applicant:	Texco Architecture
Owner:	Thi Nhu Quynh
Date of lodgement:	10 June 2022
Notification period:	17 June- 1 July 2022
Submissions received:	2
Assessment officer:	J Gillies
Estimated cost of works:	\$1,188,945.00
Zoning:	R2-Low Density Residential - SLEP 2012
Heritage:	No
Flood affected:	Yes
Is a Clause 4.6 Variation Proposed:	No
Local Planning Panel Criteria	Previously refused by SLPP – Contentious
RECOMMENDATION OF OFFICER:	APPROVAL

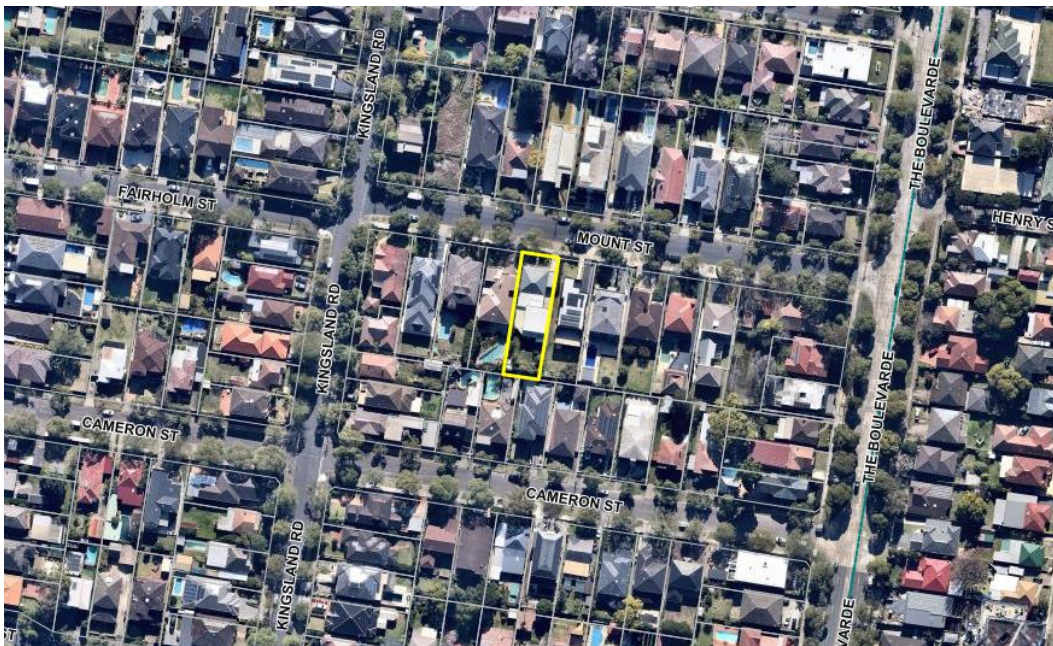


Figure 1 – Locality Plan

EXECUTIVE SUMMARY

Proposal

Development consent is being sought for the Section 8.2 Application to review a previous determination to refuse development for the demolition of existing structures and construction of a two (2) storey dwelling house with basement, alfresco area, swimming pool, outbuilding and ancillary landscaping.

The refused development was primarily a result of a non-complaint floor space ratio which was the result of a raised basement required to address flooding at the site. The revised development has addressed the reason for refusal with changes to floor levels and a revised flood report.

Site and Locality

The site is identified as 12 Mount Street STRATHFIELD and has a legal description of Lot: 12 DP: 5836. The site is a regular shaped parcel of land and is located on the southern side of Mount Street, between Kingsland Road and The Boulevard.

The is rectangular in shape and has a frontage width of 15.24m, average depth of 50.29m and an area of 766.42m².

The current streetscape is characterised by single and two-storey dwellings providing a uniform setback to the street, landscaped front gardens and mature street tree canopies.

Strathfield Local Environmental Plan

The site is zoned R2-Low Density Residential under the provisions of Strathfield LEP 2012 and the proposal is a permissible form of development with Council's consent. The proposal satisfies all relevant objectives contained within the LEP.

Development Control Plan

The proposed development generally satisfies the provisions of Strathfield Consolidated DCP 2005. This is discussed in more detail in the body of the report.

Notification

The application was notified in accordance with Council's Community Participation Plan from 17 June- 1 July 2022, where 2 submissions were received raising the following concerns;

- Privacy implications for 10 Mount Street, and
- Numerous issues associated with bulk and scale.

Issues

- Bulk and scale, privacy, landscape area.

Conclusion

Having regards to the heads of consideration under Section 4.15 of the Environmental Planning & Assessment Act 1979, Development Application 2021/302 is recommended for approval subject to suitable conditions of consent.

REPORT IN FULL

Proposal

Council has received a Section 8.2 Application to review a previous determination to refuse development for the demolition of existing structures and construction of a two (2) storey dwelling house with basement, alfresco area, swimming pool, outbuilding and ancillary landscaping. More specifically, the proposal includes;

Demolition:

- Demolition of existing structures, removal of paving within the front, side and rear setbacks and tree removal.

Basement level:

- 2 Parking spaces and turning areas, storage, bathroom, stairs and lift.

Ground floor level:

- Front lounge room and guest bedroom with ensuite, laundry, powder room, butler kitchen and cool room, combined kitchen, dining and living area, lift and stairs to the first floor.

First floor level:

- Master bedroom with rear balcony, ensuite and walk in robe, 3 bedrooms with ensuites, lift and stairs and laundry shoot, front balcony.

External works:

- New driveway and basement ramp, new driveway crossover, side alfresco (western), rear alfresco

The main reasons for refusal and how these have been addressed by the revised proposal are addressed in the table below:

Reason for Refusal	Design Response under S8.2 Application
No Clause 4.6 variation request was submitted to support an exceedance of the FSR standard. This circumstance arose from the basement protruding by more than 1m above NGL due to required finished floor levels as per flood reporting submitted with the DA. Consequently, all floor area in the basement was counted towards gross floor area as it did not satisfy the definition for a basement.	The Applicant has submitted a revised flood report that establishes a lower habitable floor area (RL 34.055m AHD vs the former 34.1m), allowing for the finished floor level and respective basement protrusion height to be less than 1m and comply with the definition of a basement. This has substantially reduced the gross floor area to enable the development to achieve compliance with the prescribed FSR controls under the SLEP 2012.
The bulk and scale of the building was considered excessive/out of character.	This largely arose from the non-compliant FSR resulting from the basement/flooding scenario. However, the use of voids also contributed to bulk and scale. The revised design has incorporated a skillion roof over the large rear void, which addresses the matter.
The development incorporated a non-complaint landscape area.	The revised design reduces the footprint of the alfresco area and increases the rear lawn. Additional discussion is provided under the assessment of the proposal against Council's DCP.
The development incorporated unnecessary excavation due to the size of the basement.	The size of the basement has been reduced to be contained within the footprint of the ground floor above. Additional discussion is provided under the assessment of the proposal against Council's DCP.
The proposal incorporated elevated decks and balconies. On the ground floor, the rear alfresco was elevated more than a metre above ground and on the first floor, the development incorporated rear and side balconies more than 1x2m in size, which are not permitted.	The revised design has removed the first floor balcony facing the western neighbour and reduced the size of the rear balcony. The ground floor alfresco remains elevated above NGL by more than a metre.

Figures 2 – 17 below compare the refused and proposed development.

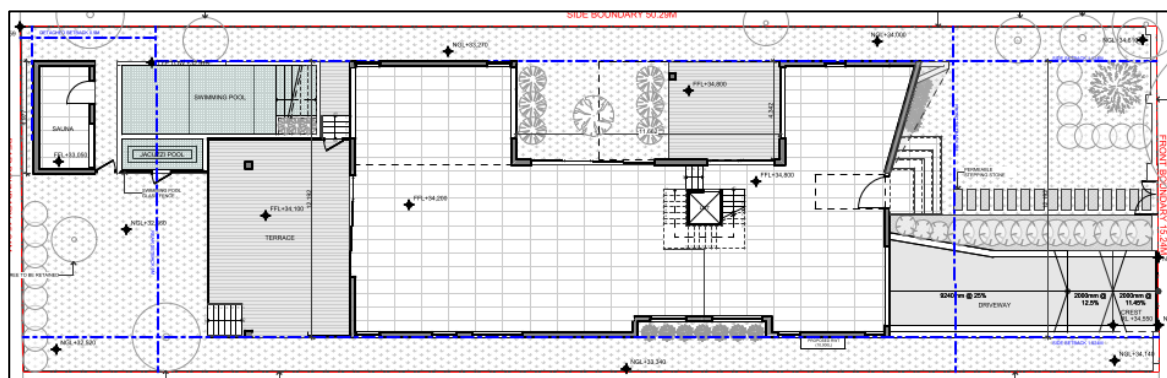


Figure 2 – Refused Site Plan

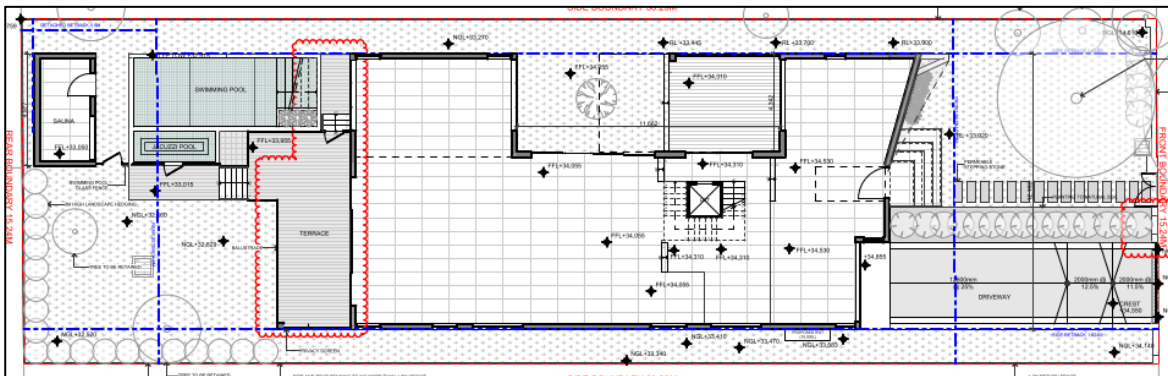


Figure 3 – Proposed Site Plan

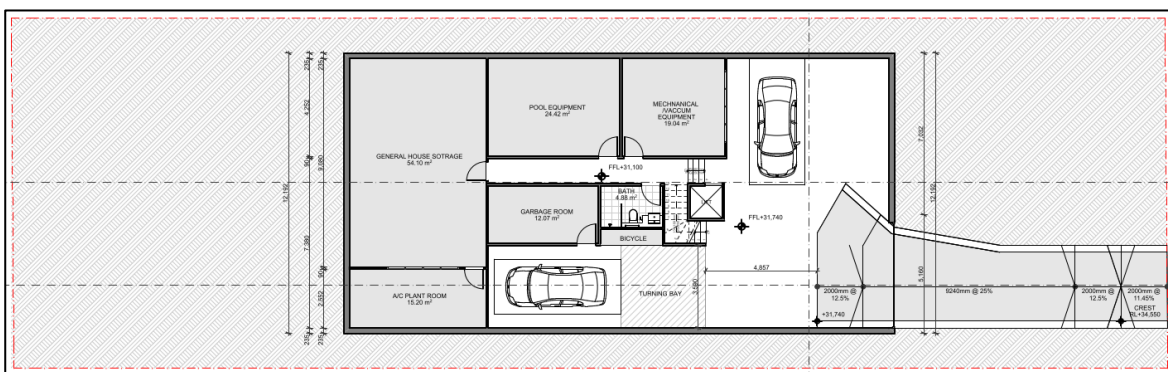


Figure 4 – Refused Basement Plan

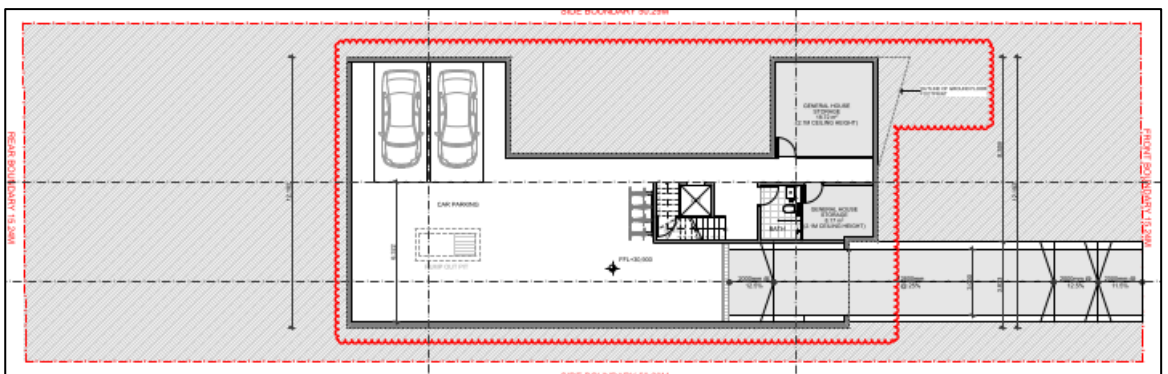


Figure 5 – Proposed Basement Plan

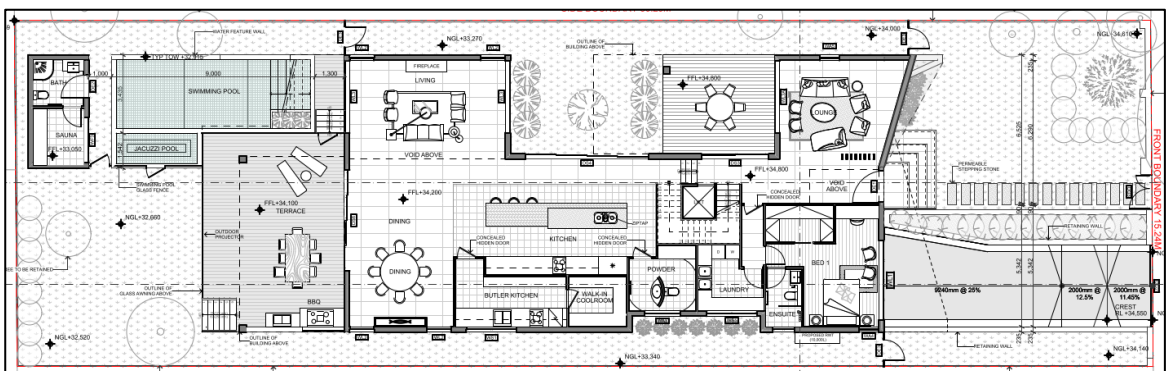


Figure 6 – Refused Ground Floor Plan

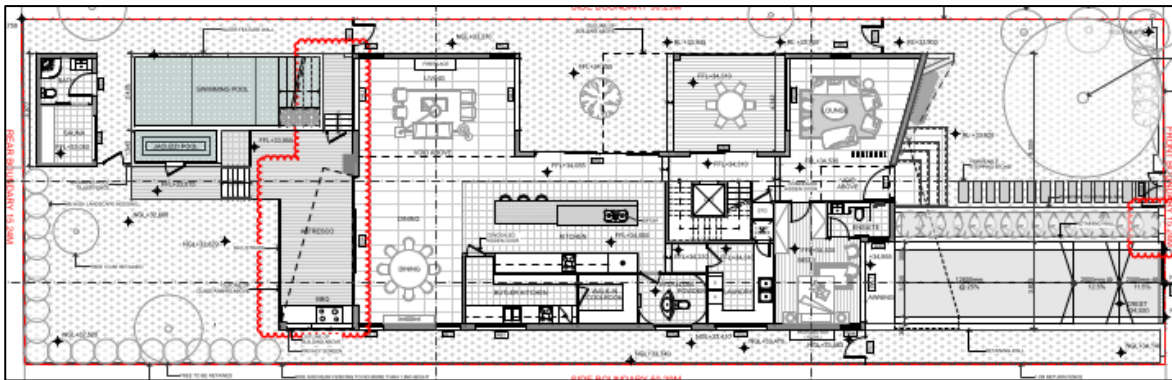


Figure 7 – Proposed Ground Floor Plan

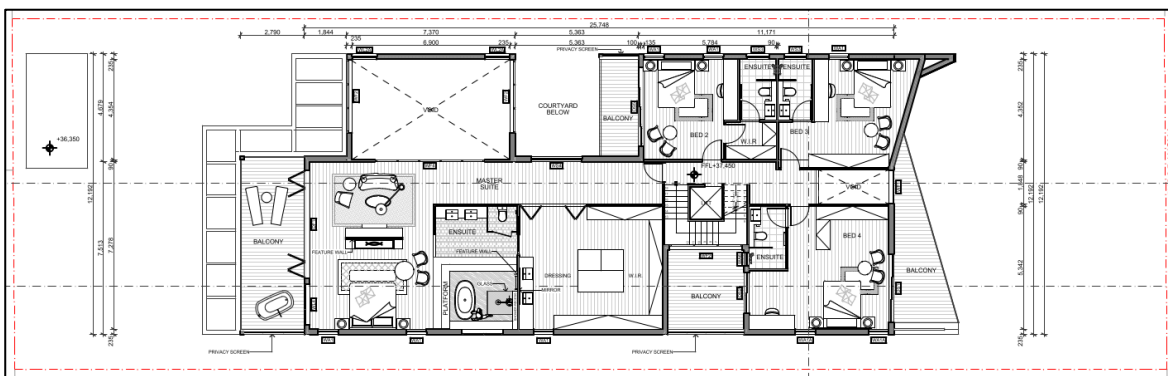


Figure 8 – Refused First Floor

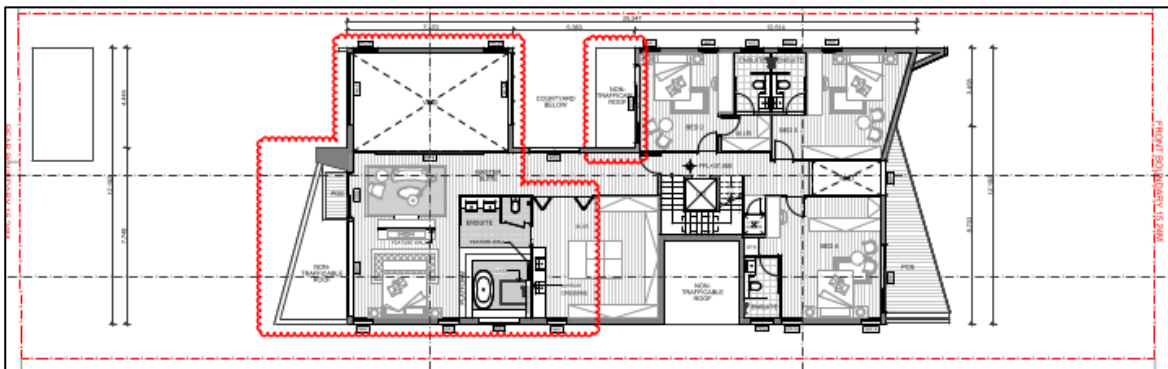


Figure 9 – Proposed First Floor

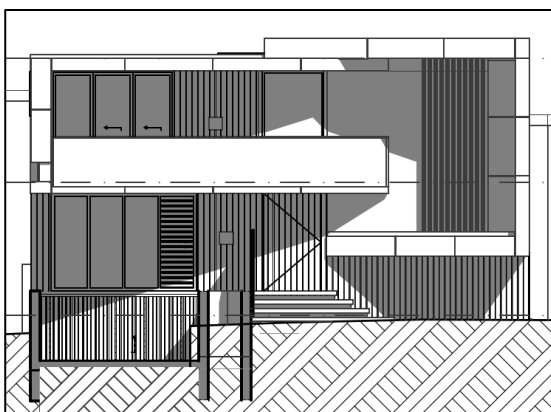


Figure 10 – Refused North (front) Elevation



Figure 11 – Proposed North (front) Elevation

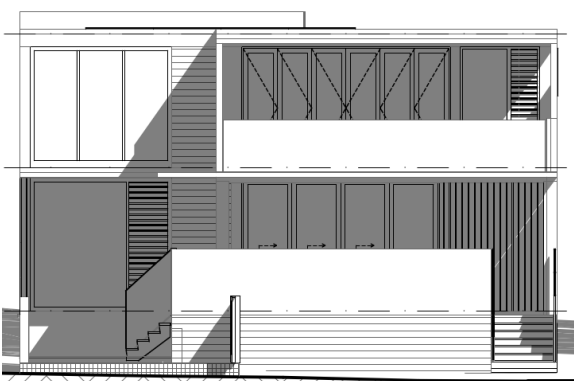


Figure 12 – Refused South (rear) Elevation

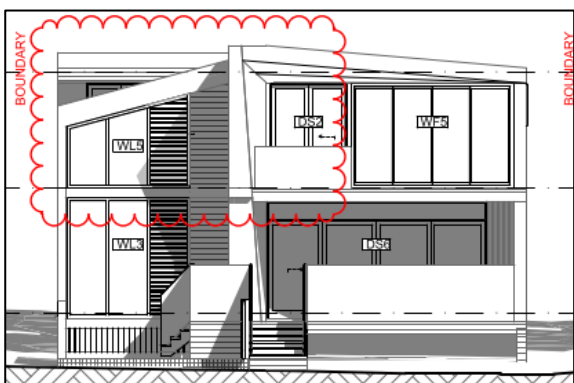


Figure 13 – Proposed South (rear) Elevation

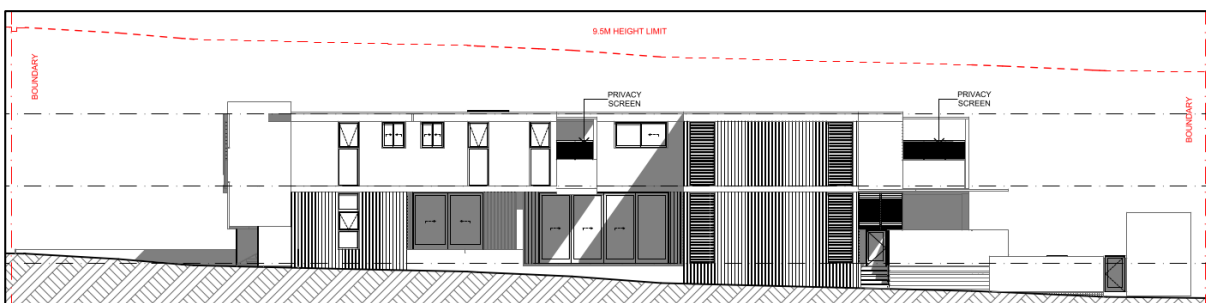


Figure 14 – Refused Western Elevation

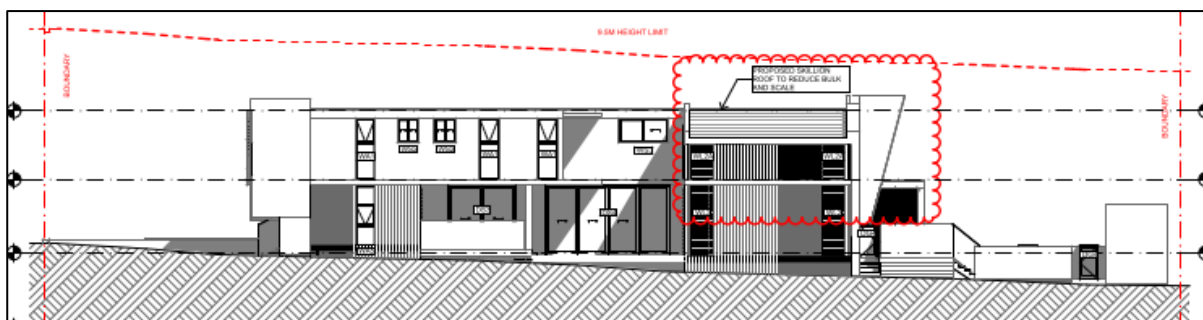


Figure 15 – Proposed Western Elevation

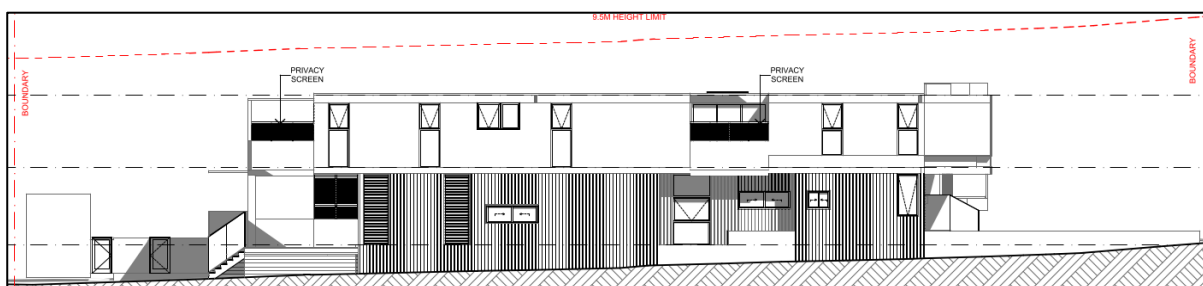


Figure 16 – Refused Eastern Elevation

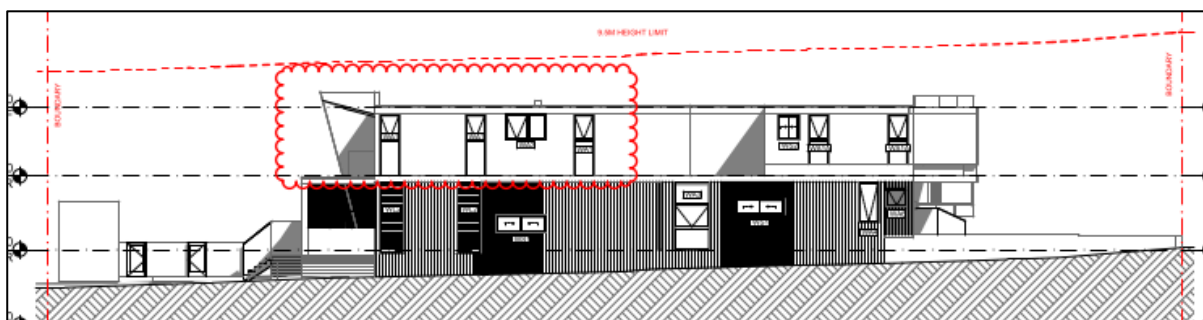


Figure 17 – Proposed Eastern Elevation

The Site and Locality

The site is identified as 12 Mount Street STRATHFIELD and has a legal description of Lot: 12 DP: 5836. The site is a regular shaped parcel of land and is located on the southern side of Mount Street, between Kingsland Road and The Boulevard.

The site is rectangular in shape and has a frontage width of 15.24m, average depth of 50.29m and an area of 766.42m².

The site falls to the rear with a fall of about 1.8m across the site.

The site is currently occupied by a split-level dwelling house, one-storey at the front and two at the rear.

The current streetscape is characterised by single and two-storey dwellings providing a uniform setback to the street, landscaped front gardens and mature street tree canopies

Figures 18 – 29 are images of the site and surrounding streetscape.



Figure 18 – No. 12 Mount as viewed from the street



Figure 19 – Dwellings adjoining the site to the east at 10 and 8 Mount St



Figure 20 – Dwelling adjoining the site to the west at 14 Mount St



Figure 21 – Dwellings opposite the site at 7, 9, 11 and 13 Mount St



Figure 22 – Inside the front setback of the site looking west



Figure 23 – Inside the front setback of the site looking east



Figure 24 – Eastern side setback looking north



Figure 25 – Eastern side setback looking south



Figure 26 – Remainder of the eastern side setback looking south



Figure 27 – Rear of the existing dwelling at the site



Figure 28 – western side setback looking north



Figure 29 – western side setback looking south

Background

3 March 2022	The original development was refused by Strathfield Local Planning Panel.
10 June 2022	The subject Section 8.2 Application was lodged with Council. It is noted that the Application is subject to a prescribed period under Section 8.2 of the EP&A Act and can therefore be determined 1 year from determination.
17 June 2022	The subject Application was neighbour notified for 14 days.
14 Sept 2022	Council issued a request for further information (RFI) requiring amendments to the basement size, floor area reductions to comply with bulk and scale and FSR standards, removal of first floor balconies, and reduction in the solid component of the front fence.
4 October 2022	The Applicant submitted revised Architectural Drawings that generally satisfied Council's RFI.

Referrals – Internal and External

Stormwater Management Comments

The Application was referred to Council's Development Engineer who offered no objection to the proposed development, subject to imposition of conditions of consent.

Traffic Management Comments

Turning path diagrams for the final basement design were referred to Council's Traffic Engineer, who outlined the turning templates for No. 12 Mount Street basement are a satisfactory.

Tree Management Comments

The original Application was referred to Council's Arborist who outlined they had no objection to the proposal, subject to imposition of bonds for the street tree and the carrying out of works in accordance with the submitted Arboricultural Impact Assessment. If approval of the Section 8.2 review application is granted, the recommended conditions of consent provided by Council's Arborist will be applied.

Section 4.15 Assessment – EP&A Act 1979

The following is an assessment of the application with regard to Section 4.15 (1) of the Environmental Planning and Assessment Act 1979.

(1) Matters for consideration – general

In determining an application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) the provision of:**
- (i) any environmental planning instrument,**

State Environmental Planning Policies

Compliance with the relevant state environmental planning policies is detailed below:

STATE ENVIRONMENTAL PLANNING POLICY	COMPLIES
State Environmental Planning Policy (Biodiversity and Conservation) 2021 <ul style="list-style-type: none"> Chapter 2 – Vegetation in non-rural areas 	Yes
State Environmental Planning Policy (Building Sustainability Index BASIX) 2004	Yes
State Environmental Planning Policy (Resilience and Hazards) 2021 <ul style="list-style-type: none"> Chapter 4 – Remediation of land 	Yes

STATE ENVIRONMENTAL PLANNING POLICY (BIODIVERSITY AND CONSERVATION) 2021

Chapter 2 – Vegetation in non-rural areas

The intent of this Chapter within the SEPP is related to the protection of the biodiversity values of trees and other vegetation on the site.

The proposal (original) was referred to Council's Tree Management Officer who outlined specific conditions to be imposed with any development consent in order to ensure the protection of these trees.

Further, no objection was raised to the removal of a number of trees on the site subject to replacement planting. Relevant consent conditions will be imposed.

The aims and objectives outlined within the SEPP are considered to be satisfied.

STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

A BASIX Certificate has been issued for the proposed development and the commitments required by the BASIX Certificate have been satisfied.

STATE ENVIRONMENTAL PLANNING POLICY (RESILIENCE AND HAZARDS) 2021

Chapter 4 – Remediation of land

Chapter 4 applies to the land and pursuant to Section 4.15 is a relevant consideration.

A review of the available history for the site gives no indication that the land associated with this development is contaminated. There were no historic uses that would trigger further site investigations.

The objectives outlined within Chapter 4 of the SEPP are considered to be satisfied.

Strathfield Local Environmental Plan

The development site is subject to the Strathfield Local Environmental Plan 2012

Part 2 – Permitted or Prohibited Development

Clause 2.1 – Land Use Zones

The subject site is zoned R2-Low Density Residential and the proposal is a permissible form of development with Council's consent.

Part 4 – Principal Development Standards

Applicable SLEP 2012 Clause	Development Standards	Development Proposal	Compliance/ Comment
4.3 Height of Buildings	9.5m	8.2m	Yes
4.4 Floor Space Ratio	0.575:1 (440.68m ²)	0.573:1 (439.49m ²)	Yes

It is noted that the development incorporates an exactly compliant FSR. The Applicants assumptions regarding calculation of gross floor area have been checked and agreed with and the following is acknowledged:

- The area within the basement for parking and car manoeuvring and pedestrian circulation has been excluded from GFA,
- Council consistently permits 20m² of storage within a basement to be excluded from GFA. The Applicant has included any additional storage (11.32m²) in GFA,
- The stairs have been included on all floors except one,
- The lift has been excluded from only one floor,
- The laundry chute has been excluded from the first floor (void),
- Voids have been excluded.

It is also noted that the refused FSR was 0.69:1 (529.7m²), substantially exceeding the permitted FSR. The now compliant FSR is primarily the result of the proposal now complying the definition of a basement, being that the finished floor level of the ground floor is less than 1m above existing ground level. Accordingly, only the portions of the basement outlined above have been included in the gross floor area for the proposal.

Part 5 – Miscellaneous Provisions

Flood Planning

The subject site has been identified as being at or below the flood planning level. The application has been reviewed by Council's Engineer who has advised that subject to suitable conditions, the development is considered compatible with the flood hazard of the land, will not result in significant adverse effects on flood behaviour or environment and is not likely to result in unsustainable social and economic loss. The proposed development is considered to satisfy the objectives of this clause.

Further, it is noted that the Applicant's revised Flood Report (reviewed and considered reasonable and feasible by Council's Development Engineer) establishes a lower habitable floor area (HFA) than the HFA proposed for the refused development (RL 34.055m AHD vs the former 34.1m).

Part 6 – Additional Local Provisions

Acid Sulfate Soils

The subject site is identified as having Class 5 Acid Sulfate Soils but is not located within 500m of a Class 1, 2 3 or 4 soils. Therefore, Development Consent under the provisions of this section is not required and as such an Acid Sulfate Soils Management Plan is not required.

Earthworks

The proposal involves significant excavation works for the provision of a basement, driveway ramps and ancillary works. The extent of excavation has been limited to the footprint of the ground floor above and access to and from the basement and has been significantly reduced when compared to the refused development.

The depth of excavation has been kept to minimum requirements to comply with Council's DCP controls and achieve the HFA RL's for the ground floor.

All ancillary works have been limited to what is required to provide access to and from the basement and the proposed works are unlikely to disrupt or effect existing drainage patterns or soil stability in the locality or effect the future use or development of the land. It is unlikely to effect the existing and likely amenity of adjoining properties and there is no potential for adverse impacts on any waterways, drinking water catchment or environmentally sensitive areas. The proposed excavation works are considered to satisfactorily address the objectives of this clause.

Essential Services

Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well serviced area and features existing water and electricity connection and access to Council's stormwater drainage system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development

It is considered that the proposed development satisfies the aims, objectives and development standards, where relevant, of the Strathfield LEP 2012.

(ii) *any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority, and*

There are no draft planning instruments that are applicable to this site.

(iii) any development control plan,

The proposed development is subject to the provisions of the Strathfield Consolidated Development Control Plan 2005. The following comments are made with respect to the proposal satisfying the objectives and controls contained within the DCP.

Applicable DCP Controls	DCP Controls	Development Proposal	Compliance/ Comment
Building Envelope			
Heights:			
Floor to ceiling heights:	3.0m	3.15m	No
Height to underside of eaves:	7.2m	7.1m	Yes
Parapet height:	0.8m	0.7m	Yes
Overall height for flat roof dwelling:	7.8m	8.2m	No
Basement height above NGL:	1.0m	0.965m	Yes
Number of Storeys/Levels:	2	2	Yes
Setbacks:			
Front:	9m	9.2m	Yes
Side:	1.2m (min)	1.524	Yes
Side:	1.2m (min)	1.524	Yes
Combined Side Setback:	3.048m (20%)	3.048m	Yes
Rear:	6m	14.5m	Yes
Landscaping			
Landscaping/Deepsoil Provisions:	329.56m ² (766.44m ² x 43%)	320.2m ²	No, refer discussion
Fencing			
Height (overall/piers):	1.5m (maximum)	1.5m	Yes
Solid Component:	0.7m	0.7m	Yes
Secondary Frontage:	1.8m	1.8m	Yes
Solar Access			
POS or habitable windows	3hrs to habitable windows and to 50% of POS	>3hrs to habitable windows and to 50% of POS	Yes
Vehicle Access and Parking			
Driveway width at Boundary:	3m	3m	Yes
Vehicular Crossing:	1	1	Yes
Driveway setback – side:	0.5m	1.75m	Yes
No. of Parking Spaces:	2	2	Yes
Basement:			
Basement protrusion:	Less than 1.0m	0.965m	Yes
Basement ramp/driveway	3.5m	3m	Yes
Internal height:	2.2m	2.2m	Yes
Ancillary Development			
OUTBUILDINGS			
Area:	40m ²	10.2m ²	Yes
Height:	3.5m	3.8m	No
Side/Rear setback:	0.5m	0.5m	Yes
SWIMMING POOL			
Side/Rear Setback	1.0m	1.5m	Yes

Building Envelope

The proposed development generally satisfies the objectives and controls within the development control plan relevant to:

- Building Scale, height and floor space ratio
- Rhythm of built elements in the streetscape,
- Fenestration and external materials, and
- Street edge

It is noted that there is an exceedance to the floor to ceiling height allowance. This is accepted on merit as the development maintains compliance with the 7.8m height of building requirement for flat roof dwellings.

However, the rear of the building incorporates an architectural feature that exceeds the 7.8m height allowance for flat roof dwellings. A condition of consent will require this design feature to be lowered by 400mm.

A reason for refusal in the NOD from March 2022 was the unacceptable bulk and scale of the development. As outlined above, this was largely a result of the basement floor area being included in GFA due to a protrusion of the basement by more than 1m. The image below overlays the survey plan and proposed ground floor plan subject of this assessment, demonstrating that the finished floor level of the ground floor is less than 1m from existing ground level at all points.

Accordingly, and as addressed under assessment against the FSR standards, the proposal is compliant with FSR.

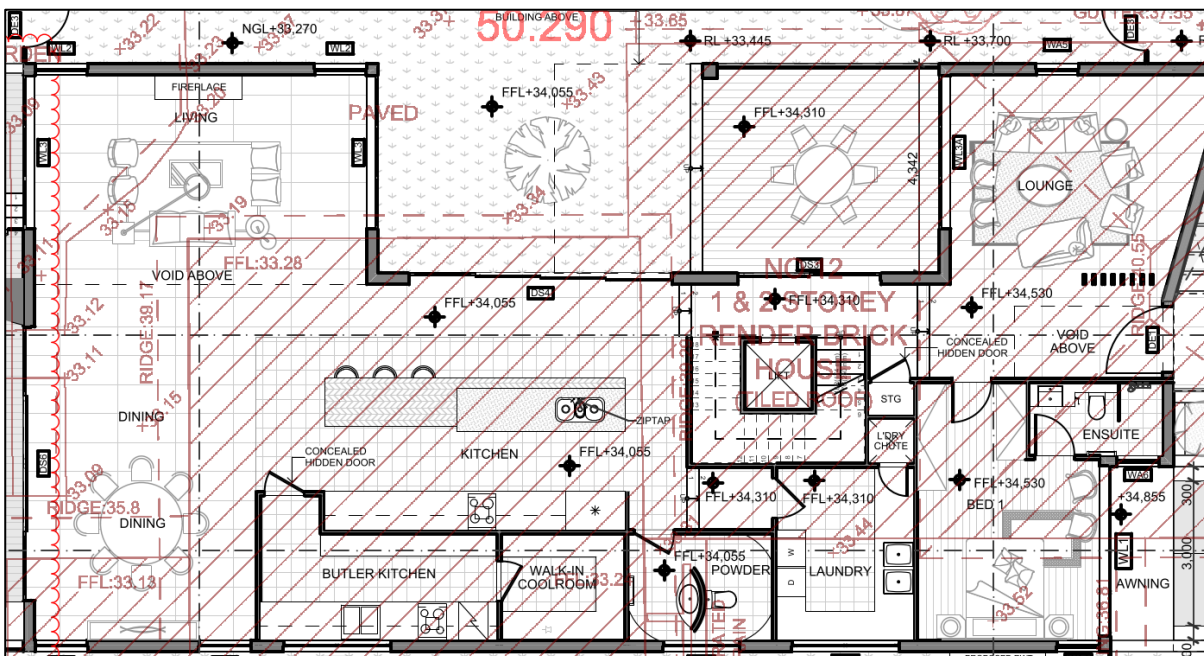


Figure 30 – Overlay of ground floor plan and survey

Notwithstanding, the proposal does incorporate a large void adjoining the western boundary, that while excluded from FSR calculations, makes a contribution to bulk and scale. The proposed outcome has been accepted on merit as the final design incorporates a skillion roof over the void, mitigating the bulk of the building in this location.

Landscaping and Open Space

The proposed development generally satisfies the relevant objectives and controls of the SCDGP 2005. The development is considered to enhance the existing streetscape, and large canopy trees can be planted in the rear and front setback by way of condition, in order to comply with planting requirements in the DCP (1 canopy tree required in the rear yard and 1 in the front setback).

However, the Application does not comply with deep soil landscape requirements. A contributing factor to the non-compliance is the Applicant's assumption that the artificial turf area adjoining the western side alfresco is counted towards the overall deep soil requirement. A condition of consent will require this space to be turf and all stepping stones / paving in the space and for the remainder of the development are to be constructed of permeable paving materials.

Further, the condition of consent will require the space to have an RL of no greater than 33,445 AHD, as it currently is filled to match the alfresco RL. The alfresco RL will also be required to be dropped to the same RL (33,445 AHD).

Figure 31 below illustrates the Applicant's intentions for the space discussed above.

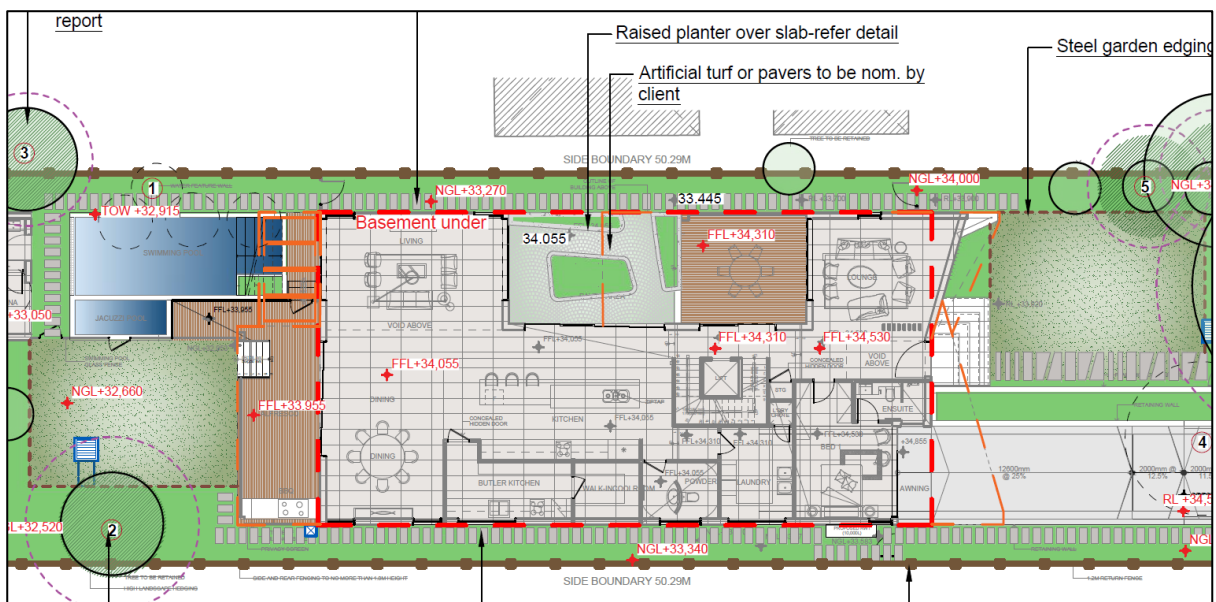


Figure 31 – Proposed Landscape Concept.

Fencing

The proposed front and side fencing satisfies the relevant objectives and controls within SCDGP 2005. It is considered to be sympathetic to the existing and desired character of the locality and is compatible to the height and style of adjoining fences.

Solar Access

Given the orientation of the site, solar access to windows of habitable rooms and to at least 50% of the private open space is achieved or maintained for a minimum period of 3 hours between 9.00am-3:00pm at the winter solstice. Solar access is also achieved or maintained to the private open space of the adjoining premises. The proposal is considered to generally satisfy the relevant objectives and controls of the SCDGP 2005.

Privacy

The proposed development generally satisfies the relevant objectives and controls of the SCDCP 2005, in that adequate privacy is maintained between adjoining properties and any potential overlooking is minimised. Windows are offset from adjoining dwellings where required, they are screened, obscured or off low active use rooms so as not to negatively impact on adjoining properties.

A number of conditions of consent are imposed to make minor adjustments to window sill heights and screening to ensure privacy and overlooking objectives are achieved.

To assist in mitigating the impact of privacy associated with the western alfresco, a condition of consent will require the finished floor level of the alfresco area to be no higher than RL 33,445 AHD.

Vehicular access, Parking and Basements

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005 in that it provides the minimum number of required parking spaces and adequate vehicular access provisions. The basement has been kept to less than 1m above natural ground level, does not extend beyond the ground floor above, has been designed so that vehicles can enter and exit in a forward direction and maintains a minimum internal height of 2.2m.

Cut and fill

The proposed development is considered to satisfy the relevant objectives and controls of the SCDCP 2005, in that the need for cut and fill has been kept to a minimum and existing ground levels have been maintained where appropriate to reduce site disturbance. Existing trees and shrubs have been retained where possible and ground water tables are maintained and impact on overland flow and drainage is minimised.

Water and Soil Management

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005 and complies with Council's Stormwater Management Code. A soil erosion plan has been submitted with the application to prevent or minimise soil disturbances during construction.

Access, Safety and Security

The proposed development satisfies the relevant objectives and controls of the SCDCP 2005. Separate pedestrian and vehicle access provisions are provided, passive surveillance of the public street has been provided providing safety and perception of safety in the street.

ANCILLARY STRUCTURES

Outbuildings

The proposed development satisfies the relevant objectives and controls the SCDCP 2005 complying with the setbacks and floor space controls. However, the height is 3.8m from natural ground level. A condition of consent will be imposed requiring the outbuilding to have a maximum height of 3.5m from natural ground level.

Swimming Pools, Spas & Associated Enclosures

The proposed development satisfies the relevant objectives and controls with SCDCP 2005. The pool has been adequately setback from all adjoining boundaries, allowing for screen planting if required. The pool pump equipment has been located in a sound proof enclosure and the pool coping has been designed to suit the existing ground level of the site. The swimming pool fence/enclosure will comply with the swimming pools act and relevant standards.

PART H – Waste Management (SCDCP 2005)

In accordance with Part H of Strathfield CDCP 2005, a waste management plan was submitted with the application. The plan details measure for waste during demolition and construction, and the on-going waste generated by the development during its use. It is considered that this plan adequately address Part H and considered satisfactory.

(iv) *Any matters prescribed by the regulations, that apply to the land to which the development application relates,*

The requirements of Australian Standard AS2601–1991: *The Demolition of Structures* is relevant to the determination of a development application for the demolition of a building.

The proposed development does involve the demolition of a building. Should this application be approved, appropriate conditions of consent may be imposed to ensure compliance with the requirements of the above standard.

(b) *the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,*

The proposed development is of a scale and character that is in keeping with other developments being constructed in the locality. Accordingly, the proposal is not considered to have a significant impact on the natural and built environment or any negative social or economic impacts on the locality.

(c) *the suitability of the site for the development,*

It is considered that the proposed development is of a scale and design that is suitable for the site having regard to its size and shape, its topography, vegetation and relationship to adjoining developments.

(d) *any submissions made in accordance with this Act or the regulations,*

In accordance with the provisions of Councils Community Participation Plan, the application was placed on neighbour notification for a period of fourteen (14) days where adjoining property owners were notified in writing of the proposal and invited to comment. Two submissions were received raising the following concerns:

- No. 10 Mount Street raised concerns in relation to the windows being operable. Although they are obscured, the operable component may create privacy and overlooking issues. Concern was also raised about the length of the building.**

Comment: The eastern elevation incorporates windows that are either above a 1.7m sill height or incorporate fixed obscured glass below 1.7m. The operable component of certain windows is only above 1.7m which is considered an acceptable compromise between privacy and amenity for the owner of No. 12.

The building exceeds the front and rear setback requirements and there is no specific development standard relating to the length of a building. It is noted that the side elevations incorporate adequate articulation.

2. No. 14 Mount Street raised the following concerns:

The bulk and scale of the proposed dwelling is excessive, impacting on streetscape and the length of the building will create privacy impacts for adjoin private open space.

Comment: The proposed dwelling incorporates a compliant rear setback (over 14m with the requirement being 6m) and is generally consistent with modern two storey dwellings being constructed in the locality. The matter of bulk and scale has been addressed above and it is noted that the proposal incorporates a compliant FSR.

The site plan below illustrates the relatively short length of the adjoining dwelling to the west and the comparable length of the dwelling to the east which is also a modern two storey construction.

The development incorporates a number of privacy measures along the western elevation, at both level 1 (obscured glass) and at ground level (fixed louvres to the living room windows).

Finally, conditions of consent will require the lowering of the western alfresco area, which will improve privacy for both parties.

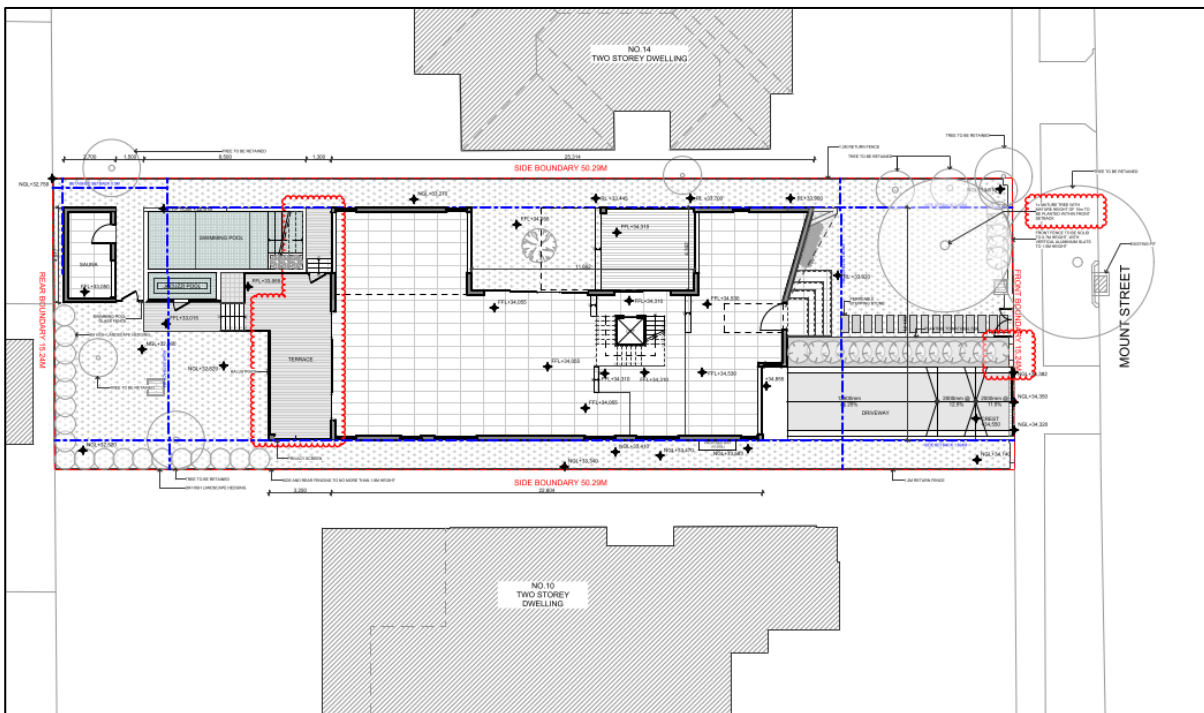


Figure 32 – Site Plan showing length of adjoining dwellings

There is little landscaped area.

Comment: By way of condition, the proposal will comply with soft landscaping requirements.

The height is excessive and the flat roof outcome impacts on amenity and solar access.

Comment: By way of condition, the proposed dwelling will comply with the height requirement for a flat roof dwelling under Council's DCP. The exceedance of the floor to ceiling height is a result of the flooding characteristics and considering general compliance with the height limit (and total compliance by way of condition), the floor to ceiling height variation is acceptable.

Due to the site's north-south orientation, the proposed dwelling will only cast a shadow to the west for part of the day, allowing for acceptable solar access for the neighbour.

The first floor void results in an excessive bulk and scale and creates overlooking impacts.

Comment: The revised design incorporates a skillion roof over the void to assist in articulating the western façade and the void and living room below incorporates suitable privacy measures. In general, the western façade is articulated, with a large central courtyard and as outlined above, the length of the building is controlled by FSR and rear setback controls, both of which are complied with.

The proposed ground levels will impact on overland flow.

Comment: Council's stormwater engineer has reviewed the Application and raised no concerns. The proposed levels within the western side setback and rear yard are generally consistent with the existing levels at the site. It is noted that part of the landscaped area incorporates fill well above NGL and a condition of consent will require an RL that reflects the existing NGL.

The Applicant should submit an elevation shadow diagram to properly demonstrate overshadowing impacts.

Comment: As outlined above, given the orientation of the site, the shadow diagrams depict that the proposed development will only cast a shadow to the west in the am period. These diagrams are shown below.

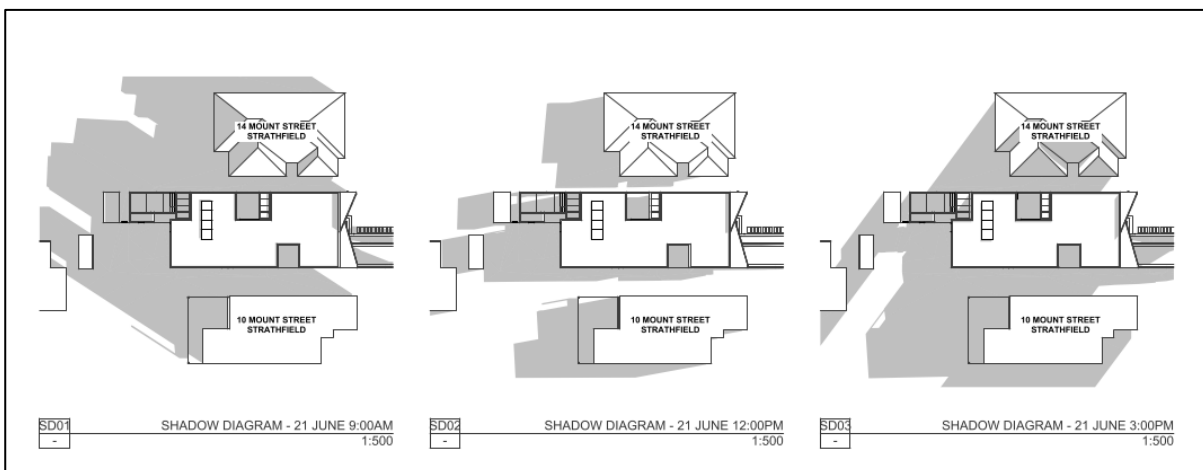


Figure 33 – Applicant's shadow diagrams

The west facing deck is still elevated (noting this has not changed between the refused and proposed development).

Comment: As outlined above, a condition of consent will require lowering of this alfresco area to an RL that reflects existing ground level.

The proposed development incorporates new side fencing, while the existing fencing is in good condition and sympathetic with the colour palette of the house at 14 Mount Street.

Comment: A condition of consent will require the construction certificate drawings to remove side fencing or that all new side fencing is located within the boundary of the subject site. If the Applicant wishes to pursue new side boundary fencing, this can be done as exempt development in consultation with the neighbouring properties.

Concern was raised in relation to the window off bedroom 2 and the height of the fixed and obscured glass component needing to be higher than 1.6m. Concern was also raised regarding the privacy screen for bedroom 2 and the sill height of the ensuite window.

Comment: Council's measurement of the distance between the first floor and start of the awning window (not obscured / fixed) is 1.6m. The balcony off bedroom 2 has been deleted in the final design.

Regarding the ensuite window, a condition of consent will require this to be a highlight window with a width of 800mm and sill height of 1.8m.

OBJECTOR CONSULTATION

Comment: Noting the concerns raised by the owner of No. 14 Mont Street, the objector was phoned on 24/10/2022 to discuss the final design and Council's recommended conditions. It was understood the objector was generally satisfied with the changes and conditions of consent, however they had not viewed the final plans. Council's Planner advised the objector the assessment report would be available 1 week prior to the Local Planning Panel meeting and that the objector could address the Panel as part of the determination meeting.

(e) *the public interest.*

The proposed development is of a scale and character that does not conflict with the public interest.

Local Infrastructure Contributions

Section 7.13 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. This section prescribes in part as follows:

A consent authority may impose a condition under section 7.11 or 7.12 only if it is of a kind allowed by, and is determined in accordance with, a contributions plan (subject to any direction of the Minister under this Division).

STRATHFIELD INDIRECT SECTION 7.12 CONTRIBUTIONS PLAN

Section 7.12 Contributions are applicable to the proposed development in accordance with the Strathfield Indirect Development Contributions Plan as follows:

Based on the Cost of Works of \$1,188,945.00 and in accordance with Council's s7.12 Indirect Contributions Plan, a contribution of 1% of the cost of works is applicable. In this regard, the contribution is as follows;

Local Amenity Improvement Levy	\$11,889.45
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Conclusion

The application has been assessed having regard to the Heads of Consideration under Section 4.15 (1) of the Environmental Planning and Assessment Act 1979, the provisions of the SLEP 2012 and SCDCP 2005.

Following detailed assessment it is considered that Development Application No. 2021/302 should be approved, subject to suitable conditions of consent.

Signed:

Date: 19/10/2022

**J Gillies
Senior Planner**

- ☒ I confirm that I have assessed the abovementioned development application with the delegations assigned to my position;
- ☒ I have reviewed the details of this development application and I also certify that Section 7.11/7.12 Contributions are applicable to this development and have been levied accordingly;

Report and recommendations have been peer reviewed by;

Signed:

Date: 21/10/2022

**L Gibson
Senior Planner**

That Development Application No. S8.2-DA2021.302 for Section 8.2 Application to review previous determination to refuse the development for the demolition of existing structures and construction of a two (2) storey dwelling house with basement, alfresco area, swimming pool, outbuilding and ancillary landscaping at 12 Mount Street STRATHFIELD be **APPROVED**, subject to the following conditions:

The following conditions of consent are imposed for the following reasons:

- (a) To ensure compliance with the terms of the relevant Environmental Planning Instrument and/or Building Code of Australia and/or Council's codes, policies and specifications.
- (b) To protect the environment.
- (c) To ensure that there is no unacceptable impact on the amenity of the area, or to private and public property.
- (d) It is in the public interest.

DEVELOPMENT DETAILS

1. Approved Plans & Documentation

The development must be implemented in accordance with the approved plans and supporting documentation listed below which have been endorsed by Council's approved stamp, except where marked up on the plans and/or amended by conditions of this consent:

Description	Reference No.	Date	Revision	Prepared by
Site Plan – Ground Floor	A005	30/9/22	C	Texco Design
Site Plan – First Floor	A006	30/9/22	C	Texco Design
Basement GA Plan	A101	30/9/22	C	Texco Design
Ground Floor GA Plan	A102	30/9/22	C	Texco Design
First Floor GA Plan	A103	30/9/22	C	Texco Design
Roof Level GA Plan	A104	30/9/22	C	Texco Design
North and West Elevation	A201	30/9/22	C	Texco Design
South and East Elevation	A202	30/9/22	C	Texco Design
Front Fence Elevation	A203	30/9/22	C	Texco Design
Section AA and Section BB	A301	30/9/22	C	Texco Design
Section CC and Section DD	A302	30/9/22	C	Texco Design
Door Schedule	A401	30/9/22	C	Texco Design
Window Schedule	A402	30/9/22	C	Texco Design

Material Schedule	A403	30/9/22	C	Texco Design
Landscape Drawing Schedule	LPDA 22-168/1	31/5/22	C	Conzept Landscape Architects
Landscape Plan	LPDA 22-168/2	31/5/22	C	Conzept Landscape Architects
Landscape Details	LPDA 22-168/3	31/5/22	C	Conzept Landscape Architects
Plant Palette	LPDA 22-168/5	31/5/22	C	Conzept Landscape Architects
Specifications	LPDA 22-168/6	31/5/22	C	Conzept Landscape Architects
Stormwater Concept Design - Cover	SW100	26/5/22	3	JCO Consultants Pty Ltd
Stormwater Concept Design – Basement Plan	SW200	26/5/22	3	JCO Consultants Pty Ltd
Stormwater Concept Design – Ground Floor Plan	SW201	26/5/22	3	JCO Consultants Pty Ltd
Stormwater Concept Design – Details Sheet	SW300	26/5/22	3	JCO Consultants Pty Ltd
Stormwater Concept Design – Erosion and Sediment Control	SW400	26/5/22	3	JCO Consultants Pty Ltd
BASIX Certificate	1254816S_02	1/6/22	-	AENEC
Flood Statement Report	-	12/4/22	B	JCO Consultants

Arboricultural Impact Assessment	-	25/10/21	-	ABNOBA ARBOR
Waste Management Plan	-	29/10/21	-	Texco Design

SEPRARATE APPROVALS REQUIRED UNDER OTHER LEGISLATION

2. Section 138 Roads Act 1993 and Section 68 Local Government Act 1993

Unless otherwise specified by a condition of this consent, this Development Consent does not give any approval to undertake works on public infrastructure.

Separate approval is required under Section 138 of the [Roads Act 1993](#) and/or Section 68 of the [Local Government Act 1993](#) for any of the following activities carried out in, on or over a public road (including the footpath) listed below.

An application is required to be lodged and approved prior to the commencement of any of the following works or activities;

- (a) If any excavation is to be supported by the use of below ground (cable) anchors that are constructed under Council's roadways/footways.
- (b) Swinging or hoisting goods over any part of a public road by means of a lift, crane or the like;
- (c) Establishing a "works zone";
- (d) Placing or storing materials or equipment;
- (e) Placing or storing waste containers or skip bins;
- (f) Stormwater & ancillary to public infrastructure on private land
- (g) Erecting a structure or carrying out work

These separate activity approvals (a)-(g) must be obtained and evidence of the approval provided to the Certifying Authority prior to the issue of the Construction Certificate.

- (h) Pumping water from the site into the public road;
- (i) Constructing a vehicular crossing or footpath;
- (j) Digging up or disturbing the surface of a public road (e.g. Opening the road for the purpose of connections to utility providers);
- (k) Stormwater & ancillary works in the road reserve; and
- (l) Pumping concrete from a public road;

These separate activity approvals must be obtained and evidence of the approval provided to the Certifying Authority prior to the activities commencing.

The relevant Application Forms for these activities can be downloaded from Council's website www.strathfield.nsw.gov.au. For further information, please contact Council's Customer Service Centre on (02) 9748 9999.

3. **Vehicular Crossing - Minor Development**

Constructing a vehicular crossing and/or footpath requires a separate approval under Section 138 of the [Roads Act 1993](#) prior to the commencement of those works.

To apply for approval, complete the *Works Permit Application Form* which can be downloaded from Strathfield Council's Website at www.strathfield.nsw.gov.au. Lodge the application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Civic & Urban Services Section in Council's adopted *Fees and Charges* for the administrative and inspection charges associated with *Works Permit* applications.

An approval for a new or modified vehicular crossing will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out in accordance with Council's specifications applicable at the time, prior to the issue of an Occupation Certificate.

4. **Road Opening Permit**

A Road Opening Permit must be obtained from Council, in the case of local or regional roads, or from TfNSW, in the case of State roads, for every opening of a public road reserve to access services including sewer, stormwater drains, water mains, gas mains, and telecommunications before the commencement of work in the road.

5. **Building – Hoarding Application**

Prior to demolition of the buildings on the site, or the commencement of work above ground level, a separate application for the erection of an 'A class' (fence type) or a 'B class' (overhead type) hoarding or 'C type' scaffold, in accordance with the requirements of SafeWork NSW, must be erected along that portion of the footways/roadway where the building is within 3 metres of the street boundary.

An application for this work under Section 68 of the [Local Government Act 1993](#) and the Roads Act 1993 must be submitted for approval to Council.

The following information is to be submitted with a Hoarding Application under Section 68 of the [Local Government Act 1993](#) and Section 138 of the [Roads Act 1993](#):

- (a) A site and location plan of the hoarding with detailed elevation, dimensions, setbacks, heights, entry and exit points to/from the site, vehicle access points, location of public utilities, electrical overhead wire protection, site management plan and builders sheds location; and
- (b) Hoarding plan and details that are certified by an appropriately qualified engineer; and
- (c) The payment to Council of a footpath occupancy fee based on the area of footpath to be occupied and Council's Schedule of Fees and Charges (available at www.strathfield.nsw.gov.au) before the commencement of work; and

- (d) A Public Risk Insurance Policy with a minimum cover of \$20 million in relation to the occupation of and works within Council's road reserve, for the full duration of the proposed works, must be obtained a copy provided to Council. The Policy is to note Council as an interested party.

REQUIREMENTS OF CONCURRENCE, INTEGRATED & OTHER GOVERNMENT AUTHORITIES

6. Sydney Water – Tap in™

The approved plans must be submitted to a Sydney Water Tap in™ to determine whether the development application will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately endorsed. For details please refer to 'Plumbing, building and developing' section of Sydney Water's web site at www.sydneywater.com.au then see 'Building', or telephone 13000 TAP IN (1300 082 746). The Certifying Authority must ensure that a Tap in™ agent has appropriately stamped the plans prior to the issue of the Construction Certificate.

PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

7. Fees to be Paid

The fees listed in the table below must be paid in accordance with the conditions of this consent and Council's adopted Fees and Charges applicable at the time of payment (available at www.strathfield.nsw.gov.au).

Payments must be made prior to the issue of the Construction Certificate or prior to the commencement of work (if there is no associated Construction Certificate).

Please contact council prior to the payment of s7.11 or s7.12 Contributions to determine whether the amounts have been indexed from that indicated below in this consent and the form of payment that will be accepted by Council.

A summary of the fees to be paid are listed below:

Fee Type	Fee
GENERAL FEES	
Long Service Levy (to Long Service Corporation) Or, provide evidence of Payment direct to the Long Service Corporation. See https://portal.longservice.nsw.gov.au/bci/levy/	\$4,161.3075
Security Damage Deposit	\$15,000.00
Tree Bond	\$10,150.00

Administration Fee for Damage Deposit	\$130.00
Administration Fee for Tree Bond	\$130.00
DEVELOPMENT CONTRIBUTIONS	
Strathfield Section 94A Indirect Development Contributions Plan 2017	\$11,889.45
Total Section 94 Contributions:	\$11,889.45

General Fees

The fees and charges above are subject to change and are as set out in the version of Council's Schedule of Fees and Charges or as required by other Government Authorities, applicable at the time of payment.

Development Contributions

The Section 7.11 contribution (s94) is imposed to ensure that the development makes adequate provision for the demand it generates for public amenities and public services within the area.

A Section 7.12 contribution has been levied on the subject development pursuant to the Strathfield Section 94A Indirect Development Contributions Plan.

Indexation

The above contributions will be adjusted at the time of payment to reflect changes in the cost of delivering public amenities and public services, in accordance with the indices provided by the relevant Development Contributions Plan.

Timing of Payment

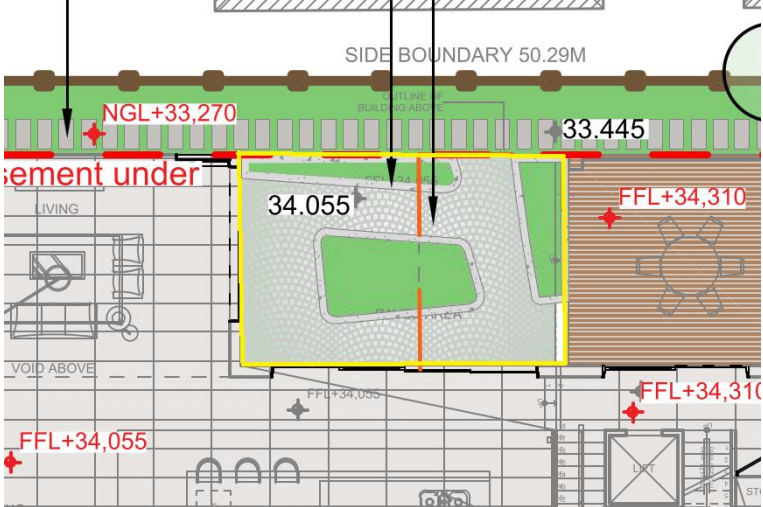
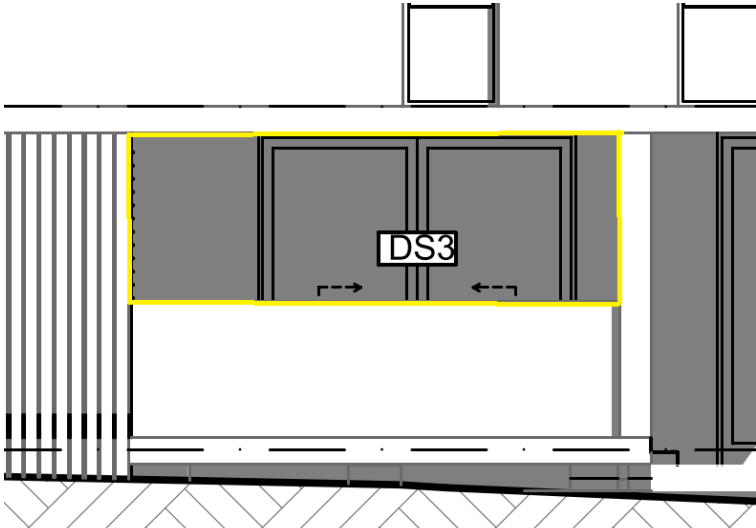
The contribution must be paid and receipted by Council prior to the release of the Construction Certificate.

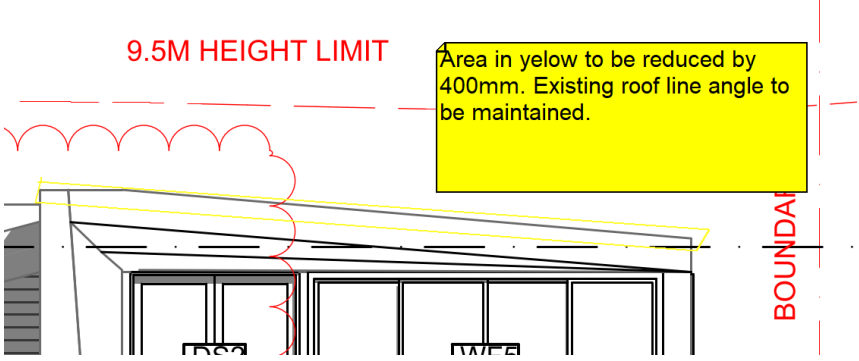
Further Information

A copy of the *current Development Contributions Plans* may be inspected at Council's Customer Service Centre at 65 Homebush Road, Strathfield or on Council's website www.strathfield.nsw.gov.au.

8. Required Design Changes

The following changes are required to be made and shown on the Construction Certificate plans:

<p>Landscape Plan</p>	<p>The Landscape Plan is to replace the area shown in yellow below as deep soil turf and is to be no higher than RL 33,445 AHD. All paving within this area is to be constructed of permeable paving.</p> 
<p>Landscape Plan</p>	<p>All pavers are to be permeable paving construction.</p>
<p>Landscape Plan</p>	<p>A canopy tree is to be placed in the rear yard, selected from Council's Trees Species list and capable of reaching a mature height of 10m.</p>
<p>Western Alfresco Privacy Screen</p>	<p>The western alfresco area is to incorporate a privacy screen above the balustrade. This area is marked in yellow below.</p> 
<p>Western Alfresco RL</p>	<p>The western alfresco area is to have an RL 33,445 AHD.</p>

Side boundary fencing	No side boundary or rear boundary fencing is to be shown on the construction certificate drawings.
Outbuilding Height	The outbuilding (Sauna and Bathroom) is to have a maximum height of 3.5m as measured from existing ground level.
Parapet Height	<p>The rear roof feature or parapet is to be lowered by 400mm, with the existing angles to be maintained. The extract below illustrates how the roof line should be amended.</p> 
Window Sill Heights	Windows WS2 and WS3 on the western elevation and WA2 and WS2 on the eastern elevation are to comprise obscured glazing up to a height of 1.8m. They are also to be designed as 'highlight windows' and have a maximum width of 800mm.

9. Damage Deposit – Minor Works

In order to insure against damage to Council property the following is required:

- Pay Council, before the issue of the Construction Certificate, a damage security deposit for the cost of making good any damage caused to any Council property as a result of the development: \$15,000.00
- Pay Council, before the issue of the Construction Certificate, a non-refundable administration fee to enable assessment of any damage and repairs where required: \$130.00
- Submit to Council, before the commencement of work, a photographic record of the condition of the Council nature strip, footpath and driveway crossing, or any area likely to be affected by the proposal.

At the completion of work Council will inspect the public works, and the damage deposit will be refunded in full upon completion of work where no damage occurs. Otherwise the amount will be either forfeited or partly refunded according to the amount of damage.

10. Tree Bond

A tree bond of \$10,150.00 (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to existing trees to be retained on Council's road reserve, during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development.

A sound protection barrier anchored firmly into the ground 1.8m in height x 2 metres clear of the base of the tree at any one point and that the fence is to extend up to the back of the kerb and to the edge of the footpath.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

A request for refund of the Tree Bond must be made in writing.

Tree Bonds may be forfeited if a tree is dead, made dangerous or has been terminally damaged, or will be held until tree/s have fully recovered from the construction damage or were replacement/planted trees have become fully established and are over 6 metres in height.

11. Site Management Plan

Minor Development

A Site Management Plan detailing all weather access control points, sedimentation controls, waste management plans, fencing, builder's site sheds office, amenities, materials storage and unloading arrangements must be submitted with the application for the Construction Certificate.

The site management measures are to be implemented prior to the commencement of any works including demolition and excavation. The site management measures are to be maintained throughout the works, to maintain reasonable levels of public health, safety and amenity. A copy of the Site Management Plan must be kept on site and is to be made available upon request.

12. BASIX Commitments

The approved BASIX Certificate shall be submitted to the Accredited Certifier with the application for a Construction Certificate.

All measures and commitments as detailed in the BASIX Certificate No. 1254816S_02 must be implemented on the plans lodged with the application for the Construction Certificate.

13. Erosion & Sedimentation Control

Erosion and sediment controls must be provided to ensure:

- (a) Compliance with the approved Erosion & Sediment Control Plan
- (b) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval)
- (c) All clean water run-off is diverted around cleared or exposed areas
- (d) Silt fences, stabilised entry/exit points or other devices are installed to prevent sediment from entering drainage systems or waterways

- (e) All erosion and sediment controls are fully maintained for the duration of demolition, excavation and/or development works
- (f) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadway
- (g) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar
- (h) Compliance with [Managing Urban Stormwater – Soils and Construction \(Blue Book\) produced by Landcom 2004.](#)

These measures are to be implemented prior to the commencement of work (including demolition and excavation) and must remain until works are completed and all exposed surfaces are landscaped/sealed.

14. **Stormwater System**

The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system in accordance with Council stormwater management code and AS/NZS 3500.3: 2015 (as amended), prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

15. **Detailed Stormwater Drainage Design**

The submitted stormwater plan has been assessed as a concept plan only. A detailed drainage design supported by a catchment area plan and drainage calculations (including a Hydraulic Grade Line Analysis) in accordance with Council's Stormwater Management Code must be submitted with the Construction Certificate application.

16. **Compliance with Flood Study**

The development shall be designed to conform to the recommendations and conclusions of the submitted flood statement report prepared by JCO Consultants rev B dated 12 April 2022.

This shall include, but not be limited to, any recommendations for the following:

- (a) Minimum floor levels
- (b) Fencing
- (c) Overland flow path construction
- (d) Protection of the basement from inundation of surface waters

Evidence from professional engineer that specialises in hydraulic engineering that all design requirements have been adhered to shall be submitted with the Construction Certificate application.

17. **Pump-Out System Design for Stormwater Disposal**

The design of the pump-out system for storm water disposal will be permitted for drainage of basement areas only, and must be designed in accordance with the following criteria:

- (a) The pump system shall consist of two pumps, connected in parallel, with each pump being capable of emptying the holding tank at the rate equal to the rate of inflow for the one-hour duration storm. The holding tank shall be capable of holding four hour's runoff from a one-hour duration storm of the 1 in 100 year storm;

- (b) The pump system shall be regularly maintained and serviced, every six (6) months; and
- (c) Any drainage disposal to the street gutter from a pump system must have a stilling sump provided at the property line, connected to the street gutter by a suitable gravity line.

Details and certification of compliance from a professional engineer specialising in civil engineering shall be provided for approval with the Construction Certificate application.

18. **Stormwater Drainage Plan Details**

Stormwater drainage plans including pipe sizes, type, grade, length, invert levels, dimensions and types of drainage pits prepared by a professional engineering specialising in hydraulic engineering shall be submitted with the Construction Certificate application.

These plans shall be prepared in accordance with the Australian Institute of Engineers Australian Rainfall and Runoff (1987) and Council's Stormwater Management Code.

19. **Compliance with Swimming Pool Act 1992**

The alterations and additions to the dwelling house and/or the construction of the new dwelling house subject of this consent must not generate any non-compliances with the Swimming Pools Act 1992, Swimming Pool Regulation 2018 and the Building Code of Australia. Details of compliance to be illustrated on the plans lodged with the application for the Construction Certificate.

20. **Structural Details**

Engineer's details prepared by a practising Structural Engineer being used to construct all reinforced concrete work, structural beams, columns & other structural members. The details are to be submitted to the Principal Certifying Authority for approval prior to construction of the specified works.

A copy shall be forwarded to Council where Council is not the Principal Certifier.

21. **Swimming Pools – Use and Maintenance**

The following apply to the construction, use and maintenance of swimming pools and spas:

- (a) no ground level may be raised or filled except where shown specifically on the approved plans;
- (b) all pool/spa waste water is to be discharged to the sewer according to the requirements of Sydney Water;
- (c) the swimming pool must not be used for commercial or professional purposes;
- (d) drain paved areas to the landscaped areas or a suitable lawful drainage system; and
- (e) arrange any external pool/spa lighting to minimise glare nuisance to adjoining owners.

22. **Off Street Parking – Compliance with AS2890**

All driveways, access ramps, vehicular crossings and car parking spaces shall be designed and constructed in accordance with the current version of Australian Standards, AS 2890.1 (for car parking facilities), AS 2890.6 (parking for people with disabilities) and AS 2890.2 (for commercial vehicle facilities).

23. Landscape Plans

All landscape works shall be carried out in accordance with the approved landscape plans, inclusive of changes required under Condition 8 – Required Design Changes. The landscaping shall be maintained in accordance with the approved plans in perpetuity.

24. Compliance with Submitted Arborist Report

The recommendations outlined in the Arborist's Report titled **Arboricultural Impact Assessment** prepared by **Anoba Arbor** dated **25 October 2021** must be implemented throughout the relevant stages of construction. Details of tree protection measures to be implemented must be detailed and lodged with the Construction Certificate application for approval and shall be in accordance with Section 4 - *Australian Standard AS 4970-2009: Protection of trees on development sites*. The tree/s to be protected are listed in the table below.

Tree No	Tree Species	Location of Tree	Tree Protection Zone (TPZ)
2	Mangifera indica	12 Mount Street Strathfield	3.4 metres
3	Syagrus romanzoffiana	14 Mount Street Strathfield	2.6 metres
5	Prunus sp	12 Mount Street Strathfield	2.4 metres
6	Murraya paniculata	14 Mount Street Strathfield	2.4 metres
7	Lophostemon confertus	12 Mount Street Strathfield (Street Tree)	6.4 metres

25. Tree Protection and Retention

The following trees shall be retained and protected:

Tree No	Tree Species	Location of Tree	Tree Protection Zone (TPZ)
2	Mangifera indica	12 Mount Street Strathfield	3.4 metres
3	Syagrus romanzoffiana	14 Mount Street Strathfield	2.6 metres
5	Prunus sp	12 Mount Street Strathfield	2.4 metres
6	Murraya paniculata	14 Mount Street Strathfield	2.4 metres
7	Lophostemon confertus	12 Mount Street Strathfield (Street Tree)	6.4 metres

Details of the trees to be retained must be included on the Construction Certificate plans.

General Tree Protection Measures

- (a) All trees to be retained shall be protected and maintained during demolition, excavation and construction of the site.

- (b) The tree protection measures must be undertaken in accordance *AS4970 -2009 Protection of trees on development sites*.
- (c) Details of the tree protection measures to be implemented must be provided with the application for a Construction Certificate by a suitably qualified Arborist (AQF Level 5 or above in Arboriculture).
- (d) The Arborist must be present on-site during the stages of construction when works are being undertaken that could impact on the tree canopy or root zone within the tree protection zone to implement the tree protection measures as required.
- (e) Unless otherwise specified in AS 4970-2009, a protective fence consisting of 1.8 metres high, fully supported chainmesh fence shall be erected around the base of the tree. The distance of the fence from the base of each tree is to be in accordance with the TPZ listed in the table above. A layer of organic mulch 100 millimetres thick shall be placed over the protected area and no soil or fill should be placed within the protection area.
- (f) No services shall be installed within the TPZ of the tree unless approved by Council. This fence shall be kept in place during demolition, construction and also have a sign displaying 'Tree Protection Zone' attached to the fence and must also include the name and contact details of the Project Arborist.

Specific Street Tree Protection Measures

- (g) A sound protection barrier anchored firmly into the ground 1.8m in height x 2 metres clear of the base of the tree at any one point and that the fence is to extend up to the back of the kerb and to the edge of the footpath.

Excavation works near tree to be retained

- (h) Excavations around the trees to be retained on site or the adjoining properties shall be supervised by the Project Arborist to ensure that the root system will not adversely be affected.
- (i) Where the Tree Protection Zone (TPZ) of trees on site or adjoining sites become compromised by any excavation works, the Project arborist shall be consulted to establish the position of any major roots and determine the necessary measures to protect these roots. The recommendations of the Arborist shall be submitted to Council prior to any further demolition or construction works taking place.
- (j) Tree Protection Zone around the trees to be retained are not to have soil level changes or services installed in this area. Any structures proposed to be built in this area of the trees are to utilise pier and beam or cantilevered slab construction.

Details satisfying this condition shall be shown on the Construction Certificate plans.

Pier and Beams

- (a) To preserve the **Tree 7** as marked in the ***Arboricultural Impact Assessment*** prepared by ***Anoba Arbor*** dated **25 October 2021**, the footings of the proposed **front fence** shall be isolated pier and beam construction within a **6.4 metre** radius of the trunk. The piers shall be hand dug and located such that no roots of a diameter greater than 50mm are severed or injured in the process of any site works during the construction period. The beam shall be located on or above the existing soil levels.

Details of this construction method shall be shown on the Construction Certificate plans.

26. Tree Removal & Replacement

Tree removal

Permission is granted for the removal of the following trees:

Tree No	Tree Species	No of Trees	Location
1	Macadamia tetraphylla	1	12 Mount Street Strathfield
4	Fraxinus griffithii	1	12 Mount Street Strathfield

General Tree Removal Requirements

- ii) All tree removal shall be carried out by a certified Tree Surgeon/Arborist to ensure that removal is undertaken in a safe manner and complies with the AS 4373-2007 - Pruning of Amenity Trees and Amenity Tree Industry Code of Practice (Safework NSW, August 1998).

Tree Replacement

All trees permitted to be removed by this consent shall be replaced [1 tree for each tree removed] by species selected from Council's Recommended Tree List and must have a minimum mature height of 10 metres.

Replacement trees shall be a minimum 50 litre container size. Trees are to conform to the NATSPEC guide and Guide for assessing the quality of and purchasing of landscape trees by Ross Clarke, 2003. Trees are to be true to type, healthy and vigorous at time of delivery and planting, shall be pest and disease free, free from injury and wounds and self-supporting; and shall be maintained until maturity.

All trees are to be staked and tied with a minimum of three (3) hardwood stakes. Ties are to be hessian and fixed firmly to the stakes, one tie at half the height of the main stem, others as necessary to stabilise the plant.

Root deflection barriers having a minimum depth of 600mm are to be installed adjacent to all footpaths and driveways.

Soil conditioner/fertilizer/moisture retention additive/s are to be applied in accordance with manufacturer's recommendations, and mixed into the backfilling soil after planting tree/s.

A minimum 75mm depth of organic mulch shall be placed within an area 0.5m from the base of the tree.

Details demonstrating compliance shall be demonstrated to the Principal Certifying Authority, prior to the issue of any Occupation Certificate.

27. Pre-Construction Dilapidation Report – Private Land

A professional engineer specialising in structural or geotechnical engineering shall prepare a Pre-Construction Dilapidation Report detailing the current structural condition of adjoining premises including but not limited to:

- (a) All neighbouring buildings likely to be affected by the excavation as determined by the consulting engineer.
- (b) No. 10 Mount Street (Lot: 11 DP: 5836)
- (c) No 14 Mount Street (Lot: 13 DP: 5836)

The report shall be prepared at the expense of the applicant and submitted to the satisfaction of the Certifying Authority prior to the issue of the Construction Certificate.

A copy of the pre-construction dilapidation report is to be provided to the adjoining properties (subject of the dilapidation report), a minimum of 5 working days prior to the commencement of work. Evidence confirming that a copy of the pre-construction dilapidation report was delivered to the adjoining properties must be provided to the Principal Certifier.

Should the owners of properties (or their agents) refuse access to carry out inspections, after being given reasonable written notice, this shall be reported to Council to obtain Council's agreement to complete the report without access. Reasonable notice is a request for access in no sooner than 14 days between 8.00am-6.00pm.

PRIOR TO THE COMMENCEMENT OF WORK (INCLUDING DEMOLITION & EXCAVATION)

28. Demolition & Asbestos

The demolition work shall comply with the provisions of Australian Standard AS2601:2001 – Demolition of Structures, NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#). The work plans required by AS2601:2001 shall be accompanied by a written statement by a suitably qualified person that the proposals contained in the work plan comply with the safety requirements of the Standard. The work plans and the safety statement shall be submitted to the Principal Certifier prior to the commencement of works.

For demolition work which involves the removal of asbestos, the asbestos removal work must be carried out by a licensed asbestos removalist who is licensed to carry out the work in accordance with the NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#) unless specified in the Act and/or Regulation that a license is not required.

All demolition work including the removal of asbestos, shall be undertaken in accordance with the [Demolition Code of Practice](#) (NSW Work Cover July 2015)

Note: Copies of the Act, Regulation and Code of Practice can be downloaded free of charge from the SafeWork NSW website: www.SafeWork.nsw.gov.au.

29. Demolition Notification Requirements

The following notification requirements apply to this consent:

- (a) The developer /builder must notify adjoining residents five (5) working days prior to demolition. Such notification is to be a clearly written note giving the date demolition will commence, contact details of the developer/builder, licensed asbestos demolisher and the appropriate regulatory authority. Notification is to be placed in the letterbox of every premises (including every residential flat or unit, if any) either side and immediately at the rear of the demolition site.
- (b) Five (5) working days prior to demolition, the developer/builder is to provide written notification to Council advising of the demolition date, details of the SafeWork licensed asbestos demolisher and the list of residents advised of the demolition.
- (c) On demolition sites where buildings to be demolished contain asbestos, a standard commercially manufactured sign containing the words "DANGER ASBESTOS REMOVAL IN PROGRESS" measuring not less than 400mm x 300mm is to be erected in a prominent visible position (from street frontage) on the site. The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos material has been removed from the site to an approved waste facility.

30. Demolition Work Involving Asbestos Removal

Work involving bonded asbestos removal work (of an area of more than 10 square metres) or friable asbestos removal work must be undertaken by a person who carries on a business of such removal work in accordance with a licence under clause 458 of the [Work Health and Safety Regulation 2011](#).

31. Dial Before You Dig

The applicant shall contact "Dial Before You Dig on 1100" to obtain a Service Diagram prior to the issuing of the Construction Certificate. The sequence number obtained from "Dial Before You Dig" shall be forwarded to Council's Engineers for their records.

32. Dust Control

Where a dust nuisance is likely to occur, suitable screens and/or barricades shall be erected during the demolition, excavation and building works. If necessary, water sprays shall be used on the site to reduce the emission of dust. Screening shall consist of a minimum 2 metres height of shade cloth or similar material secured to a chain wire fence of the like and shall be modified as required should it fail to adequately control any dust nuisance.

DURING CONSTRUCTION

33. Hours of Construction for Demolition and Building Work

Any work activity or activity associated with the development consent that requires the use of any tools (including hand tools) or any power operated plant and machinery that creates noise on or adjacent to the site shall not be performed, or permitted to be performed, except between the hours of 7.00 am to 5.00 pm, Monday to Friday and 8:00am to 1:00pm on Saturdays. No work or ancillary activity is permitted on Sundays, or Public Holidays.

Where the development involves the use of jack hammers/rock breakers and the like, or other heavy machinery, such equipment may only be used between the hours of 7:00am to 5:00pm Monday to Friday only.

Note: A penalty infringement notice may be issued for any offence.

34. Ground Levels and Retaining Walls

The ground levels of the site shall not be excavated, raised or filled, or retaining walls constructed on the allotment boundary, except where indicated on approved plans or approved by Council.

35. Obstruction of Road or Footpath

The use of the road or footpath for the storage of any building materials, waste materials, temporary toilets, waste or skip bins, or any other matter is not permitted unless separately approved by Council under Section 138 of the [Roads Act 1993](#) and/or under Section 68 of the [Local Government Act 1993](#). Penalty infringement Notices may be issued for any offences and severe penalties apply.

36. Swimming Pools – Filling with Water

The pool/spa shall not be filled until the safety fences have been completed in accordance with the approved plans and specifications and inspected by the Principal Certifier.

37. Tree Removal on Private Land

The trees identified as 'to be removed/pruned' on the approved plans or by conditions of this consent shall be removed in accordance with *AS4373 -2007* and the *Amenity Tree Industry Code of Practice* (SafeWork NSW, August 1998).

38. Excavation Works Near Tree to be Retained

Excavation around the tree/s to be retained on site or the adjoining properties shall be supervised by the Project Arborist to ensure that the root system will not be adversely affected.

Where the Tree Protection Zone of trees on site or adjoining sites become compromised by any excavation works, the Project Arborist shall be consulted to establish the position of any major roots and determine the necessary measures to protect these roots. The recommendations of the Arborist shall be submitted to Council prior to any further demolition or construction works taking place.

PRIOR TO THE ISSUE OF THE OCCUPATION CERTIFICATE

39. BASIX Certificate

All energy efficiency measures as detailed in the approved BASIX Certificate in the plans approved with the Development Consent, must be implemented before issue of any Occupation Certificate.

40. BASIX Compliance Certificate

A Compliance Certificate must be provided to the Principal Certifier regarding the implementation of all energy efficiency measures as detailed in the approved BASIX Certificate before any Occupation Certificate is issued.

41. Post Construction Dilapidation Report – Private Land

At the completion of the construction works, a suitably qualified person is to be engaged to prepare a post-construction dilapidation report. This report is to ascertain whether the construction works associated with the subject development created any structural damage to the following adjoining premises:

- (d) All neighbouring buildings likely to be affected by the excavation as determined by the consulting engineer.
- (e) No. 10 Mount Street (Lot: 11 DP: 5836)
- (f) No 14 Mount Street (Lot: 13 DP: 5836)

The report is to be prepared at the expense of the applicant and submitted to the Principal Certifier prior to the issue of the Occupation Certificate. In ascertaining whether adverse structural damaged has occurred to the adjoining premises, the Principal Certifier, must compare the post-construction dilapidation report with the pre-construction dilapidation report required by conditions in this consent.

Evidence confirming that a copy of the post-construction dilapidation report was delivered to the adjoining properties subject of the dilapidation report must be provided to the Principal Certifier prior to the issue of any Occupation Certificate.

42. Minor Development

Internal driveways and parking spaces are to be adequately paved with concrete or bitumen, or interlocking pavers to provide a dust-free surface.

43. Stormwater Certification of the Constructed Drainage Works (Minor)

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

44. Vehicular Crossing - Minor Development

The vehicular crossing and/or footpath works shall be constructed by a private contractor at the expense of the applicant, in accordance with the Works Permit Approval issued by Council's Civic & Urban Services and in accordance with Council's Driveway Specifications.

Any existing vehicular crossing and/or laybacks which are redundant must be removed. The kerb and gutter, any other footpath and turf areas shall be restored at the expense of the applicant and in accordance with Council's Driveway Specifications.

The work must be completed before the issue of an Occupation Certificate.

45. Stormwater Drainage Works – Works As Executed

Prior to the issue of the Occupation Certificate, stormwater drainage works are to be certified by a professional engineer specialising in hydraulic engineering, with Works-As-Executed drawings supplied to Council detailing:

- (a) Compliance with conditions of development consent relating to stormwater;
- (b) The structural adequacy of the On-Site Detention system (OSD);

- (c) That the works have been constructed in accordance with the approved design and will provide the detention storage volume and attenuation in accordance with the submitted calculations;
- (d) Pipe invert levels and surface levels to Australian Height Datum;
- (e) Contours indicating the direction in which water will flow over land should the capacity of the pit be exceeded in a storm event exceeding design limits.

Council's Engineering Services section must advise in writing that they are satisfied with the Works-As-Executed prior to the issue of an Occupation Certificate.

OPERATIONAL CONDITIONS (ON-GOING)

46. Swimming Pools – Resuscitation Notice

An expired air resuscitation warning notice complying with the [Swimming Pools Act 1992](#) must be affixed in a prominent position adjacent to the pool.

47. Private Swimming Pools & Spas – Pump Noise

The swimming pool/spa pump and associated equipment must be located so that the noise emitted does not exceed 5dB(A) above the background level. If this cannot be achieved, a ventilated and sound-proofed enclosure must enclose the pump to achieve the required noise levels.

Swimming pool is to be installed with a timer that limits the recirculation and filtration systems operation such that it does not emit noise that can be heard within a habitable room in any other residential premises (regardless of whether any door or window to that room is open):

- (a) before 8 am or after 8 pm on any Sunday or public holiday, or
- (b) before 7 am or after 8 pm on any other day.

48. Greywater System

In order to conserve and re-use water, Council encourages all developments for new dwellings to incorporate a greywater reuse system. The system can incorporate a *greywater diversion device* or a *domestic greywater treatment system*. Any system installed is to ensure that it complies with the Plumbing Code of Australia, maintained at all times and does not result in any adverse amenity impacts on the subject premises and surrounding properties.

OPERATIONAL REQUIREMENTS UNDER THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 1979

49. Requirement for a Construction Certificate

The erection of a building must not commence until a Construction Certificate has been issued.

50. Appointment of a Principal Certifier

Building and/or demolition works must not commence until the applicant has:

- (a) appointed a Principal Certifier for the building work; and
- (b) if relevant, advised the PCA that the work will be undertaken as an Owner -Builder.

If the work is not going to be undertaken by an Owner - Builder, the applicant must:

- (c) appoint a Principal Contractor to undertake the building work. If residential building work (within the meaning of the [Home Building Act 1989](#)) is to be undertaken, the Principal Contractor must be a holder of a contractor licence; and
- (d) notify the Principal Certifier of the details of any such appointment; and
- (e) notify the Principal Contractor of any critical stage inspections or other inspections that are required to be carried out in respect of the building work.

51. Notification of Critical Stage Inspections

No later than two days before the building work commences, the Principal Certifier must notify:

- (a) the consent authority and the Council (if not the consent authority) of his or her appointment; and
- (b) the applicant of the critical stage inspections and other inspections that are to be carried out with respect to the building work.

52. Notice of Commencement

The applicant must give at least two days notice to the Council and the Principal Certifier of their intention to commence the erection or demolition of a building.

53. Critical Stage Inspections

The last critical stage inspection must be undertaken by the Principal Certifier. The critical stage inspections required to be carried out vary according to Building Class under the Building Code of Australia and are listed in Clause 61 of the [Environmental Planning and Assessment \(Development Certification and Fire Safety\) Regulation 2021 - NSW Legislation](#).

54. Notice to be Given Prior to Critical Stage Inspections

The principal contractor for a building site, or the owner-builder, must notify the Principal Certifier at least 48 hours before each required inspection needs to be carried out.

55. Occupation Certificate

A person must not commence occupation or use of the whole or any part of a new building unless an Occupation Certificate has been issued in relation to the building or part.

PRESCRIBED CONDITIONS

56. Clause 75 – BASIX Commitments

This Clause requires the fulfilment of all BASIX Commitments as detailed in the BASIX Certificate to which the development relates.

57. Clause 69 – Building Code of Australia & Home Building Act 1989

Requires all building work to be carried out in accordance with the Building Code of Australia. In the case of residential building work to which the [Home Building Act 1989](#) relates, there is a requirement for a contract of insurance to be in force before any work commences.

58. Clause 70 – Erection of Signs

Requires the erection of signs on site and outlines the details which are to be included on the sign. The sign must be displayed in a prominent position on site and include the name and contact details of the Principal Certifier and the Principal Contractor.

59. Clause 71 – Home Building Act 1989

If the development involves residential building work under the [Home Building Act 1989](#), no work is permitted to commence unless certain details are provided in writing to Council. The name and licence/permit number of the Principal Contractor or Owner Builder and the name of the Insurer by which work is insured under Part 6 of the [Home Building Act 1989](#).

ADVISORY NOTES

i. Appeal Rights

Division 8.3 (Reviews and appeals) Part 8 of the Environmental Planning and Assessment Act 1979 confers on an applicant who is dissatisfied with the determination of the application a right of appeal to the Land and Environment Court of New South Wales.

ii. Lapsing of Consent

This consent will lapse unless the development is physically commenced within 5 years from the Date of Operation of this consent, in accordance with Section 4.53 of the Environmental Planning and Assessment Act 1979 as amended.

iii. Long Service Levy

The Long Service Corporation administers a scheme which provides a portable long service benefit for eligible workers in the building and construction industry in NSW. All benefits and requirements are determined by the Building and Construction Industry Long Service Payments Act 1986. More information about the scheme and the levy amount you are required to pay to satisfy a condition of your consent can be found at <http://www.longservice.nsw.gov.au>.

The required Long Service Levy payment can be direct to the Long Service Corporation via their web site <https://online.longservice.nsw.gov.au/bci/levy>. Payments can only be processed on-line for the full levy owing and where the value of work is between \$25,000 and \$6,000,000. Payments will be accepted for amounts up to \$21,000, using either MasterCard or Visa.

iv. **Stormwater & Ancillary Works – Applications under Section 138 Roads Act and/or Section 68 Local Government Act 1993**

To apply for approval under Section 138 of the [Roads Act 1993](#):

- (a) Complete the Works Permit Application Form which can be downloaded from Strathfield Council's Website at www.strathfield.nsw.gov.au.
- (b) In the Application Form, quote the Development Consent No. (eg. Year/DA 2021/302) and reference this condition number (e.g. Condition 23)
- (c) Lodge the application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Council's adopted Fees and Charges for the administrative and inspection charges associated with Works Permit applications.

An approval for a new or modified vehicular crossing will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out by a private contractor in accordance with Council's specifications prior to the issue of an Occupation Certificate.

The developer must meet all costs of the extension, relocation or reconstruction of any part of Council's drainage system (including design drawings and easements) required to carry out the approved development.

v. **Site Safety Fencing**

Site fencing must be erected in accordance with SafeWork Guidelines, to exclude public access to the site throughout the demolition and/or construction work, except in the case of alterations to an occupied dwelling. The fencing must be erected before the commencement of any work and maintained throughout any demolition and construction work.

A demolition licence and/or a high risk work license may be required from SafeWork NSW (see www.SafeWork.nsw.gov.au).

vi. **Register your Swimming Pool**

All swimming pools in NSW are required to be registered. Fines apply for pools that are not registered. To register please visit: www.swimmingpoolregister.nsw.gov.au

vii. **Residential Waste**

Council's residential waste collection service comprises one (1) x 120 litre (L) general waste bin, one (1) x 240L recycling bin and one (1) x 240L garden vegetation bin per dwelling for single dwellings, semi-detached and dual occupancy developments. Waste containers should be stored in a suitable place to avoid vandalism, nuisance (odour, vermin) and adverse visual impacts on residents and the streetscape. Waste storage areas should be located to minimise the distance of travel to the collection point, be easily accessible and be of sufficient size to accommodate the necessary waste storage bins in accordance with Appendix C, Section H Waste Minimisation and Management, Strathfield Consolidated Development Control Plan 2005.

ATTACHMENTS

1. [↓](#) S8.2-DA2021.302- 12 Mount St-Architectural Plans
2. [↓](#) S8.2-DA2021.302- 12 Mount St- Arborist Report
3. [↓](#) S8.2-DA2021.302- 12 Mount St-BASIX Certificate
4. [↓](#) S8.2-DA2021.302- 12 Mount St-Flood Statement Report
5. [↓](#) S8.2-DA2021.302- 12 Mount St-Landscape Plans
6. [↓](#) S8.2-DA2021.302- 12 Mount St-Waste Management Plan

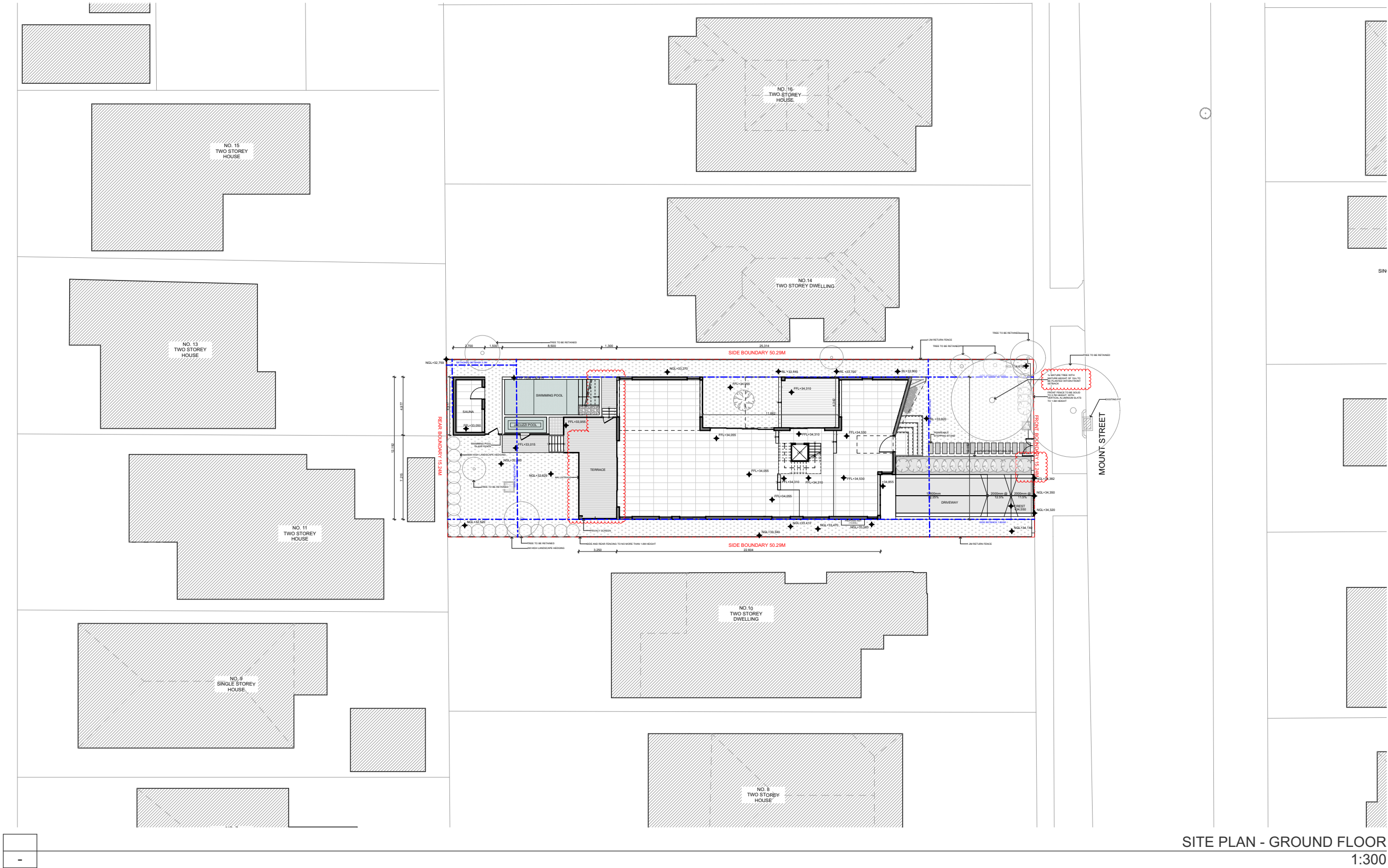


Subset ID and Name	DRAWING No.	DESCRIPTION
0 GENERAL	A001	COVER PAGE
0 GENERAL	A002	BASIX COMMITMENTS
0 GENERAL	A003	SURVEY
0 GENERAL	A004	DEMOLITION PLAN
0 GENERAL	A005	SITE PLAN - GROUND FLOOR
0 GENERAL	A006	SITE PLAN - FIRST FLOOR
0 GENERAL	A007	GFA CALCULATION
0 GENERAL	A008	LANDSCAPE & P.O.S CALCULATION
0 GENERAL	A010	SHADOW DIAGRAM
1 PLANS	A101	BASEMENT GA PLAN
1 PLANS	A102	GROUND FLOOR GA PLAN
1 PLANS	A103	FIRST FLOOR GA PLAN
1 PLANS	A104	ROOF LEVEL GA PLAN
2 ELEVATION	A201	NORTH & WEST ELEVATION
2 ELEVATION	A202	SOUTH & EAST ELEVATION
2 ELEVATION	A203	FRONT FENCE ELEVATION
3 SECTION	A301	SECTION AA & SECTION BB
3 SECTION	A302	SECTION CC & SECTION DD
4 SCHEDULE	A401	DOOR SCHEDULE
4 SCHEDULE	A402	WINDOW SCHEDULE
4 SCHEDULE	A403	MATERIAL SCHEDULE
5 NOTIFICATION	A501	NOTIFICATION PLANS
5 NOTIFICATION	A502	NOTIFICATION ELEVATIONS



12 MOUNT STREET STRATHFIELD NSW 2135
SINGLE DWELLING WITH SWIMMING POOL

SITE AREA: 766.44m²
PROPOSED FSR: 0.573: 1
PROPOSED GFA: 439.49m²



-

NOTE
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Project Partners
Refer to consultant documentation when directed

- Planning Consultant	- ASPIRE URBAN PLANNING
- Geotechnical Engineer	- ESWINMAN
- BASIX Certifier	- AENEIC
- Arborist	- ABINOBA ARBOR
- Stormwater Engineer	- JCO CONSULTANTS
- Flooding Engineer	- JCO CONSULTANTS
- Landscape Designer	- CONCEPT
- Traffic Engineer	- MOTION TRAFFIC
- Surveyor Consultant	- TIGO SURVEYS

RevID	Issue Date	Approved by	Rev. Note
01	07-Sep-21	TZ	ISSUE FOR REVIEW
02	28-Oct-21	TZ	ISSUE FOR REVIEW
A	01-Nov-21	TZ	ISSUE FOR DA
B	25-May-22	TZ	ISSUE FOR S8.2 REVIEW
C	30-Sep-22	TZ	ISSUE FOR S8.2 RPI

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Drawn | Checked | JC | TZ |
Revision Date: 30-Sep-22
Project NO. 2132
Project Status DA - S8.2

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone 5
Wind Region A

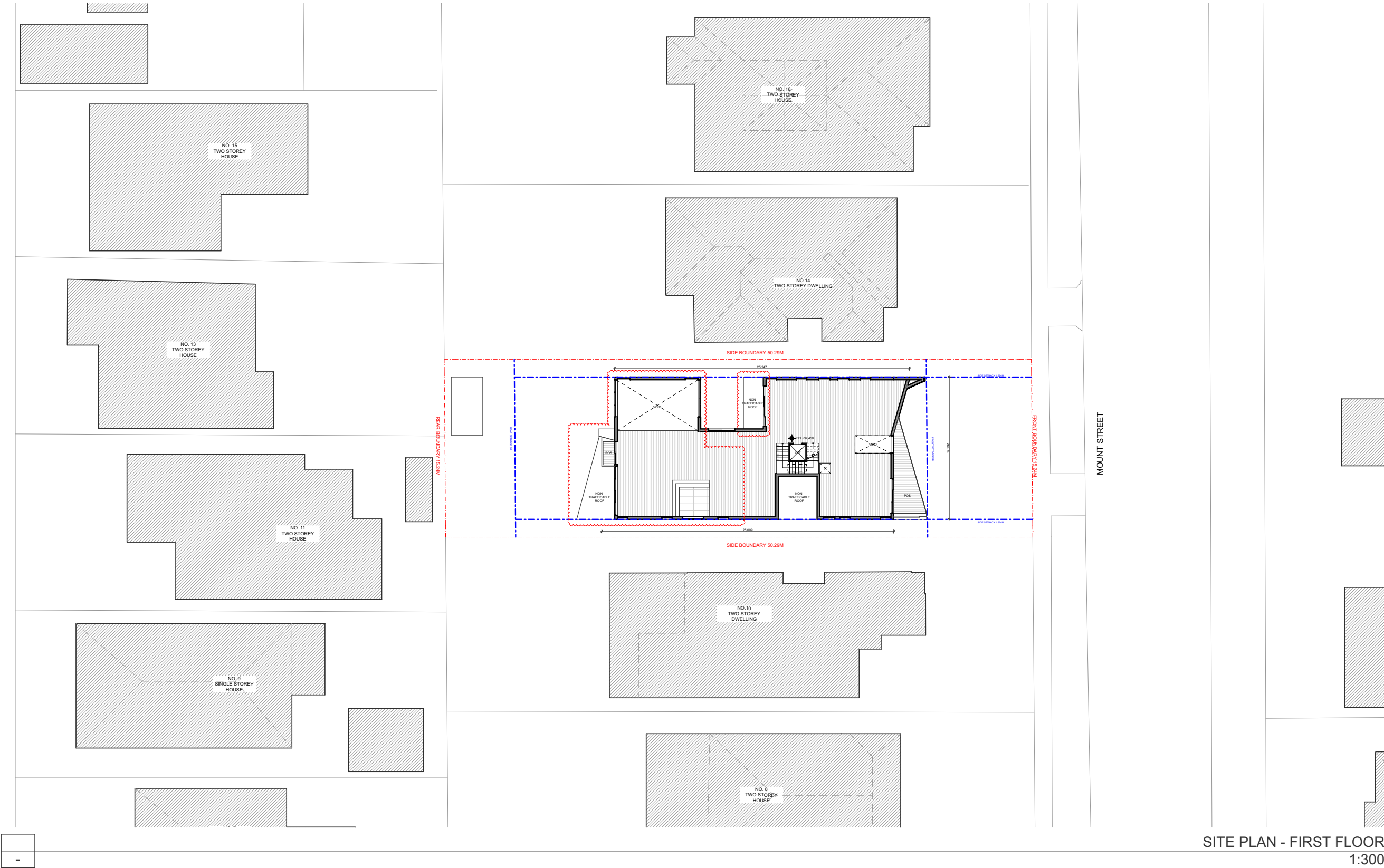
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DRAWING TITLE :
GENERAL
SITE PLAN - GROUND FLOOR

PROJECT NAME :
**12 MOUNT STREET
STRATHFIELD**

REVISION NO.
C

DRAWING NO.
A005



SITE PLAN - FIRST FLOOR
1:300

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- Landscape Designer	- CONCEPT
- Traffic Engineer	- MOTION TRAFFIC
- Surveyor Consultant	- TIGO SURVEYS

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TRUE NORTH

Drawn | Checked | JC | TZ |
Revision Date: 30-Sep-22
Project NO. 2132
Project Status DA - S8.2

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone: 5
Wind Region: A

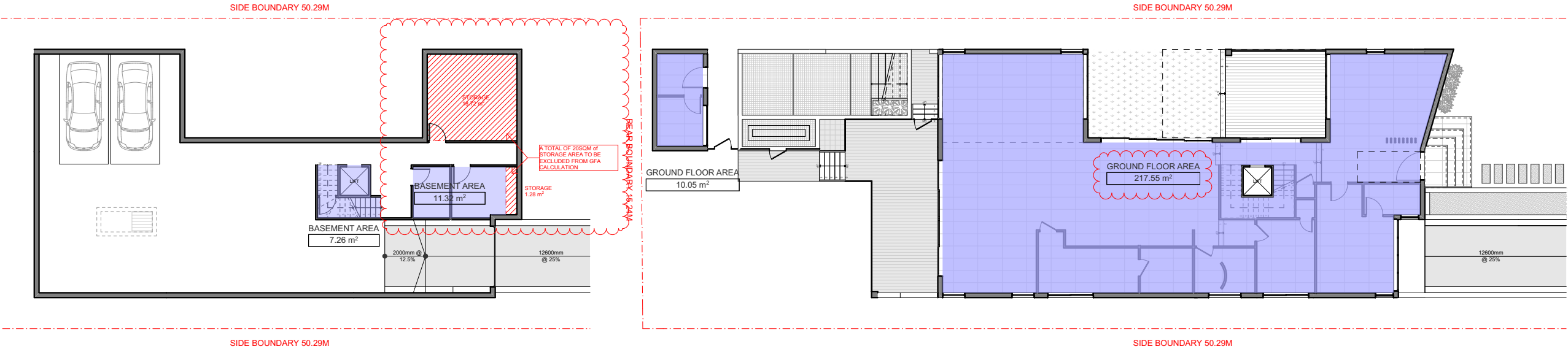
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DRAWING TITLE :
GENERAL
SITE PLAN - FIRST FLOOR

PROJECT NAME :
12 MOUNT STREET STRATHFIELD

REVISION NO.
C

DRAWING NO.
A006

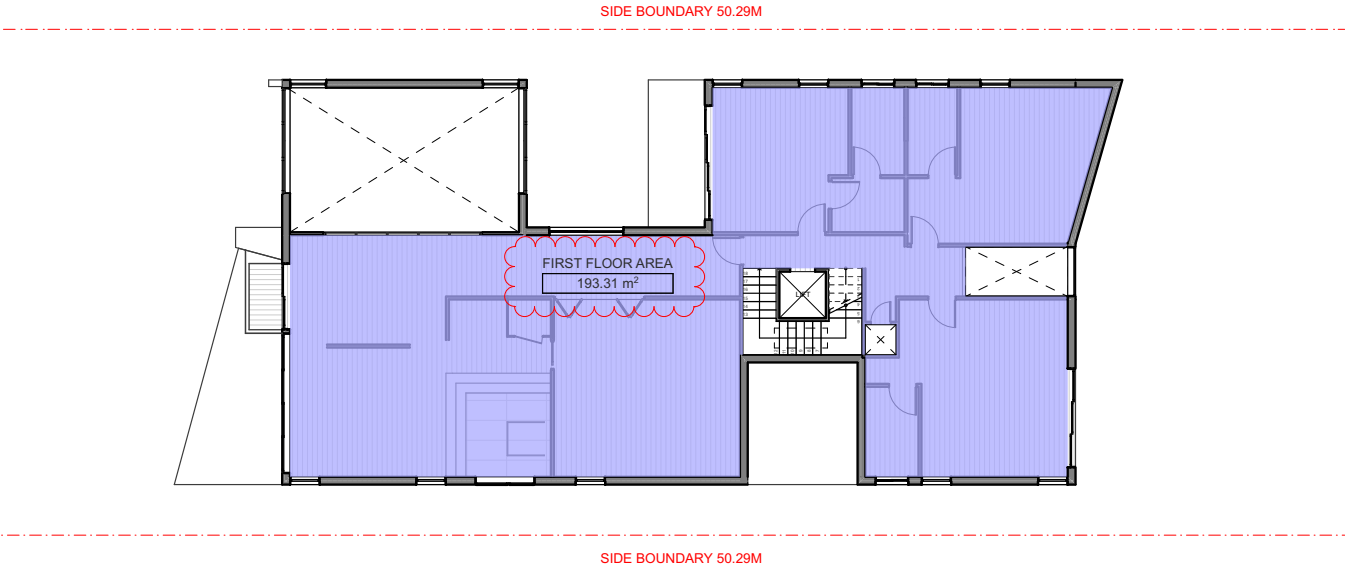


BASEMENT

1:200

GROUND FLOOR

1:200



FIRST FLOOR

1:200

GFA CALCULATION

FLOOR	MEASURED AREA
BASEMENT AREA	7.26
BASEMENT AREA	11.32
FIRST FLOOR AREA	193.31
GROUND FLOOR AREA	10.05
GROUND FLOOR AREA	217.55
	439.49 m²

SITE AREA: 766.44 SQM

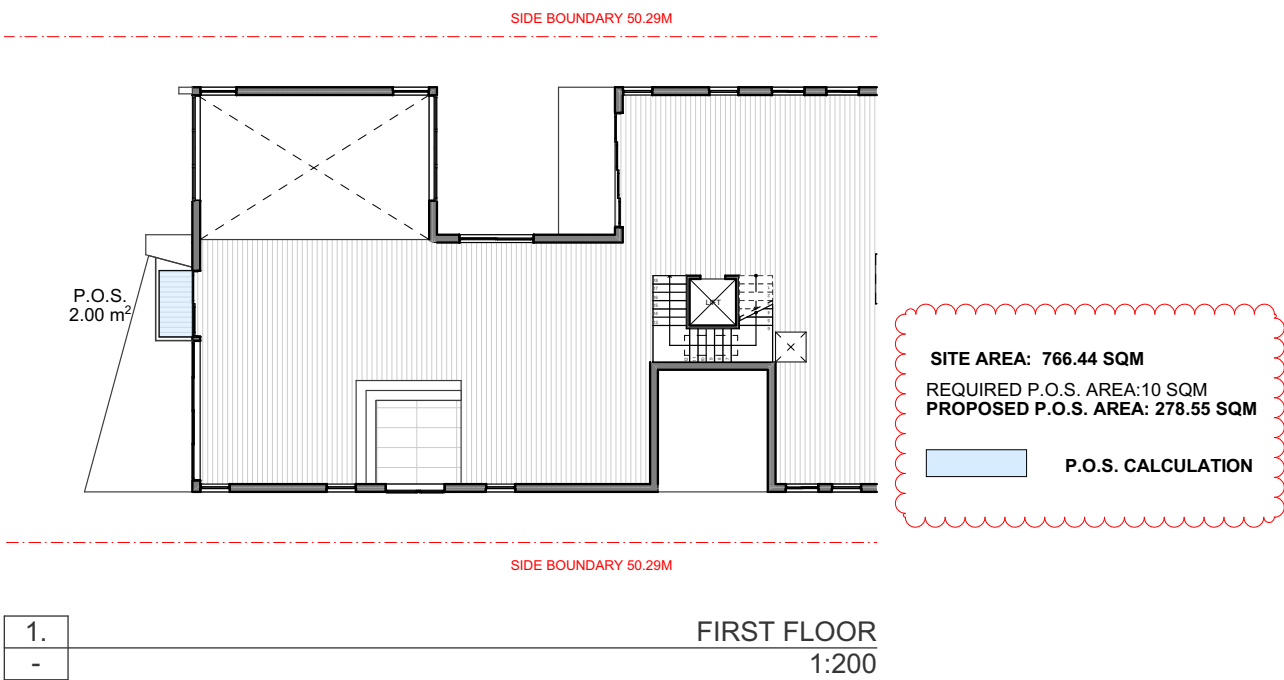
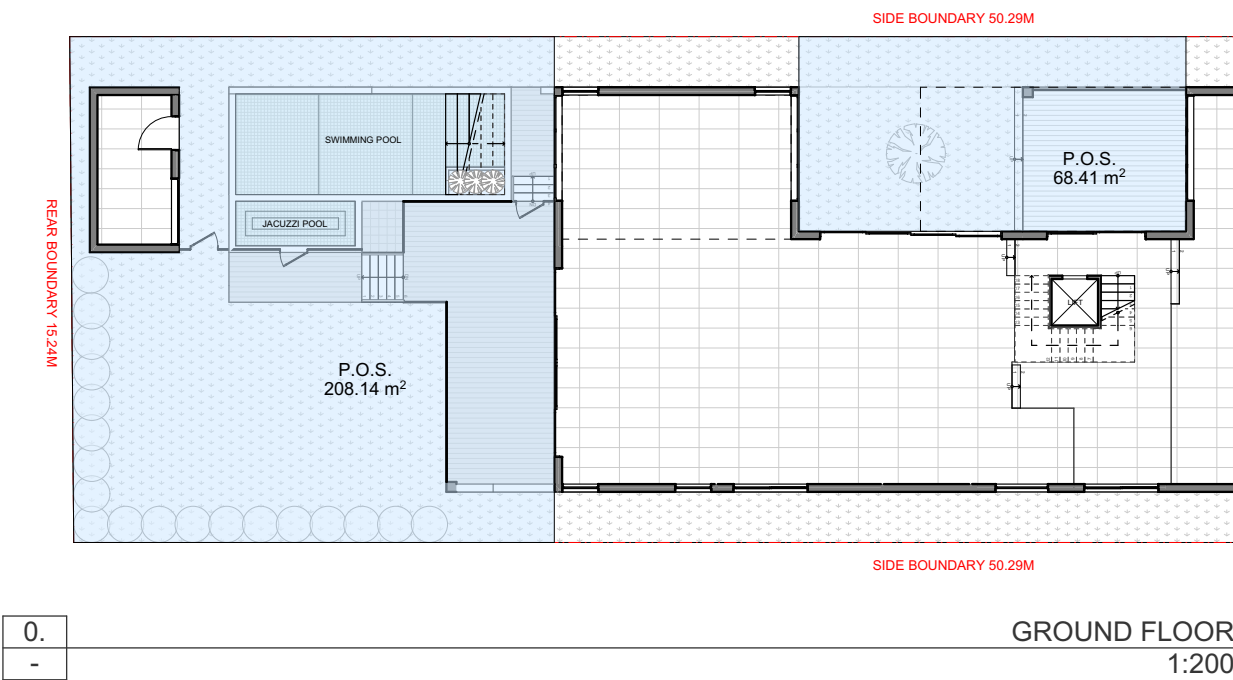
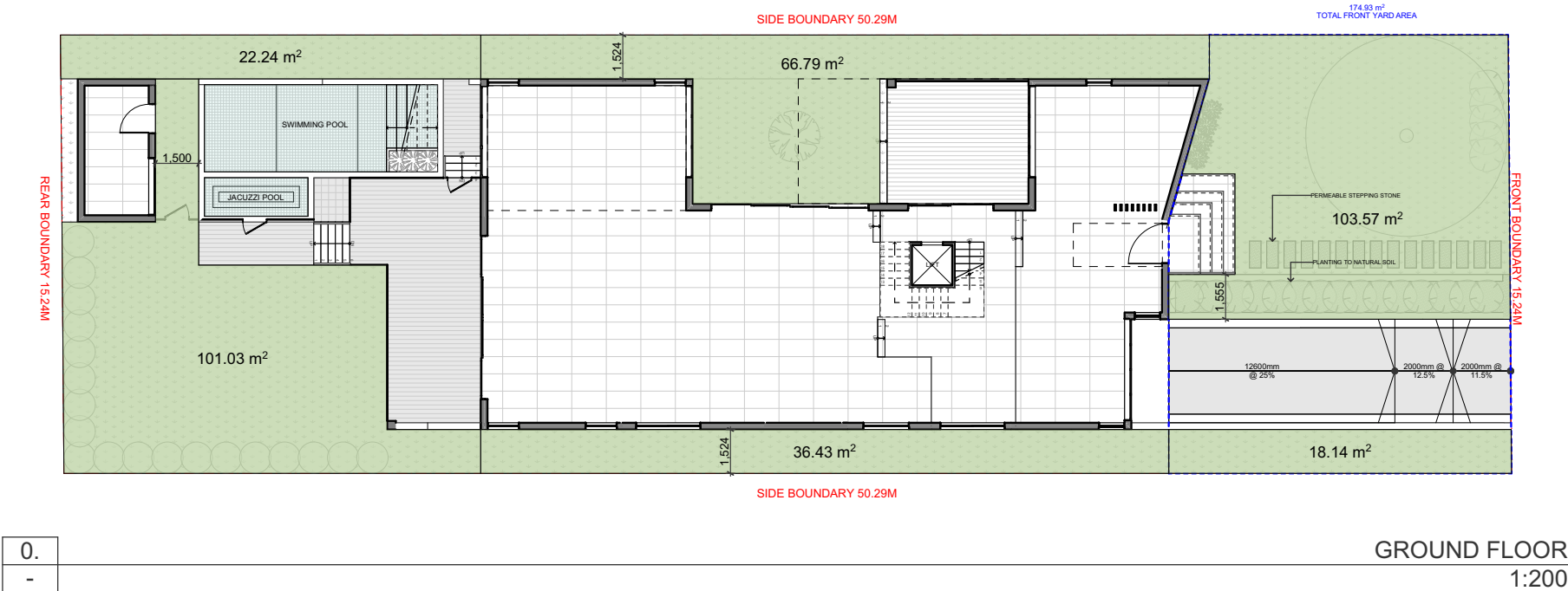
PERMISSIBLE FSR: 0.575:1

PERMISSIBLE GFA: 440.70SQM

PROPOSED FSR: : 0.573:1

PROPOSED GFA: 439.49 m²

GFA CALCULATION



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- Geotechnical Engineer - ESWINMAN
- BASIX Certifier - ABNEC
- Arborist - ABINOBA ARBOR
- Stormwater Engineer - JCO CONSULTANTS
- Flooding Engineer - JCO CONSULTANTS
- Landscape Designer - CONCEPT
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- Surveyor Consultant - TIGO SURVEYS

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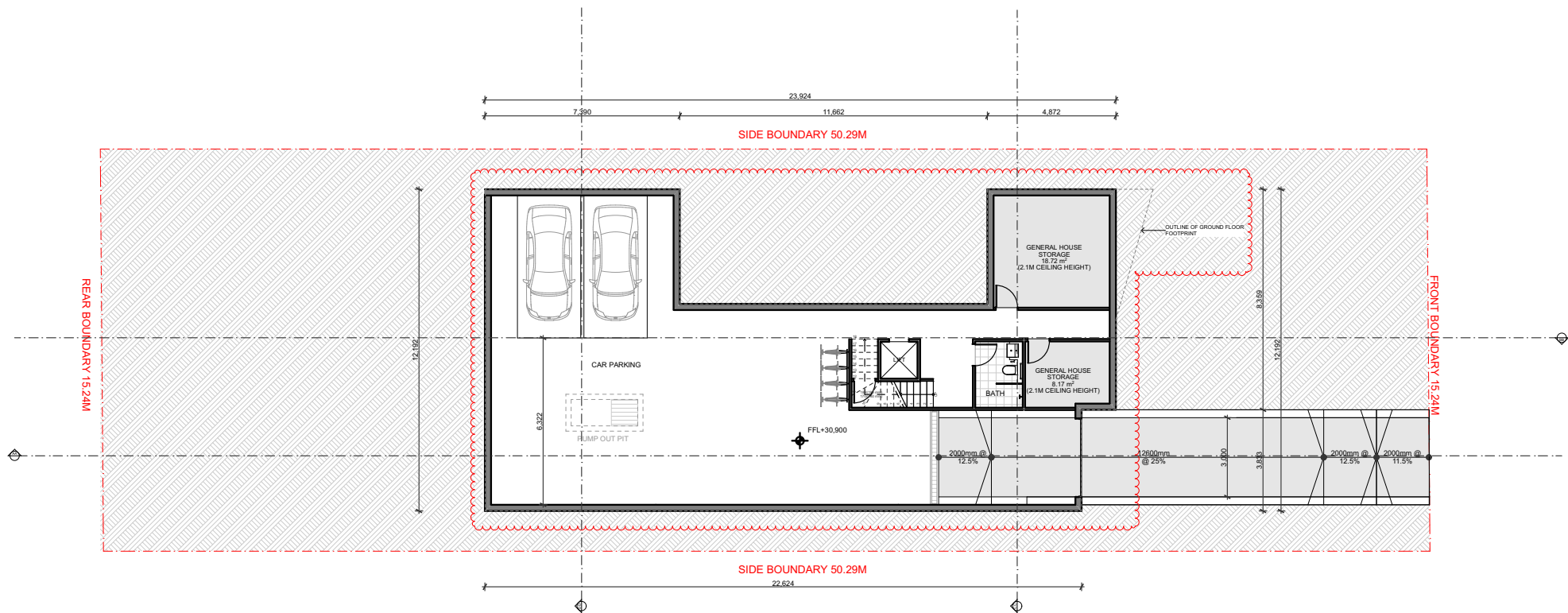
Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone 5
Wind Region A

PAPER
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1:200

DRAWING TITLE :
GENERAL
LANDSCAPE & P.O.S CALCULATION

PROJECT NAME :
12 MOUNT STREET
STRATHFIELD

REVISION NO.
C
DRAWING NO.
A008



BASEMENT
1:200

NOTE
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- Geotechnical Engineer - ESWINMAN
- BASIX Certifier - AENEH
- Arborist - ABINOBA ARBOR
- Stormwater Engineer - JCO CONSULTANTS
- Flooding Engineer - JCO CONSULTANTS
- Landscape Designer - CONCEPT
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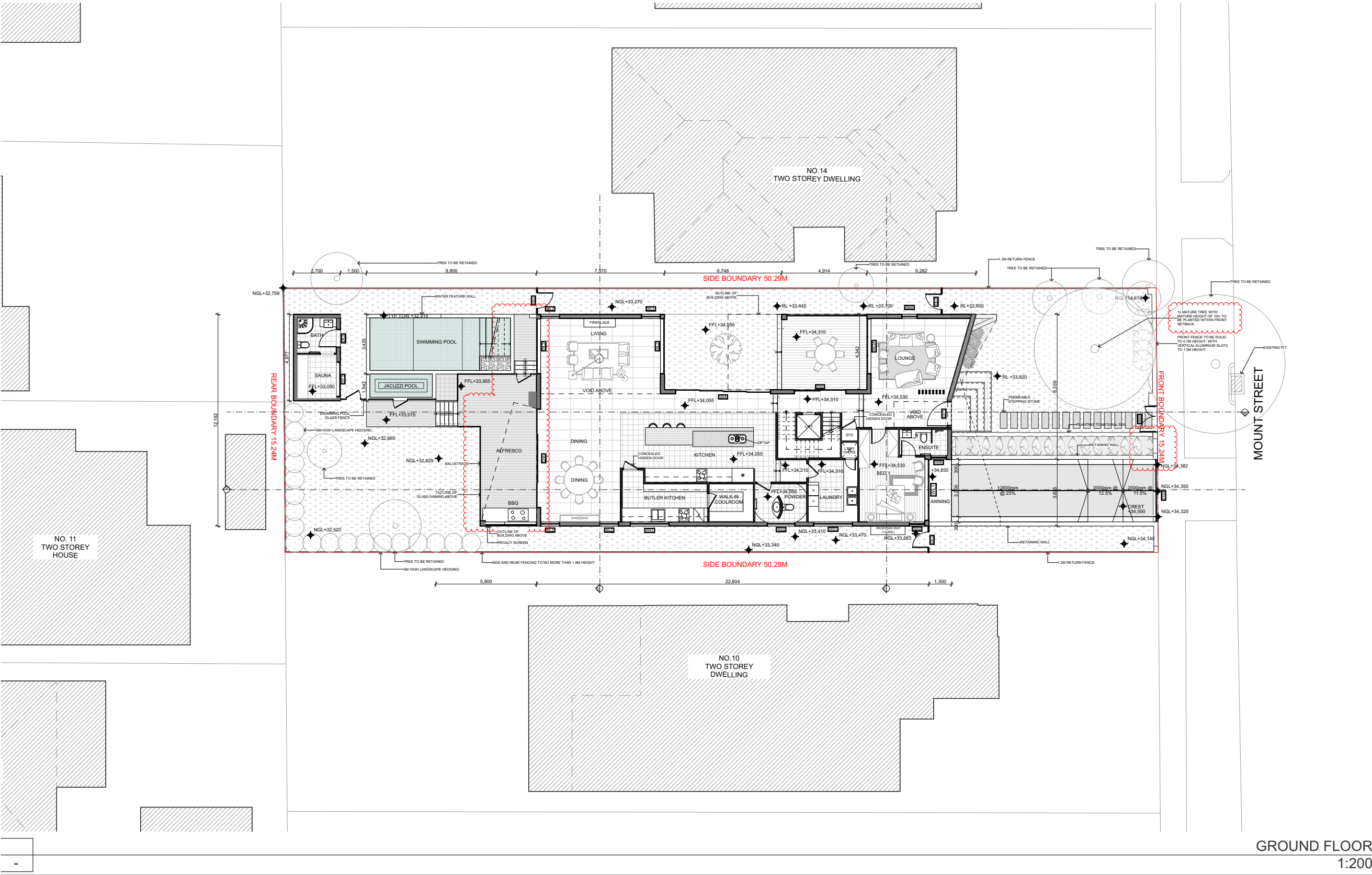


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Revision Date: 30-Sep-22
Project NO. 2132
Project Status DA - S8.2
Client QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone 5
Wind Region A

PAPER
A3
1:200

DRAWING TITLE :
PLANS
BASEMENT GA PLAN
PROJECT NAME :
**12 MOUNT STREET
STRATHFIELD**

REVISION NO.
C
DRAWING NO.
A101



GROUND FLOOR
1:200

NOTE
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- Geotechnical Engineer	- ESWINMAN
- BASIX Certifier	- AGENC
- Arborist	- ABINOBA ARBOR
- Stormwater Engineer	- JCO CONSULTANTS
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Revision Date: 30-Sep-22
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Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone: 5
Wind Region: A

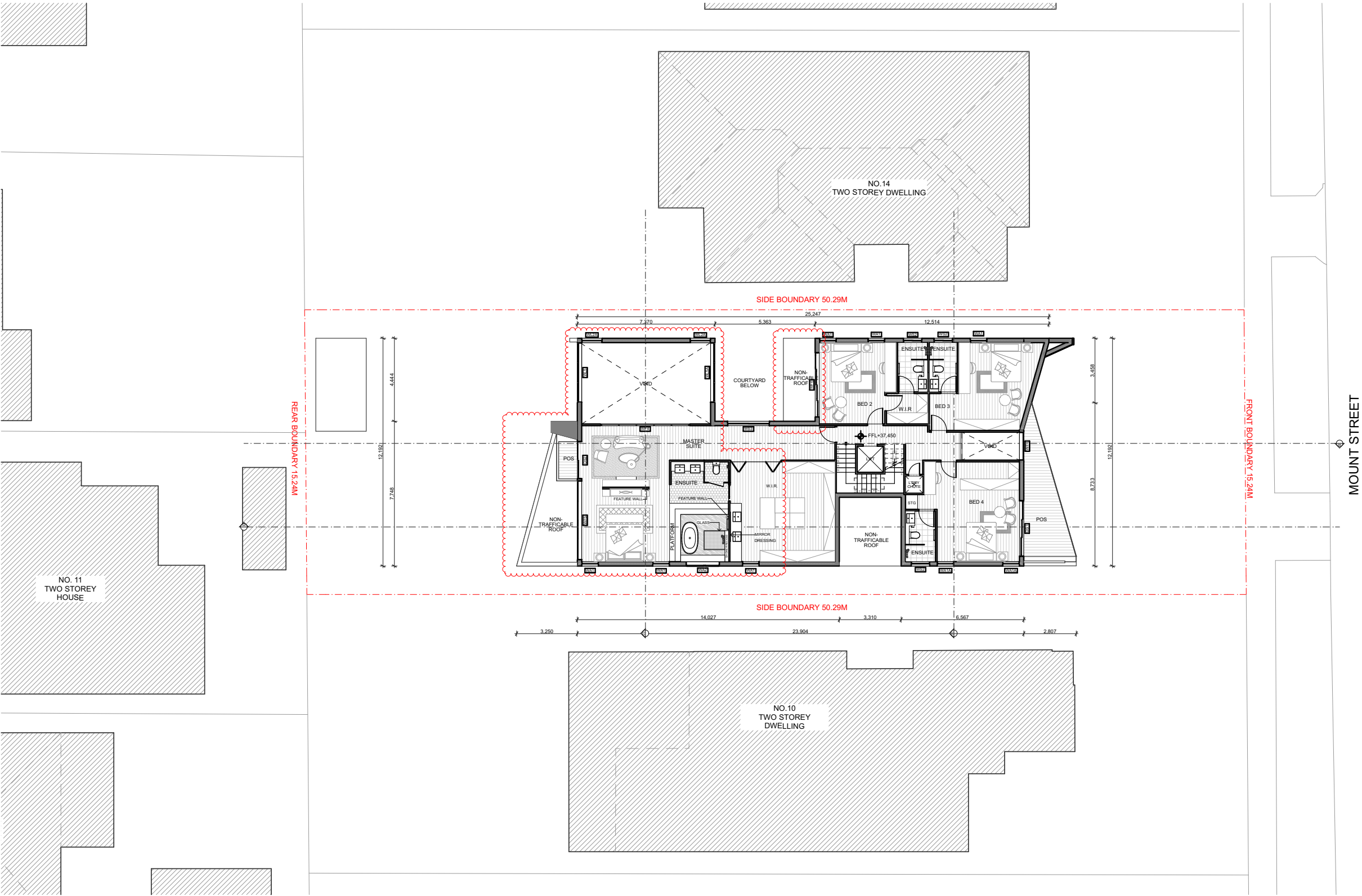
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DRAWING TITLE :
PLANS
GROUND FLOOR GA PLAN

PROJECT NAME :
12 MOUNT STREET
STRATHFIELD

REVISION NO.
C

DRAWING NO.
A102



FIRST FLOOR
1:200

NOTE
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Project Partners
Refer to consultant documentation when directed

- Planning Consultant	- ASPIRE URBAN PLANNING
- Geotechnical Engineer	- ESWNMAN
- BASIX Certifier	- AENEH
- Arborist	- ABINOBA ARBOR
- Stormwater Engineer	- JCO CONSULTANTS
- Flooding Engineer	- JCO CONSULTANTS
- Landscape Designer	- CONCEPT
- Traffic Engineer	- MOTION TRAFFIC
- Surveyor Consultant	- TIGO SURVEYS

RevID	Issue Date	Approved by	Rev. Note
01	07-Sep-21	TZ	ISSUE FOR REVIEW
02	28-Oct-21	TZ	ISSUE FOR REVIEW
A	01-Nov-21	TZ	ISSUE FOR DA
B	25-May-22	TZ	ISSUE FOR S8.2 REVIEW
C	30-Sep-22	TZ	ISSUE FOR S8.2 RPI

Project Designer

TEXCO DESIGN
Nom Arch: NSW ARB 11348
P: +61 449 994 889

E: office@texcodesign.com.au



Drawn | Checked | JC | TZ |
Revision Date: 30-Sep-22
Project NO: 2132
Project Status: DA - S8.2

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone: 5
Wind Region: A

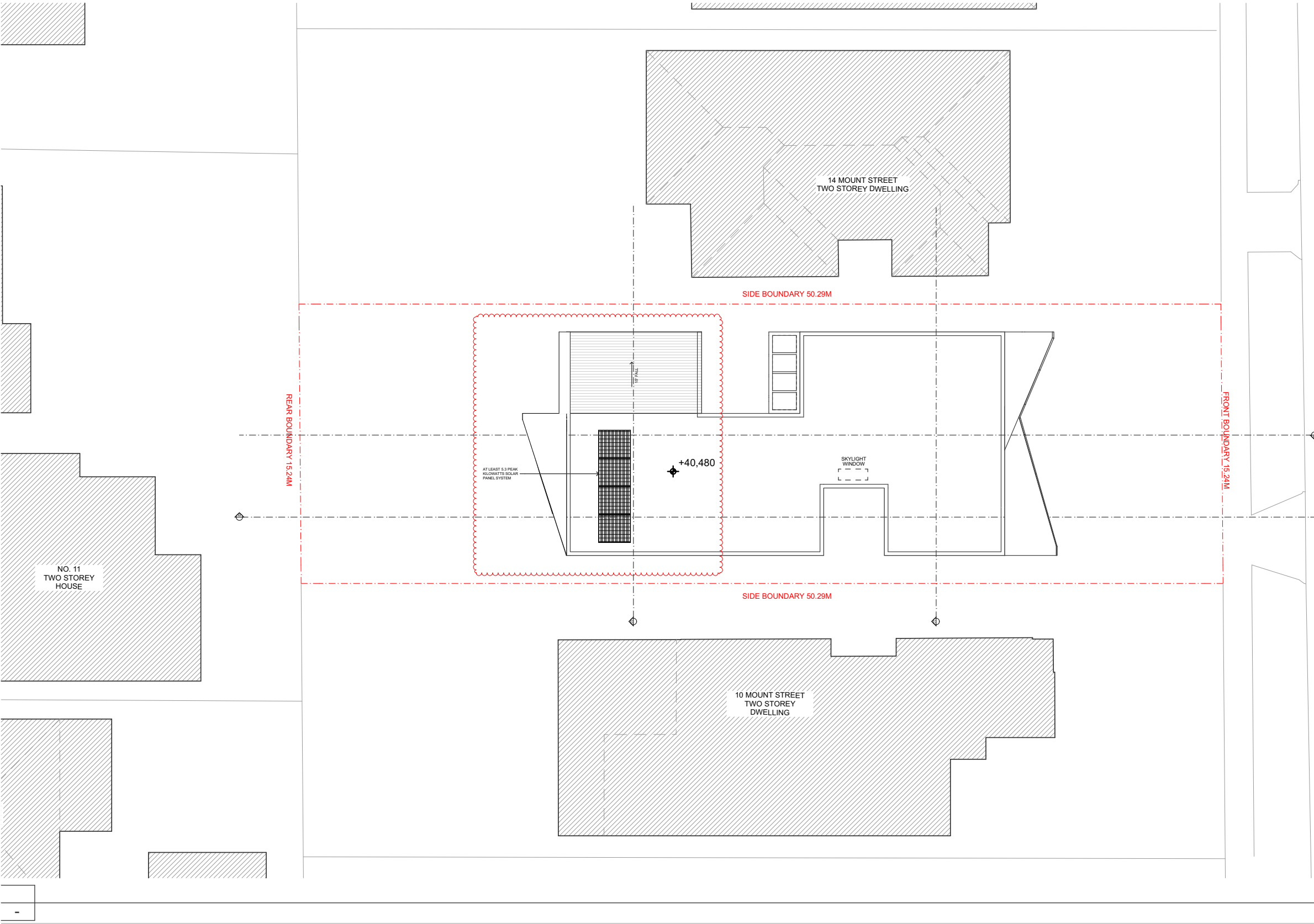
PAPER
A3
1:200

DRAWING TITLE :
PLANS
FIRST FLOOR GA PLAN

PROJECT NAME :
**12 MOUNT STREET
STRATHFIELD**

REVISION NO.
C

DRAWING NO.
A103



NOTE
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Project Partners
Refer to consultant documentation when directed

- Planning Consultant	- ASPIRE URBAN PLANNING
- Geotechnical Engineer	- ESWINMAN
- BASIX Certifier	- AENEH
- Arborist	- ABINOA ARBOR
- Stormwater Engineer	- JCO CONSULTANTS
- Flooding Engineer	- CONCEPT
- Landscape Designer	- MOTION TRAFFIC
- Traffic Engineer	- TIGO SURVEYS
- Surveyor Consultant	

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Project Designer

TEXCO DESIGN
Nom Arch: NSW ARB 11348
P: +61 449 994 889
E: office@texcodesign.com.au



Drawn | Checked | JC | TZ |
Revision Date: 30-Sep-22
Project NO. 2132
Project Status DA - S8.2

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone: 5
Wind Region: A

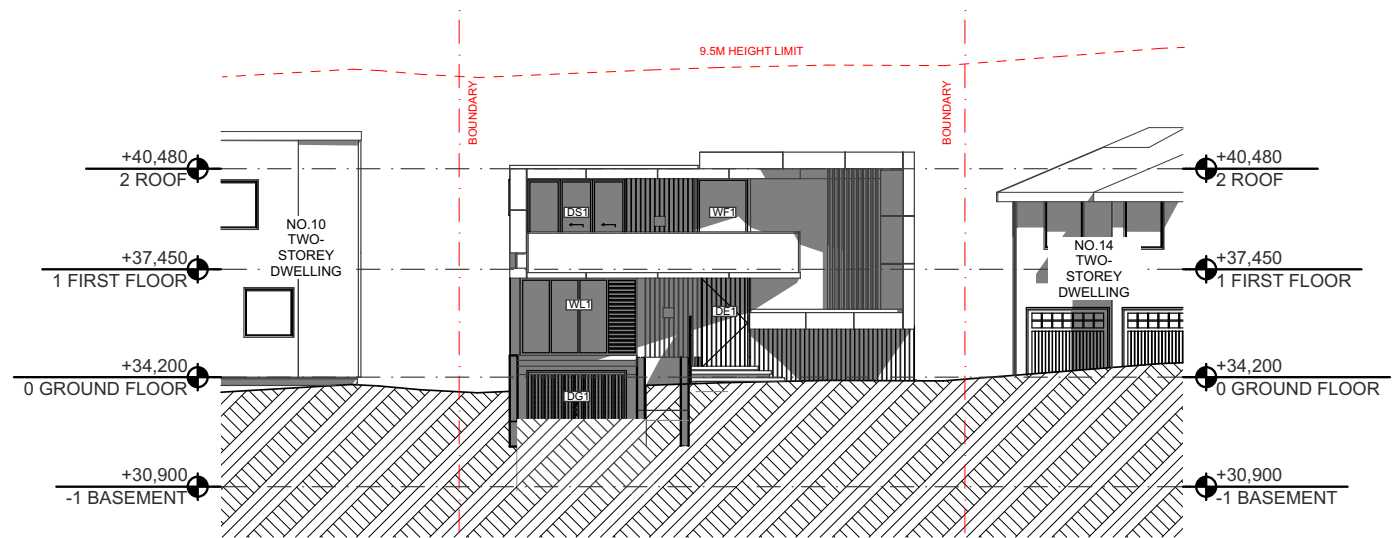
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DRAWING TITLE :
PLANS
ROOF LEVEL GA PLAN

PROJECT NAME :
**12 MOUNT STREET
STRATHFIELD**

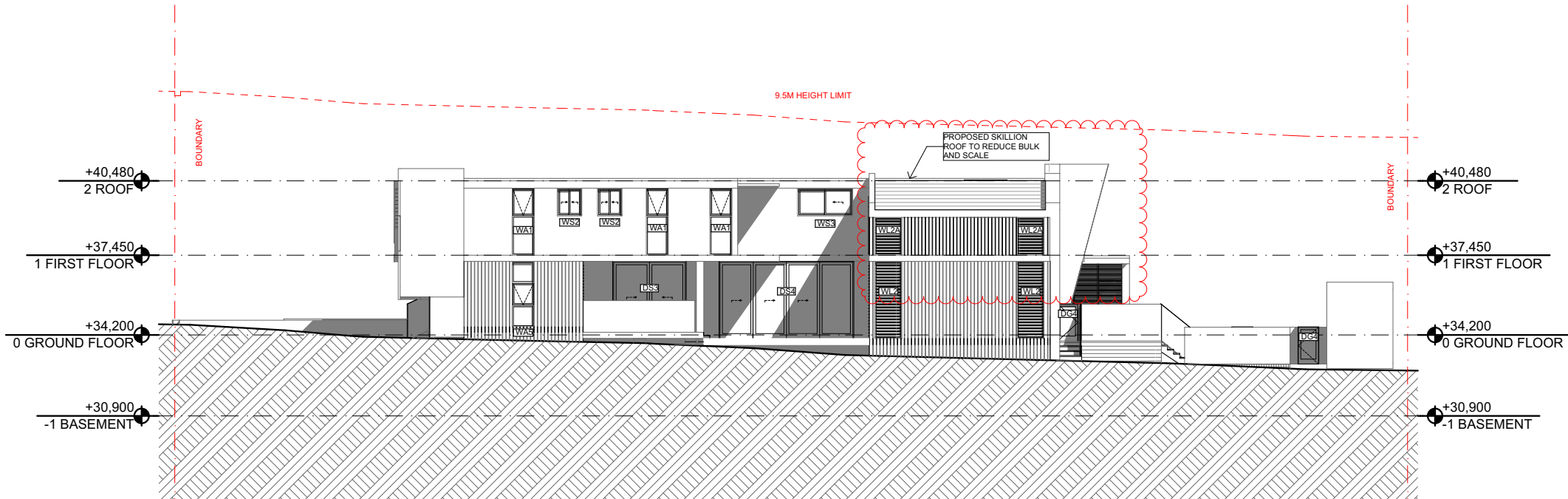
REVISION NO.
C

DRAWING NO.
A104



E01
-

NORTH ELEVATION (FRONT)
1:200



E04
-

WEST ELEVATION
1:200

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- Geotechnical Engineer - ESWINMAN
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- Arborist - ABINOBA ARBOR
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- Flooding Engineer - JCO CONSULTANTS
- Landscape Designer - CONCEPT
- Traffic Engineer - MOTION TRAFFIC
- Surveyor Consultant - TIGO SURVEYS

RevID	Issue Date	Approved by	Rev. Note
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Project Designer
TEXCO DESIGN
Nom Arch: NSW ARB 11348
P: +61 449 904 889
E: office@texcodesign.com.au

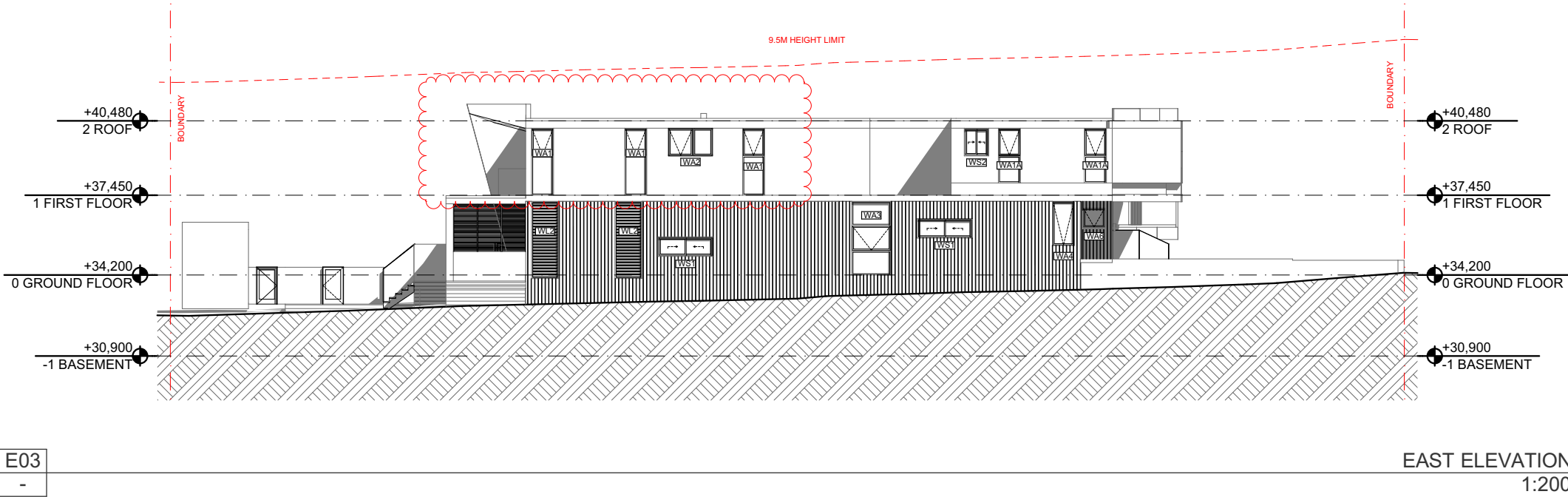
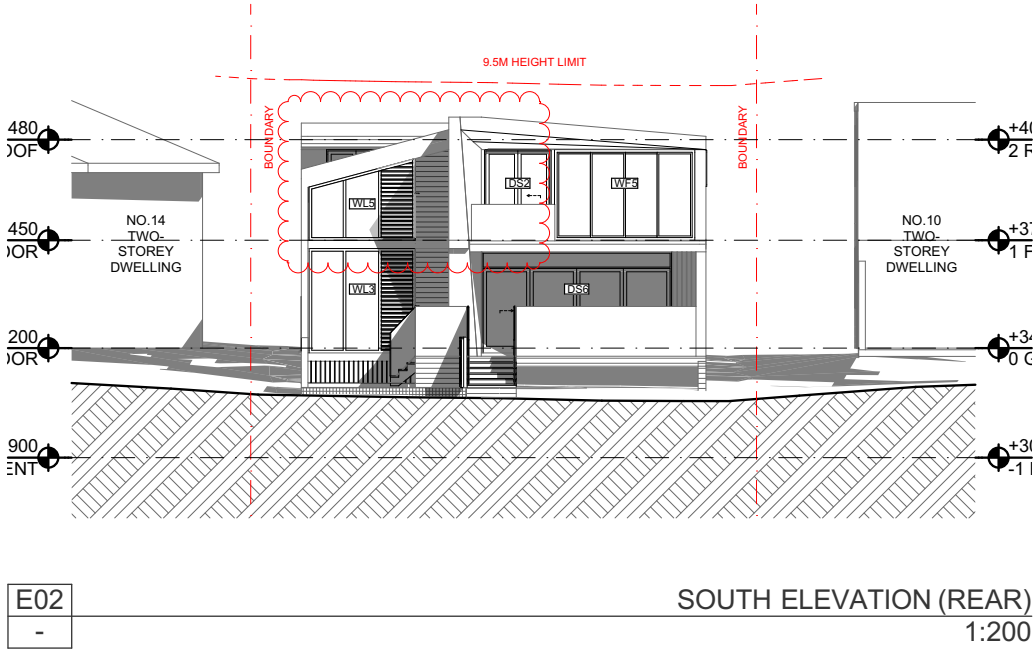


Drawn | Checked | JC | TZ |
Revision Date: 30-Sep-22
Project NO. 2132
Project Status DA - S8.2
Client QUYNH
Site 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone 5
Wind Region A

PAPER
A3
1:200

DRAWING TITLE :
ELEVATION
NORTH & WEST ELEVATION
PROJECT NAME :
**12 MOUNT STREET
STRATHFIELD**

REVISION NO.
C
DRAWING NO.
A201



NOTE
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Project Partners
Refer to consultant documentation when directed

- Planning Consultant - ASPIRE URBAN PLANNING
- Geotechnical Engineer - ESWNMAN
- BASIX Certifier - AGENC
- Arborist - ABINOBA ARBOR
- Stormwater Engineer - JCO CONSULTANTS
- Flooding Engineer - JCO CONSULTANTS
- Landscape Designer - CONCEPT
- Traffic Engineer - MOTION TRAFFIC
- Surveyor Consultant - TIGO SURVEYS

RevID	Issue Date	Approved by	Rev. Note
01	07-Sep-21	TZ	ISSUE FOR REVIEW
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Project Designer

TEXCO DESIGN
Nom Arch: NSW ARB 11348
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E: office@texcodesign.com.au



Drawn | Checked | JC | TZ |
Revision Date: 30-Sep-22
Project NO. 2132
Project Status DA - S8.2

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone 5
Wind Region A

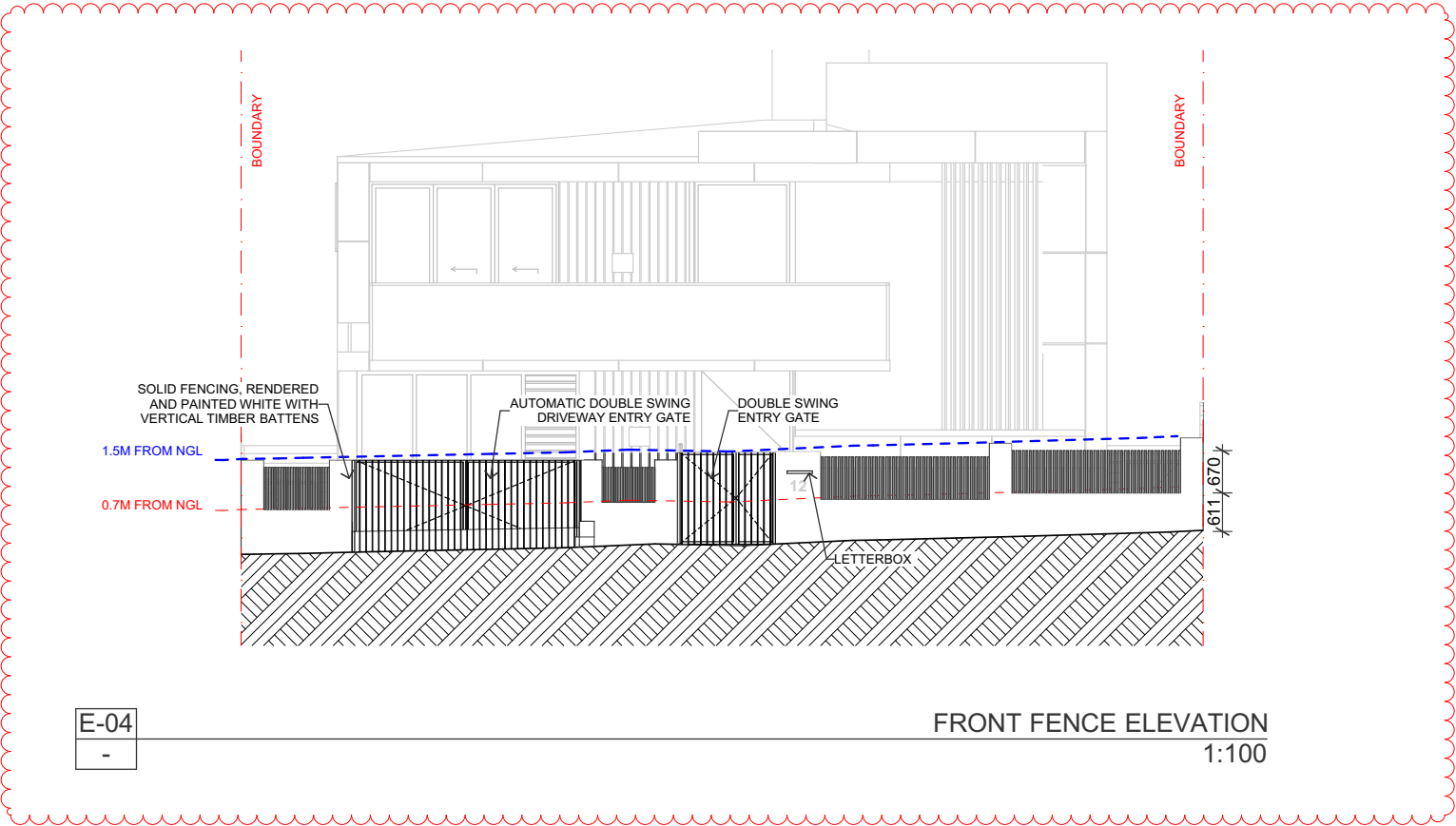
PAPER
A3
1:200

DRAWING TITLE :
ELEVATION
SOUTH & EAST ELEVATION

PROJECT NAME :
12 MOUNT STREET
STRATHFIELD

REVISION NO.
C

DRAWING NO.
A202



NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Texco Design Pty Ltd and is to be used only for work when authorised in writing by Texco Design Pty Ltd.
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Project Partners
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- Planning Consultant	- ASPIRE URBAN PLANNING
- Geotechnical Engineer	- ESWINMAN
- BASIX Certifier	- AENEH
- Arborist	- ABINOBAA RBOR
- Stormwater Engineer	- JCO CONSULTANTS
- Flooding Engineer	- JCO CONSULTANTS
- Landscape Designer	- CONCEPT
- Traffic Engineer	- MOTION TRAFFIC
- Surveyor Consultant	- TIGO SURVEYS

RevID	Issue Date	Approved by	Rev. Note
01	28-Oct-21	TZ	ISSUE FOR REVIEW
A	01-Nov-21	TZ	ISSUE FOR DA
B	30-Sep-22	TZ	ISSUE FOR S8.2 RFI

Project Designer

TEXCO DESIGN
Nom Arch: NSW ARB 11348
P: +61 449 984 889
E: office@texcodesign.com.au



Drawn | Checked | JC | TZ |
Revision Date: 30-Sep-22
Project NO. 2132
Project Status DA - S8.2

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone: 5
Wind Region: A

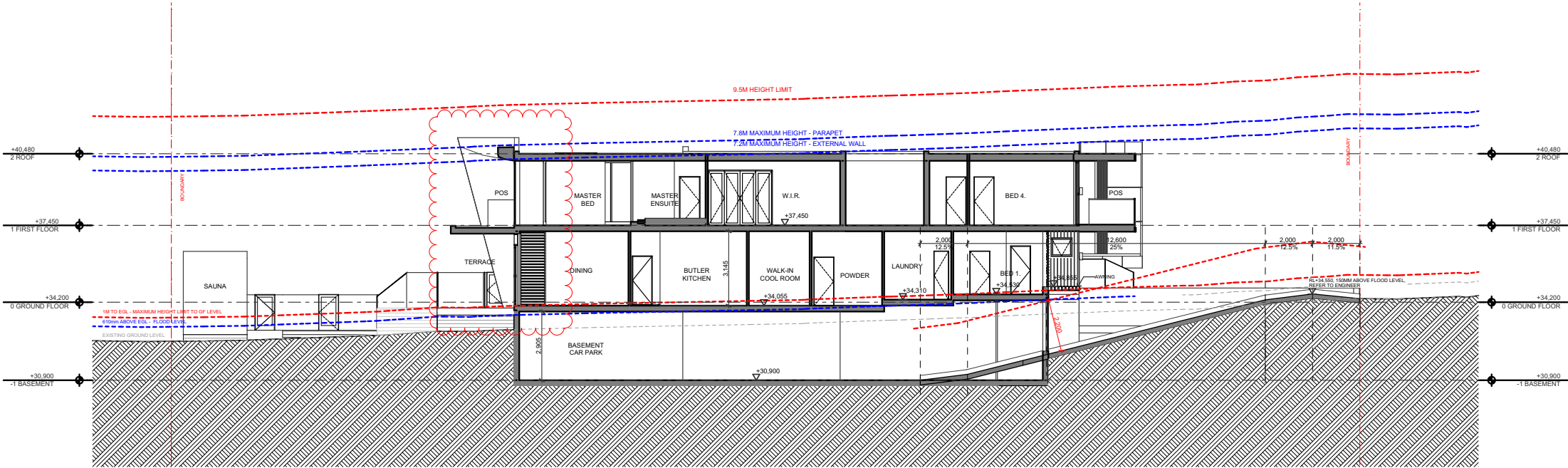
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DRAWING TITLE :
ELEVATION
FRONT FENCE ELEVATION

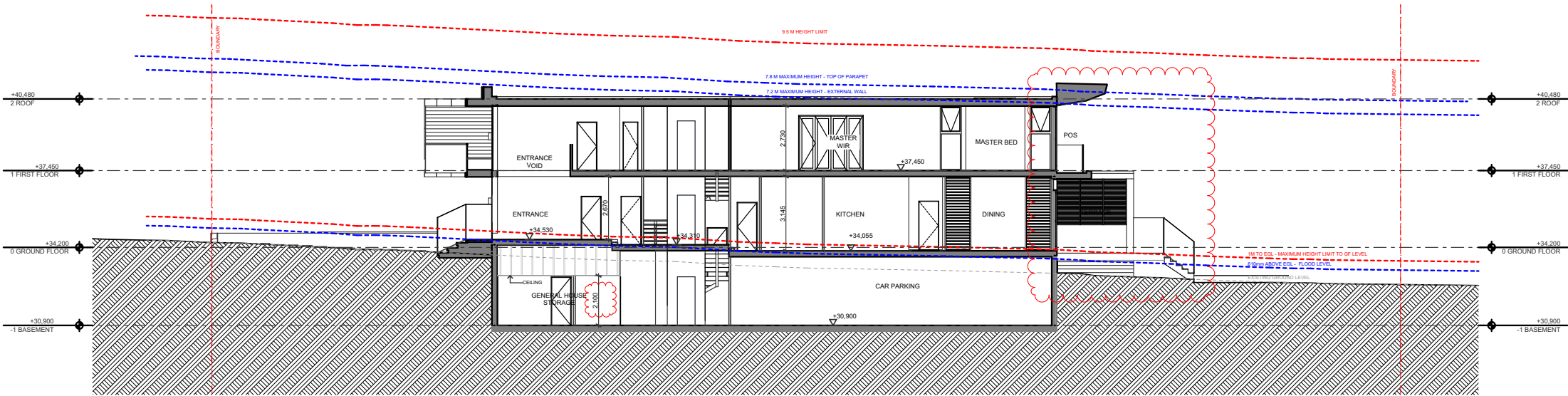
PROJECT NAME :
**12 MOUNT STREET
STRATHFIELD**

REVISION NO.
B

DRAWING NO.
A203



SECTION AA
1:200




SECTION BB
1:200

NOTE
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Project Partners
Refer to consultant documentation when directed
- Planning Consultant - ASPIRE URBAN PLANNING
- Geotechnical Engineer - ESWINMAN
- BASIX Certifier - ABENG
- Arborist - ABINGBA ARBOR
- Stormwater Engineer - JCO CONSULTANTS
- Flooding Engineer - JCO CONSULTANTS
- Landscape Designer - CONCEPT
- Traffic Engineer - MOTION TRAFFIC
- Surveyor Consultant - TIGO SURVEYS

RevID	Issue Date	Approved by	Rev. Note
01	07-Sep-21	TZ	ISSUE FOR REVIEW
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A	01-Nov-21	TZ	ISSUE FOR DA
B	25-May-22	TZ	ISSUE FOR S8.2 REVIEW
C	30-Sep-22	TZ	ISSUE FOR S8.2 RPI

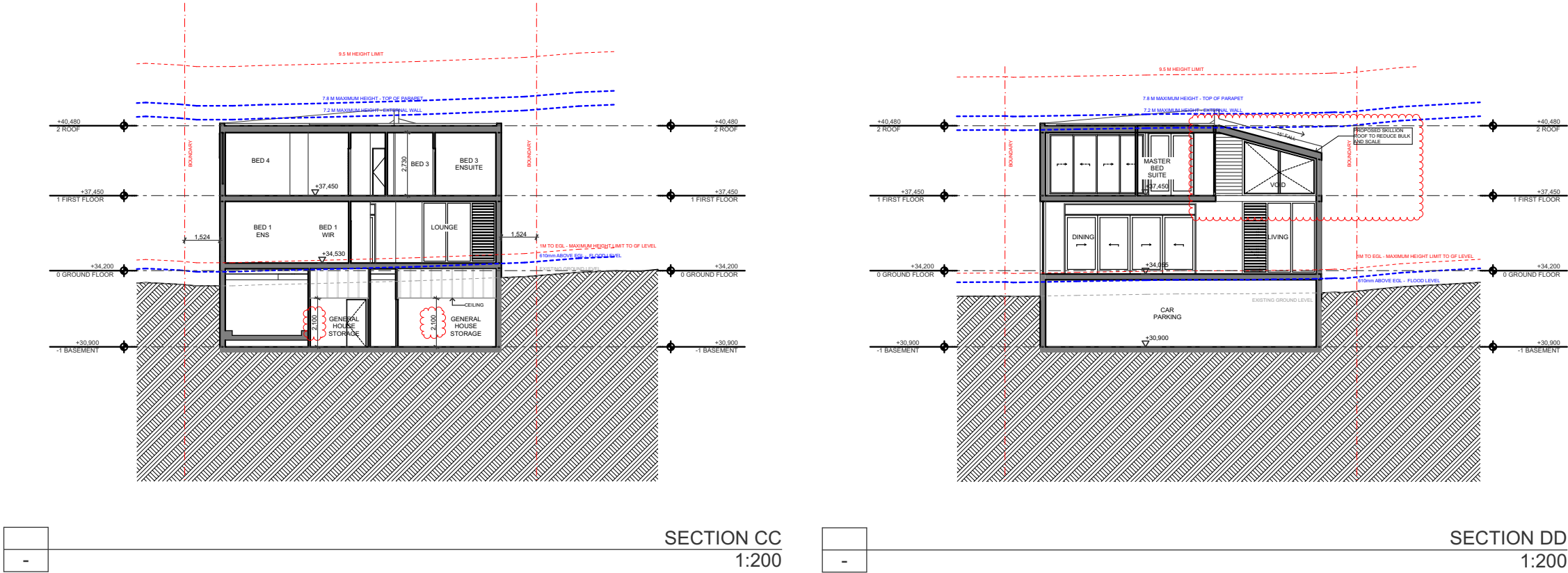
Project Designer

Texco Design
Nom Arch: NSW ARB 11348
P: +61 449 994 889
E: office@texcodesign.com.au



Drawn | Checked
Revision Date: 30-Sep-22
Project NO. 2132
Project Status DA - S8.2
Client QUYNH
Site 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone 5
Wind Region A

PAPER
A3
1:200
DRAWING TITLE :
SECTION
SECTION AA & SECTION BB
PROJECT NAME :
12 MOUNT STREET
STRATHFIELD

REVISION NO.
C
DRAWING NO.
A301



NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Texco Design Pty Ltd and is to be used only for work when authorised in writing by Texco Design Pty Ltd.

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Project Partners
Refer to consultant documentation when directed

- Planning Consultant	- ASPIRE URBAN PLANNING
- Geotechnical Engineer	- ESWINMAN
- BASIX Certifier	- AENEK
- Arborist	- ABINOBA ARBOR
- Stormwater Engineer	- JCO CONSULTANTS
- Flooding Engineer	- JCO CONSULTANTS
- Landscape Designer	- CONCEPT
- Traffic Engineer	- MOTION TRAFFIC
- Surveyor Consultant	- TIGO SURVEYS

Rev/D	Issue Date	Approved by	Rev. Note
01	28-Oct-21	TZ	ISSUE FOR REVIEW
A	01-Nov-21	TZ	ISSUE FOR DA
B	25-May-22	TZ	ISSUE FOR S8.2 REVIEW
C	30-Sep-22	TZ	ISSUE FOR S8.2 RFI

Project Designer

TEXCO DESIGN
Nom Arch: NSW ARB 11348
P: +61 449 994 889
E: office@texcodesign.com.au

TRUE NORTH

Drawn | Checked
Revision Date: 30-Sep-22
Project NO. 2132
Project Status DA - S8.2

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone 5
Wind Region A

PAPER
A3
1:200

DRAWING TITLE :
SECTION
SECTION CC & SECTION DD

PROJECT NAME :
**12 MOUNT STREET
STRATHFIELD**

REVISION NO.
C

DRAWING NO.
A302

DOOR LIST										
ID	DE1	DE2	DE3	DG1	DG2	DG3	DG4	DS1	DS2	DS3
TYPE	CONCEALED ENTRY DOOR	SAUNA ENTRY DOOR	SIDE ENTRY GATE	GARAGE ROLLER SHUTTER/TILT-UP DOOR	DRIVEWAY ENTRY GATE	PEDESTRIAN ENTRY GATE	SWIMMING POOL FENCE GATE	SLIDING DOOR	SLIDING DOOR	SLIDING DOOR
NOMINAL W x H	1,400×2,702	1,000×2,985	900×1,800	3,000×2,269	3,600×1,450	1,550×1,450	820×1,500	3,000×2,730	2,010×2,730	3,000×2,890
PLAN										
ELEVATION										
QUANTITY	1	1	3	1	1	1	3	1	1	1
PERFORMANCE SOLUTION										
ACOUSTIC DETAILS										

DOOR LIST		
ID	DS4	DS6
TYPE	SLIDING DOOR	SLIDING DOOR
NOMINAL W x H	5,500×3,145	5,710×3,045
PLAN		
ELEVATION		
QUANTITY	1	1
PERFORMANCE SOLUTION		
ACOUSTIC DETAILS		

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- Geotechnical Engineer	- ESWNMAN
- BASIX Certifier	- ABNEC
- Arborist	- ABINOBA ARBOR
- Stormwater Engineer	- JCO CONSULTANTS
- Flooding Engineer	- JCO CONSULTANTS
- Landscape Designer	- CONCEPT
- Traffic Engineer	- MOTION TRAFFIC
- Surveyor Consultant	- TIGO SURVEYS

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Project Designer

TEXCO DESIGN
Nom Arch: NSW ARB 11348
P: +61 449 984 889

TRUE NORTH

Drawn | Checked | JC | TZ |
Revision Date: 30-Sep-22
Project NO. 2132
Project Status DA - S8.2

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone: 5
Wind Region: A

PAPER: **A3**
1:1

DRAWING TITLE :
SCHEDULE
DOOR SCHEDULE

PROJECT NAME :
**12 MOUNT STREET
STRATHFIELD**

REVISION NO.
C

DRAWING NO.
A401

WINDOW LIST												
ID	WA1	WA1A	WA2	WA3	WA4	WA5	WA6	WF1	WF3	WF4	WF5	WF6
TYPE	AWNING WINDOW WITH FIXED OBSCURE GLAZING BELOW	AWNING WINDOW WITH FIXED OBSCURE GLAZING BELOW	OBSCURE AWNING WINDOW WITH FIXED OBSCURE GLAZING	OBSCURE AWNING WINDOW WITH FIXED TOP AND BOTTOM OBSCURE GLAZING	AWNING WINDOW	AWNING WINDOW WITH FIXED TOP AND BOTTOM GLAZING	OBSCURE AWNING WINDOW	FIXED ENTRY HIGH LEVEL WINDOW	FIXED SAUNA WINDOW	INTERNAL FIXED WINDOW	FIXED GLAZING WINDOW	FIXED GLAZING WINDOW
NOMINAL W x H	900×2,730	900×2,230	1,800×1,130	1,600×3,000	900×1,800	900×2,670	900×800	1,500×2,730	2,000×3,000	4,800×2,730	4,228×2,730	3,470×2,730
W/D Nominal Sill Height	0	500	1,600	0	600	0	1,600	0	0	0	0	0
PLAN												
ELEVATION												
QUANTITY	6	2	1	1	1	1	1	1	1	1	1	1
FRAME COLOUR / MATERIAL	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM
NOTE												

WINDOW LIST										
ID	WL1	WL2	WL2A	WL3	WL3A	WL5	WL5A	WS1	WS2	WS3
TYPE	LOUVRE GLAZING WINDOW WITH FIXED GLAZING	LOUVRE GLAZING WINDOW	LOUVRE GLAZING WINDOW	LOUVRE GLAZING WINDOW WITH FIXED GLAZING	LOUVRE GLAZING WINDOW WITH FIXED GLAZING	LOUVRE GLAZING WINDOW WITH FIXED GLAZING	LOUVRE GLAZING WINDOW WITH FIXED GLAZING	SLIDING WINDOW	SLIDING OBSCURE WINDOW	SLIDING WINDOW
NOMINAL W x H	3,550×2,345	1,100×3,145	1,100×1,541	3,200×3,145	3,200×2,670	3,200×2,460	3,200×2,460	2,250×800	1,000×1,130	2,250×1,130
W/D Nominal Sill Height	325	0	0	0	0	0	0	900	1,600	1,600
PLAN										
ELEVATION										
QUANTITY	1	4	2	2	1	1	1	2	3	1
FRAME COLOUR / MATERIAL	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM	BLACK, ALUMINIUM
NOTE										

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- BASIX Certifier - AGENC
- Arborist - ABINOBA ARBOR
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- Flooding Engineer - JCO CONSULTANTS
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- Traffic Engineer - MOTION TRAFFIC
- Surveyor Consultant - TIGO SURVEYS

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C	30-Sep-22	TZ	ISSUE FOR S8.2 RFI

Project Designer


TEXCO DESIGN
Nom Arch: NSW ARB 11348
P: +61 449 984 889

E: office@texcodesign.com.au

Drawn | Checked | JC | TZ |
Revision Date: 30-Sep-22
Project NO. 2132
Project Status DA - S8.2

Client: QUYNH
Site: 12 MOUNT STREET STRATHFIELD NSW 2135
Climate Zone 5
Wind Region A

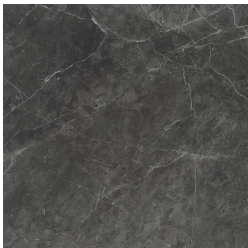
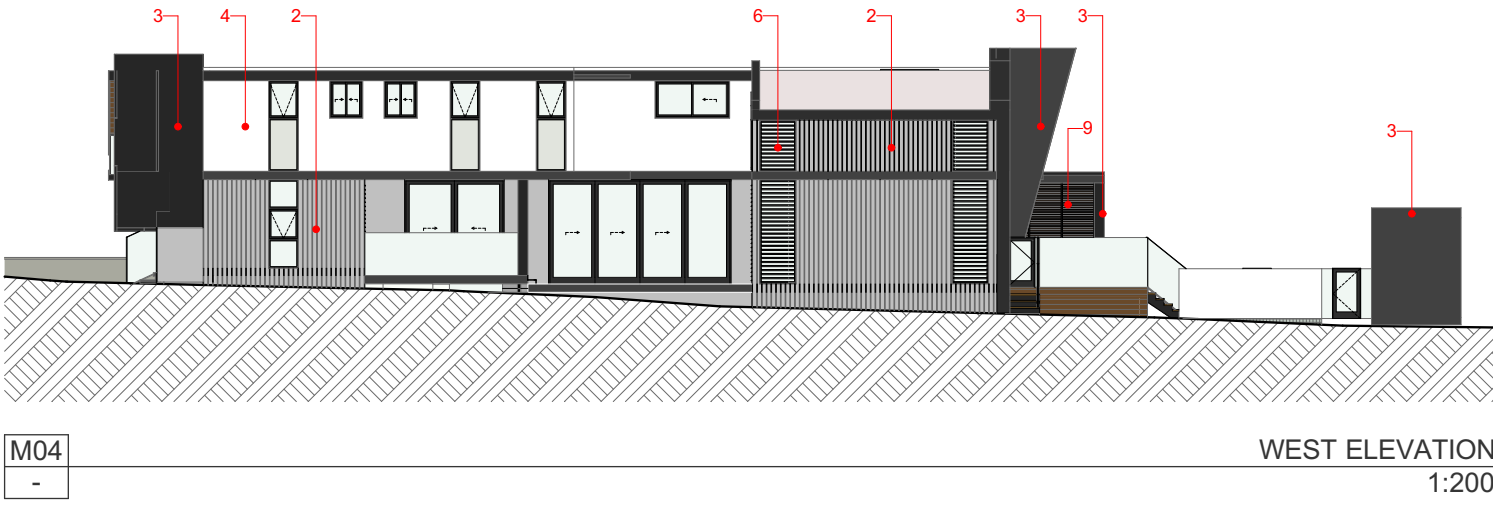
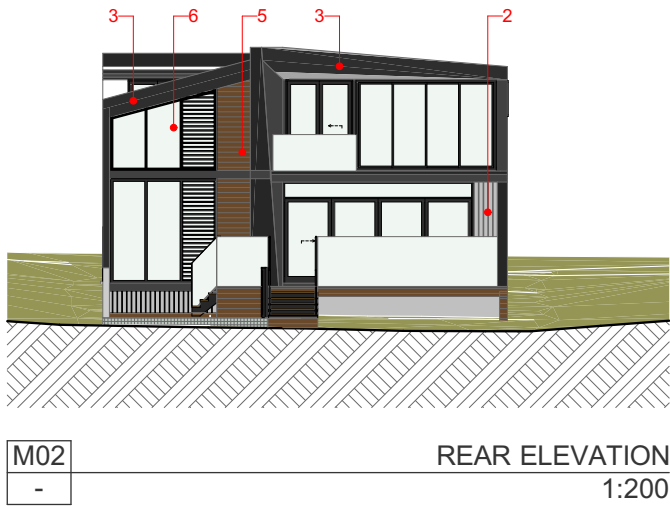
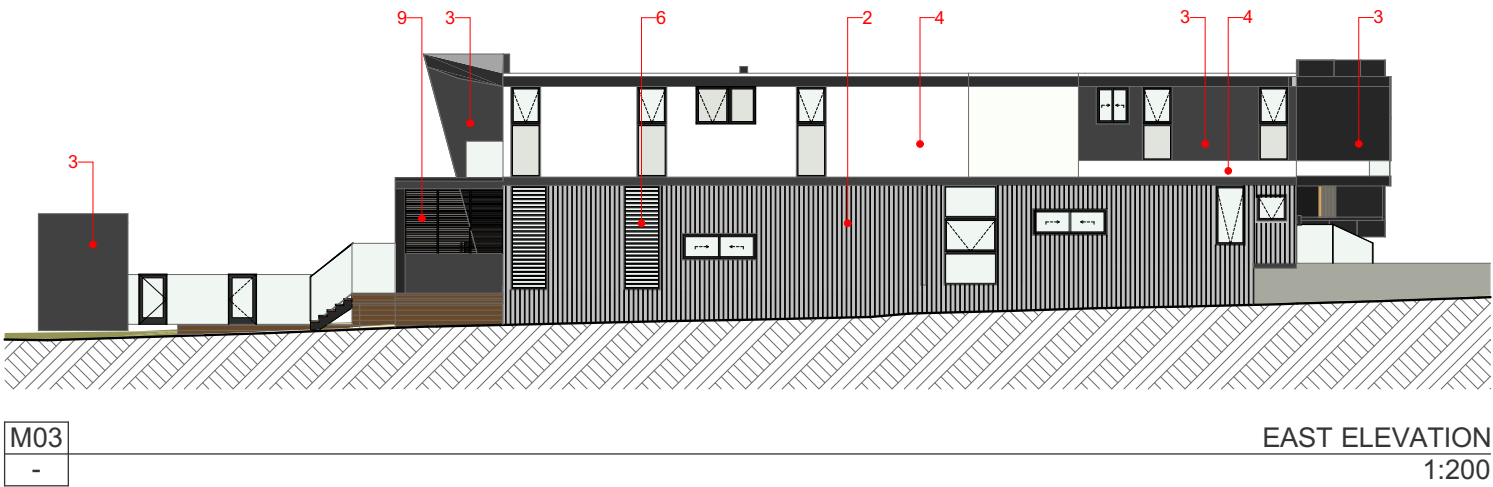
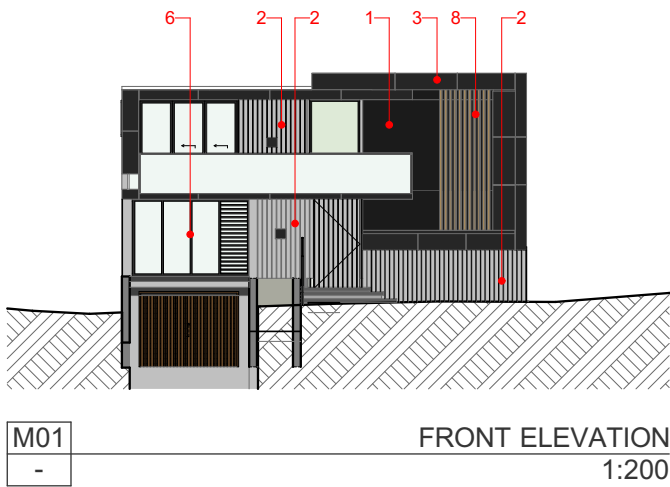
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DRAWING TITLE :
SCHEDULE
WINDOW SCHEDULE

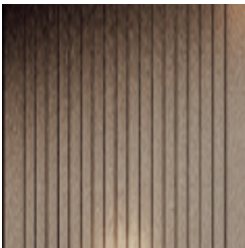
PROJECT NAME :
12 MOUNT STREET STRATHFIELD

REVISION NO.
C

DRAWING NO.
A402



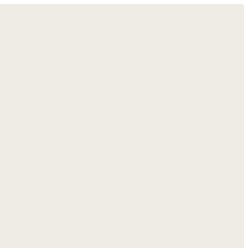
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2. FIBRE CEMENT CLADDING - STONE LOOK GREY COLOUR OR SIMILAR



3. FC SHEET - DARK GREY COLOUR OR SIMILAR



4. RENDER & PAINT - WHTIE COLOUR OR SIMILAR



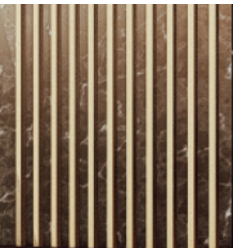
5. TIMBER LOOK CLADDING



6. ALUMINIUM WINDOW - DARK COLOUR OR SIMILAR



7. FEATURE MOSAIC TILES OR SIMILAR



8. METAL LOUVRES CHAMPAGNE GOLD COLOUR OR SIMILAR



9. TIMBER SCREEN/ LOUVRES - LIGHT BROWN COLOUR OR SIMILAR

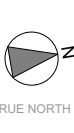
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Project Partners
Refer to consultant documentation when directed
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- Geotechnical Engineer - ESWINMAN
- BASIX Certifier - AGENC
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- Stormwater Engineer - JCO CONSULTANTS
- Flooding Engineer - JCO CONSULTANTS
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ARBORICULTURAL IMPACT ASSESSMENT | 12 MOUNT ST. STRATHFIELD

Prepared For Texco Design

25.10.21

Prepared By Liam Strachan



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1 EXECUTIVE SUMMARY

On the 18th October 2021 525 Texco Design commissioned Abnoba Arbor to provide an Arboricultural Impact Assessment pertaining to the trees at 12 Mount St. Strathfield. The property lies within the Strathfield Council LGA.

The proposed development includes the demolition of an existing double storey brick dwelling and the installation of on multi storey dwelling with an upgraded council crossover with a new swimming pool and boundary wall at the front of the property.

Site inspection was conducted by Liam Strachan AQF Level 5 Arborist on 16th October 2021.

The purpose of this report is to provide information on any trees that may be affected by the proposed demolition and development at 12 Mount St. Strathfield.

The recommendations and comments in this report are based on the following:

- Conduct a basic ground based visual tree assessment
- Provide information regarding tree species, dimensions, Landscape amenity value, health and vigour assessment, structural condition including potential mitigation options, priority rating for all recommended works.
- Ascertain Tree Protection Zones and Structural Root Zones.
- Determine the impact of the development on all of the trees.
- The amenity of adjoining neighbours and members community is to be considered.
- That report contains all relevant information as outlined in Strathfield Council DCP 2005.

Conclusions and Recommendations include;

The following trees should be removed and replaced:

- T4 *Fraxinus griffithii*

The following trees may be retained and subject to the following tree protection measures;

- T1 *Macadamia tetraphylla* (trunk protection, ground protection, exclusion zone)
- T2 *Mangifera indica* (ground protection, exclusion zone)
- T5 *Prunus sp.* (ground protection, exclusion zone)
- T6 *Murraya paniculata* (exclusion zone)
- T7 *Lophostemon confertus*. (Trunk protection, exclusion zone)

The following trees maybe retained following the prescribed works;

- T7 *Lophostemon confertus* (Project arborist supervision of demolition and installation of existing and new boundary wall, with engineering specifications to be determined following demolition.)

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3 INTRODUCTION

On the 18th October 2021 525 Texco Design commissioned Abnoba Arbor to provide an Arboricultural Impact Assessment pertaining to the trees at 12 Mount St. Strathfield. The property lies within the Strathfield Council LGA.

The proposed development includes the demolition of an existing double storey brick dwelling and the installation of on multi storey dwelling with an upgraded council crossover with a new swimming pool and boundary wall at the front of the property.

Site inspection was conducted by Liam Strachan AQF Level 5 Arborist on 16th October 2021.

3.1 SCOPE

The purpose of this report is to provide information on any trees that may be affected by the proposed demolition and development at 12 Mount St. Strathfield.

The recommendations and comments in this report are based on the following:

- Conduct a basic ground based visual tree assessment
- Provide information regarding tree species, dimensions, Landscape amenity value, health and vigour assessment, structural condition including potential mitigation options, priority rating for all recommended works.
- Ascertain Tree Protection Zones and Structural Root Zones.
- Determine the impact of the development on all of the trees.
- The amenity of adjoining neighbours and members community is to be considered.
- That report contains all relevant information as outlined in Strathfield Council DCP 2005.

Australian Standard AS4970-2009 Protection of Trees on Development Sites has been used as a benchmark in the preparation of this report.

The report will also assess the on-going viability of the tree and if deemed appropriate, provide recommendations for pruning or the removal of the subject trees. The following report will focus on the trees sustainability within the landscape and will provide recommendations on the most appropriate course of action. The determination will be reached through the assessment of the tree's health, vigour, and structural condition at the time of inspection. The assessment did not include any internal diagnostics such as picus, resistograph, woody tissue examination, nor has any soil testing been conducted.

4 METHOD

4.1 METHODOLOGY SUMMARY

Table 1

Characteristic	Method
Photos	Digital camera
Tree measurements <ul style="list-style-type: none"> • Height • DBH(Diameter at breast height) • SRZ (Structural root zone) • TPZ (Tree protection zone) 	<ul style="list-style-type: none"> • Clinometer, Tape measure • Diameter tape • $SRZ = (DAB \times 50)^{0.42} \times 0.64$ • DBH x 12 (AS4970-2009)
Documents Reviewed	<ul style="list-style-type: none"> • Strathfield Council DCP 2005 • Strathfield Council DCP 2005 • Strathfield Council DCP Part O Tree Management 2015
Drawings Reviewed	<ul style="list-style-type: none"> • Tigo Surveys Pty Ltd. Ref. DP5836 • Texco Design Proj. No. 2132 Dwg No. A004 • Texco Design Proj. No. 2132 Dwg No. A005 • Texco Design Proj. No. 2132 Dwg No. A008 • Texco Design Proj. No. 2132 Dwg No. A102 • Texco Design Proj. No. 2132 Dwg No. A201 • Texco Design Proj. No. 2132 Dwg No. A202 • Texco Design Proj. No. 2132 Dwg No. A203 • Texco Design Proj. No. 2132 Dwg No. A301
Tree retention assessment	ULE (Useful life expectancy) STARS METHOD (IACA, 2010)
Tree health assessment	Visual Tree Assessment, (VTA) as per (Mattheck, et al., 2015) Inspection limited to ground based visual examination of the tree.

4.2 LIMITATIONS

Care has been taken to obtain all information from reliable sources. All data has been verified as far as possible. However, Liam Strachan - Consulting Arborist can neither guarantee nor be responsible for the accuracy of information provided by others. Unless stated otherwise:

- Information contained in this report covers only the trees examined and reflects the health and structure of the tree at the time of inspection. The documented, observations, results, recommendations and conclusions given may vary after the site visit due to environmental conditions. Liability will not be accepted for damage to person or property as a result of natural processes, unforeseeable actions or occurrences.
- Observations recorded for trees located within adjacent properties have been made without entering that property. Deciduous trees inspected during winter and all trees obscured by other vegetation are not able to be properly assessed. As a result, measurements for these trees are estimated. Similarly, these trees were not subject to a complete visual inspection and defects or abnormalities may be present but not recorded.
- The inspection was limited to visual examination from the base of the subject tree without dissection, excavation, probing or coring (unless specifically noted otherwise).
- There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the subject tree may not arise in the future.

4.3 SITE INSPECTION

A visual inspection of the tree/s was performed from ground level, data collected includes:

- Genus, Species, Common Name;
- Height, Width, DBH (Diameter at Breast Height), DRB (Diameter above Root Buttress);
- Age, Health & Vigour;
- Significance, Amenity and Ecological Value;
- Form and Structural Condition;
- Visible Defects or Evidence of Wounding.

4.4 MEASUREMENTS

- Tree locations are supplied by client on the survey plan or triangulated using a measuring tape.
- Diameter at breast height (DBH) and Diameter above Root Buttress (DRB) are measured using a diameter tape.
- Height is measured using a clinometer.
- Canopy width is measured using a laser measure or tape measure.
- Structural Root Zone (SRZ) and Tree Protection Zone (TPZ) radii are calculated (in accordance with AS 4970-2009).
- TPZ or SRZ incursions are measured from the nearest face of the trunk to the face of the structure.

Tree schedule data is recorded in Appendix1.

4.5 REFERENCE DOCUMENTS

This report was written in coordination with:

- Australian Standard AS4970-2009 Protection of Trees on Development Sites
- Strathfield Council DCP 2005
- Strathfield Council DCP 2005
- Strathfield Council DCP Part O Tree Management 2015
- Tigo Surveys Pty Ltd. Ref. DP5836
- Texco Design Proj. No. 2132 Dwg No. A004
- Texco Design Proj. No. 2132 Dwg No. A005
- Texco Design Proj. No. 2132 Dwg No. A008
- Texco Design Proj. No. 2132 Dwg No. A102
- Texco Design Proj. No. 2132 Dwg No. A201
- Texco Design Proj. No. 2132 Dwg No. A202
- Texco Design Proj. No. 2132 Dwg No. A203
- Texco Design Proj. No. 2132 Dwg No. A301

4.6 DETERMINING A TREES SIGNIFICANCE

Tree health assessments were carried out using VTA as per Mattheck and significance and retention determinations were carried out using the STAR's method which combines ULE (useful life expectancy of subject tree) and significance rating based on characteristics such as health, form, vigour, cultural, heritage and amenity value. The 2 results are placed within a matrix which determines the retention value.

1. Is the tree a locally native remnant; an endangered species; a part of an endangered ecological community; or does the tree provide critical habitat for an endangered species?
2. Is the tree of botanical interest; Is it included in a significant tree register or listed as a heritage item under the Federal State or Local Regulations?
3. Is the tree visually prominent in the locality?
4. Is the tree well structured?
5. Is the tree in good health and/or does it display signs of good vigour?
6. Is the tree typically formed for the species?
7. Is the tree currently located in a position that will accommodate future growth?

Please see Appendix 2: STARS.

4.7 PLANNING GUIDELINES AND SPECIFIC LEGISLATION

Tree management measures are in place for Strathfield Council under the provisions of the trees and vegetation preservation for properties covered under Strathfield Council DCP 2005.

- According to the NSW Planning Portal, the site is listed as R2 Low Density Residential.
- The site does not contain, nor does it form part of a heritage item.
- The site is not listed on the terrestrial biodiversity map, nor is it listed as an area of Critically Endangered Ecological Communities.

4.8 SIGNIFICANCE IN THE ENVIRONMENT.

Trees are subject to the following legislation:

- Biodiversity Conservation Act NSW (BIO Act 2016): Provides provisions for conserving biodiversity.
- Threatened Species Conservation Act NSW (1995 TCS Act): Provides provisions for conserving threatened species, populations and ecological communities of animals and plants as well as managing key threatening processes.
- Environmental Protection and Biodiversity Conservation Act NSW (EPBC Act 1999): Provides provision to protect and manage nationally and internationally important flora, fauna, ecological communities and heritage places.
- Biosecurity Act NSW (BIO Act 2015): Refers to the protection of native plant communities, reducing the risk to human's health and the risk to agricultural production from invasive weeds.
- NSW Bushfire Brigade 10/50 Legislation is not enforced for this site.

4.9 VTA

The VTA system is based on the theory of tree biology, physiology and tree architecture and structure. This method is used by Arborists to identify visible signs on trees that indicate good health or potential problems. Symptoms of decay, growth patterns and defects are identified and assessed as to their potential to cause whole tree, part tree or branch failure, this system is based around methods discussed by Claus Mattheck in 'The Body Language of Trees' (1994). For the purpose of this report, parts of the VTA system will be used along with other industry standard literature and other relevant studies that provide an insight into potential hazards in trees. This assessment is a snapshot of what could be reasonably seen or determined from a basic visual inspection. The VTA system is generally used as a means to identify hazardous trees, it is important to realize that for a tree to be hazardous there must be a target.

4.10 AUSTRALIAN STANDARD AS4970-2009

- The Australian Standard AS4970–2009 Protection of trees on development sites has been used as a benchmark in the preparation of this report and the terminology and impact assessment methodology have been adopted from this document. This AIA complies with 2.3.5 Arboricultural Impact Assessment of AS4970-2009.
- Recommendations have been based on tree Retention Value, Vigour, Condition and ULE. Trees with a high Retention Value should be given greater priority for retention than trees with Medium Retention Value. Trees with Long (40 years +) ULE should be given greater priority for retention than trees with Short (5-15 years) ULE
- Tree Protection Zones (TPZ) and Structural Root Zones (SRZ) are as per Section 3 of AS4970-2009 and are defined in the rear of this report. It should be noted that the TPZs and SRZs indicated on the site drawings are notional areas only and do not reflect actual root locations.
- "Construction" for the purpose of this AIA means excavation (greater than 100mm), compacted fill or machine trenching. "Excavation" includes cut batters, boxing-out for the various pavement types, trenching for utilities and footings for retaining walls.
- Trees within proposed construction footprints are recommended for removal.

- 3.4.6 Where construction is proposed within Structural Root Zone (SRZ) offsets, those trees have been similarly recommended for removal. Fully elevated, pier and beam type construction or hand dug services trenches (or horizontal boring) is recommended and an accepted form of construction methodology for this type of structure.
- Trees with greater than 25% of the Tree Protection Zone (TPZ) impacted by construction are generally recommended for removal. There are however different types of construction incursions proposed (e.g. fill, cut, services, pavement type, retaining walls) with varying tree impacts likely. Existing constraints to root development also vary the notional TPZ. Compacted fill can be equally as damaging to tree longevity: root development is restricted within heavily compacted soils.
- Trees to be retained with construction impacting less than 25% of the TPZ area were rated as. Specific construction monitoring will be required for these trees (refer to Recommendations).
- TPZ encroachments of >10% are defined (3.3.3 of AS4970) as 'major'. This does not mean that the tree will be fatally injured, but that 'the project arborist must demonstrate that the tree(s) would remain viable'.
- Where construction is proposed beyond the TPZ, those trees are rated as retainable with specific tree protection or tree protection monitoring required.

5 FINDINGS

5.1 SITE CONTROL MAPS

According to the NSW Planning Portal, the site is listed as R2 Low Density Residential. Please see Figure 1

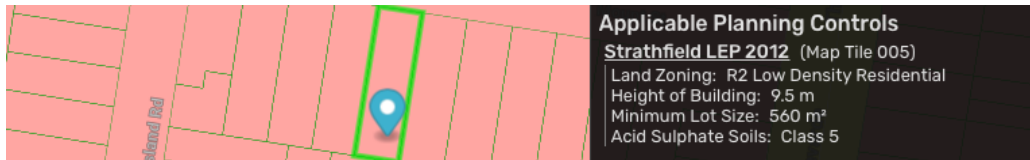


Figure 1

The following relevant Government environmental and heritage mapping overlays have been reviewed (SEED – NSW Government 2020). The site was not listed as a site of Terrestrial Biodiversity, Environmentally Sensitive Land or part of a Critically Endangered Ecological Community. Please see Figure 2.

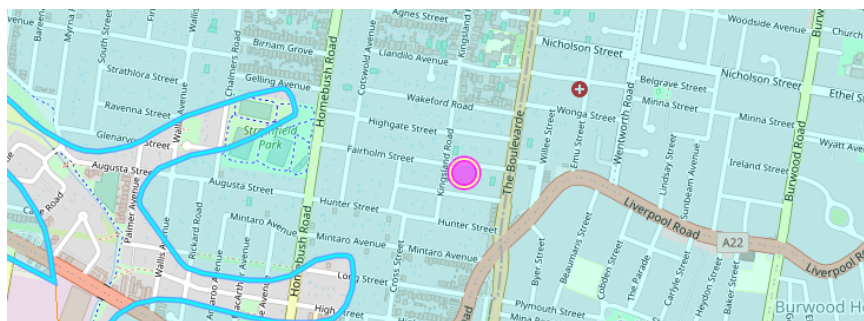


Figure 2

5.2 THE SITE

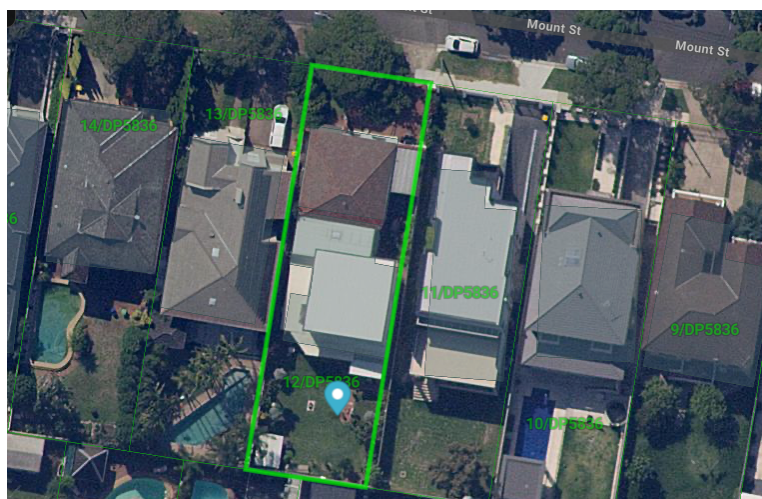


Figure 3

The sites currently contain one single storey stand alone brick dwelling and one double storey standalone brick dwelling.

The site has a slight southern gradient and aspect with a high point R.L of 34.51 in the North west corner and a low point R.L of 32.52 in the South eastern corner.

Site soils are likely to deviate from their natural state due to past urban development, however, site soils are classified as 9130bt (Blacktown) Residual soil characterised as:

Landscape – gently undulating rises on Wianamatta Group shales and Hawkesbury shale. Local relief to 30 m, slopes are usually <5%. Broad rounded crests and ridges with gently inclined slopes. Cleared eucalypt woodland and tall open-forest (wet sclerophyll forests).

Soils – shallow to moderately deep (<100 cm) Red and Brown Podzolic Soils (Dr3.21, Dr3.11, Db2.11) on crests, upper slopes and well-drained areas; deep (150–300 cm) Yellow Podzolic Soils and Soloths (Dy2.11, Dy3.11) on lower slopes and in areas of poor drainage.

Limitations – moderately reactive highly plastic subsoil, low soil fertility, poor soil drainage.

Vegetation for the site is classified as Almost completely cleared tall open-forest (wet sclerophyll forest) and open-woodland (dry sclerophyll forest). Remaining traces of the original wet sclerophyll forest containing Sydney blue gum *Eucalyptus saligna* and blackbutt *E. pilularis* are located at Ashfield Park. The original woodland and open-forest in drier areas to the west were dominated by forest red gum *E. tereticornis*, narrow-leaved ironbark *E. crebra* and grey box *E. moluccana*. This has been almost completely cleared. At Duffys Forest there is an open-forest dominated by ash *E. sieberi* with a dry sclerophyll shrub understorey.

5.3 SUMMARY OF SITE INSPECTION DATA

Generally, the sites vegetation was observed to have a mixture of exotic and endemic tree canopy. The existing surveyed trees are shown in Appendix 1.

Other vegetation on site does not meet the dimensions for Strathfield Council to consider them as trees, trees as defined in Part O Tree Management; where the tree has a height greater than 4 metres or a girth greater than half a metre measured at 1 metre above ground level.

5.4 SUMMARY OF PROPOSED DEVELOPMENT

The proposed development includes the demolition of an existing double storey brick dwelling and the installation of on multi storey dwelling with an upgraded council crossover with a new swimming pool and boundary wall at the front of the property.

5.5 CURRENT TREE POPULATION

A total of seven trees were assessed in total.

The tree population comprised of:

Table 2

Species	Origin	No. Of Trees
<i>Macadamia tetraphylla</i> (Macadamia)	Australian native	T1
<i>Magifera indica</i> (Mango)	Exotic	T2
<i>Syagrus romanzoffiana</i> (Cocos palm)	Exotic	T3
<i>Fraxinus giffithii</i> (Evergreen ash)	Exotic	T4
<i>Prunus sp.</i> (Prunus)	Exotic	T5
<i>Murraya paniculata</i> (Orange Jessamine)	Exotic	T6
<i>Lophostemon confertus</i> (Brushbox)	Australian native	T7

It should be noted that T6 is located in the adjoining property of 10 Mount St. Strathfield and T7 is located on the council owned nature strip.

5.6 TREE SIGNIFICANCE

Retention values were recorded using IACA Significance of a Tree, Assessment Rating System (STARS). Results are published in the table below.

Table 3

Retention Value	Low	Med	High
Tree No.	T1, T2, T3, T4, T5	T6	T7

IACA 2010, *IACA Significance of a Tree, Assessment Rating System (STARS)*, Institute of Australian Consulting Arboriculturists, Australia, www.iaca.org.au Appendix 2.

6 PROPOSED DEVELOPMENT IMPACT

Tree Protection Zones (TPZ's) and Structural Root Zones (SRZ's) are defined as per Section 3 of Australian Standard AS4970-2009 Protection of Trees on Development Sites. It should be noted that TPZ's and SRZ's are notional areas only and do not reflect actual root locations. All TPZ's and SRZ's are marked on plans located at the rear of this document. At this time no exploratory root investigation has been undertaken, it may be recommended based on the findings within this report.

6.1 TREES PROPOSED FOR REMOVAL

Table 4

Tree No	Genus Species (Common Name)	Height (m)	Canopy Spread (m)				Diameter (m)		SRZ	TPZ	Age Class	Health	Structure	E.L.E	Landscape Significance	Arborist Notes
			N	E	S	W	@1.4m	Base								
4	Fraxinus giffithii (Evergreen ash)	6	3	3	3	3	0.33	0.45	2.4	4.0	MATURE	GOOD	POOR	15>40	LOW	Lopped

6.1.1 DISCUSSION

T4 is a low value tree that has been consistently lopped to a height of 6 metres. The tree will be unable to reach its true dimensions and should not be a constraint on the development.

6.2 TREES UNNAFFECTED BY PROPOSED DEVELOPMENT

Table 5

Tree No	Genus Species (Common Name)	Height (m)	Canopy Spread (m)				Diameter (m)		SRZ	TPZ	Age Class	Health	Structure	E.L.E	Landscape Significance	Arborist Notes
			N	E	S	W	@1.4m	Base								
3	Syagrus romanzoffiana (Cocos Palm)	8	2	2	2	2	0.22	0.3	2.0	2.6	MATURE	GOOD	GOOD	>40	LOW	Soft wooded perennial in neighbouring property, no action required.

6.3 TREES WITH MAJOR INCURSIONS

Table 6

Tree No	Genus Species (Common Name)	Height (m)	Canopy Spread (m)				Diameter (m)		SRZ	TPZ	Age Class	Health	Structure	E.L.E	Landscape Significance	Arborist Notes	Inc. %	Retainable
			N	E	S	W	@ 1.4m	Base										
1	Macadamia tetraphylla (macadamia)	6	1	1	1	1	0.2	0.24	1.8	2.4	SEMI MATURE	GOOD	FAIR	15>40	LOW	Lopped	30%	Tree has been extensively lopped, eliminating risk of windthrow due to root loss.
6	Murraya paniculata (Mock Orange)	5	2	1	3	3	0.2	0.28	1.9	2.4	MATURE	GOOD	GOOD	15>40	MEDIUM		Major	Small tree in neighbouring property will be subject to same conditions as T7
7	Lophostemon confertus (Brushbox)	12	6	5	5	5	0.53	0.58	2.6	6.4	MATURE	FAIR	FAIR	15>40	HIGH	Slight reduction in vigour and canopy entity for species, previously lopped	3.5% Driveway 20% Front wall	YES Existing footing from existing wall should be retained where possible.

6.3.1 DISCUSSION

T1 is a low retention value *Macadamia tetraphylla*. The tree has been consistently maintained to a height of 6 metres as a result of continuous pollarding. The tree has been marked on the plans to be retained, however this may not be possible due to the extent of the TPZ and SRZ encroachment.

Due to the trees reduced height, the tree will likely remain stable following the root loss, however the tree may die at a later date. Should the clients wish to retain the tree, they should feel free to attempt to, however, due to the low retention value of the tree, the retention of the tree should not be a condition of consent.

"When intentionally cutting roots, it is important to make clean cuts, perpendicular to the line of the root. Clean cuts offer a smaller surface for drying and compartmentalize better. Roots that are torn by large grading equipment can develop cracks that run laterally along the root, increasing the extent of damage. When grading near trees, always prune the roots in advance." (Urban 2008)

T7 is a high retention value, *Lophostemon confertus* located on the council owned nature strip. The tree suffers a minor incursion due to the new driveway of 3.5%. When the extent of TPZ incursion is deemed minor as per AS4970 Protection of Trees on Development Sites i.e., less than 10%, excavation may be undertaken using traditional methods.

The tree suffers a further incursion of 20% due to the replacement of the current front boundary wall. As there is already a wall present there, the incursion can most likely be mitigated as large roots are unlikely to have passed under the wall. If possible, the existing footing should be retained, otherwise, the demolition of the existing footing and wall should be undertaken manually using hand tools.

If walls or a driveway or other structures are to be constructed near a protected tree, careful excavation is to be undertaken manually by using non-motorized hand tools to determine the location of first order and lower order structural roots with a diameter of 20mm or greater, without damaging them. Boundary walls or fences should use columns or posts with infill panels, or a wall to be constructed with suspended sections 100mm clear above or beside any structural woody root or further as required, or any new wall to be built only to the depth of that existing. Structural woody roots to be further protected by utilising the construction techniques of pier or bridge footings, or screw piles between or over them with a minimum clearance above or beside of 100mm, or further as required to allow for future and ongoing growth.

6.4 TREES WITH MINOR INCURSIONS

Table 7

Tree No	Genus Species (Common Name)	Height (m)	Canopy Spread (m)				Diameter (m)		SRZ	TPZ	Age Class	Health	Structure	E.L.E	Landscape Significance	Arborist Notes	Inc. %	Retainable
			N	E	S	W	@1.4m	Base										
2	Mangifera indica (mango)	6	2	2	2	2	0.28	0.33	2.1	3.4	SEMI MATURE	FAIR	FAIR	15>40	LOW	Lopped	9%	YES

6.4.1 DISCUSSION

T2 is a low retention value *Mangifera indica*. The tree has been consistently maintained to a height of 6 metres as a result of continuous pollarding. The tree suffers a minor incursion as per AS4970-2009 and would be expected to remain viable following the development.

6.5 TREES TO BE RETAINED

Table 8

Tree No	Genus Species (Common Name)	Height (m)	Canopy Spread (m)				Diameter (m)		SRZ	TPZ	Age Class	Health	Structure	E.L.E	Landscape Significance	Arborist Notes
			N	E	S	W	@1.4m	Base								
5	Prunus species (Prunus)	5	1	1	1	1	0.2	0.3	2.0	2.4	SEMI MATURE	FAIR	FAIR	15>40	LOW	Lopped

6.5.1 DISCUSSION

T5 is a low retention value *Prunus sp.* The tree has been repeatedly pollarded to be maintained to a height of 5 metres. It is a low retention value tree that has been marked for retention for landscaping purposes. The tree will suffer incursions due to landscape features, including a footpath. A footpath may be constructed at ground level without any excavation, by first killing with herbicide the plants to be removed from the pathway area, and then removing that plant material by cutting the trunks of woody shrubs to ground level and by raking all other plant material to expose the topsoil surface without organic matter. This will remove the need for physically disturbing the soil and the roots of the tree.

7 CONCLUSIONS AND RECOMMENDATIONS

The following trees should be removed and replaced:

- T4 *Fraxinus griffithii*

The following trees may be retained and subject to the following tree protection measures;

- T1 *Macadamia tetraphylla* (trunk protection, ground protection, exclusion zone)
- T2 *Mangifera indica* (ground protection, exclusion zone)
- T5 *Prunus sp.* (ground protection, exclusion zone)
- T6 *Murraya paniculata* (exclusion zone)
- T7 *Lophostemon confertus*. (Trunk protection, exclusion zone)

The following trees maybe retained following the prescribed works;

- T7 *Lophostemon confertus* (Project arborist supervision of demolition and installation of existing and new boundary wall, with engineering specifications to be determined following demolition.)

7.1 TREE PROTECTION MEASURES

7.1.1 FENCING

It will not be practical or possible to erect a TPZ fence encompassing the entire TPZ as access will be required to perform the works, however, an exclusion zone should be erected around the tree to limit activities that take place within the TPZ. AS4970-2009 *Protection of Trees on Development sites* states that the following activities are prohibited within the TPZs;

- Storage.
- Preparation of chemicals, including preparation of cement products.
- Refueling.
- Dumping of waste.
- Washing down and cleaning of equipment.

AS 4687 specifies applicable fencing requirements, 1.8M Mesh fence. Shade cloth or similar should be attached to reduce the transport of dust, other particulate matter and liquids into the protected area.

Fencing must

- be 1.8m high fully supported chainmesh protective fencing. The fencing shall be secure and fastened to prevent movement. The fencing shall have a lockable opening for access. Roots greater than 40mm in diameter shall not be pruned, damaged or destroyed during the installation or maintenance of the fencing. The fencing shall not be moved, altered or removed without the approval of the Project Arborist;
- have a minimum of two signs that include the words "Tree Protection Zone – Keep Out". Each sign shall be a minimum size of 600mm x 500mm and the name and contact details of the Project Arborist. Signs shall be attached facing outwards in prominent positions at 10 metre intervals or closer where the fence changes direction. The signs shall be visible within the site;
- be kept free of weeds and, except where the existing surface is grass, grass. Weeds shall be removed by hand; and

- unless the existing surface is grass, have mulch installed and maintained to a depth of 75mm.

Fencing should be installed before any machinery or materials are brought onto the site and before the commencement of works including demolition. Once erected, protective fencing must not be removed or altered without approval by the project arborist. Fencing must be clearly signed and adhere to the standard as outlined in *AS4970-2009 Protection of Trees on Development Sites*.

7.1.2 TRUNK PROTECTION

Trunk protection as outlined in *Australian Standard AS4970-2009 Protection of Trees on Development Sites* should be installed. This should be installed by or signed off by an AQF Level 5 arborist.

Trunk protection is achieved when the vertical trunk of exposed trees is protected by the placement of 1.8m lengths of 50 x 100mm hardwood timbers, spaced vertically, at 150mm centres and secured by 2mm wire at 300mm wide spacing over suitable protective padding material e.g. Jute Matting. The trunk protection shall be maintained intact until the completion of all work on site. Additionally, smaller fences can be erected around the trunks to avoid damage.

Trunk protection should be installed before any machinery or materials are brought onto the site and before the commencement of works including demolition. Once erected, trunk protection should be certified by the project arborist and adhere to the standard as outlined in *AS4970-2009 Protection of Trees on Development Sites*.

7.1.3 GROUND PROTECTION

It is also recommended that the trees are mulched within the TPZ's. Section 4.6 of Australian Standard AS4970-2009 Protection of Trees on Development Sites states that the area within the TPZ should be mulched. The mulch must be maintained to a depth of 50–100 mm using material that complies with AS 4454. Mulch should be applied at no greater depth than 50-75 mm. Mulch should be spread beyond the dripline (Shigo, 1991). The mulch should be no closer than 200mm away from the base of the trunk as this can cause collar rot and increase the incidence of disease.

This will also allow for a favourable root environment for the trees possibly improving tree health throughout the development period. Benefits of mulching include:

- Conservation of soil moisture.
- Soil erosion and runoff are reduced, slowing water movement and keeping water in contact with soil.
- Soil fertility is increased by nutrients from mulch.
- Soil microorganism activity is enhanced.
- Protects surface soil from compactive forces, such as vehicles, people and rain impact.

The mulch should be suitably coarse and broken down to ensure a Carbon: Nitrogen ratio of no more than 25:1 or less and should be no less than 75mm and no more than 100mm in depth. It is important to choose the correct mulch for improving soil fertility. The mulches must have high C:N ratios. Mulches with low C:N ratios may develop nitrogen deficiency (Carlson, 2001) Mulching should be arranged by a project arborist.

Soil moisture levels should be regularly monitored by the project arborist. "Benefits of mulch to the soil environment and ultimately plant health and growth are accrued both immediately after application as the mulch protects the soil surface, and over time as the organic mulch decomposes. Immediate benefits include conserving soil moisture, reducing salt build up in the surface soil, reducing soil erosion and water runoff,

protection from compactive forces, insulating the soil from temperature extremes, reducing reflection and reradiation of heat, and suppressing weed growth. Benefits that accrue over time from the use of organic mulches involve improvements to soil structure, permeability, aeration, fertility, and biological activity. Improved aeration, temperature, and moisture conditions near the surface encourage rooting and other biological activities that enhance soil structure. Just the absence of cultivation and the low amount of compaction will allow soil structure to improve through wetting and drying cycles and biological activity. Improved soil structure increases the infiltration rate and allows more uniform water distribution and less soil erosion, all of which favour plant growth." (Harris, Clark & Matheny, 2004)

If access for machinery is required within the TPZ ground protection measures will be required. The purpose of ground protection is to prevent root damage and soil compaction within the TPZ.

Although heavy machinery is not permitted within the TPZ, access is permitted when additional ground protection measures are employed in accordance with AS4970-2009 *Protection of Trees on Development sites* specifically section 4.5.3 Ground Protection. A permeable geotextile membrane should be laid over the required area beneath a layer of coarse mulch and then covered with rumble boards. The boards should be placed on their flat edge, side by side with a 30-50mm gap to form a rumble strip. The boards are to be held together with a metal bracing straps. In this instance the pathway will have to be installed between the exposed tree roots and should be installed or certified by the project arborist.

7.1.4 EXCAVATION WITHIN THE TPZ

When the extent of TPZ incursion is deemed minor as per AS4970 Protection of Trees on Development Sites i.e., less than 10%, excavation may be undertaken using traditional methods. Excavation for Benching and Shoring must be considered.

When the encroachment is deemed to be major i.e., greater than 10% of the TPZ of trees to be retained; exploratory root investigation using non-destructive root sensitive techniques should be undertaken at the perimeter of the required penetration point nearest the tree, bearing in mind compensation for benching and battering.

Techniques include:

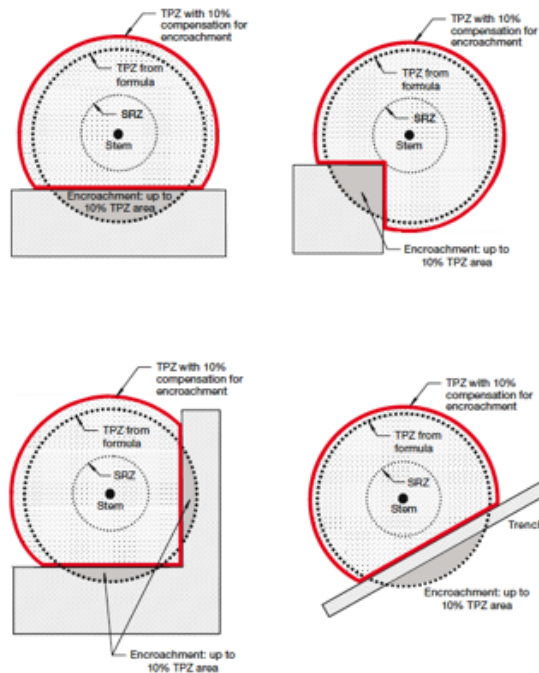
- Hand excavation
- Vacuum excavation
- High pressure water jet excavation
- Air Spade

The exploratory root investigation should be undertaken at the outer limits of the of the penetration point to a maximum of 700mm or when compacted sub-soil or rock bed is encountered. Roots greater than 50mm in diameter should be retained and advice from a project arborist sought.

Any roots less than 50mm in diameter that will require pruning should be undertaken by a suitably qualified arborist using sharp tools to ensure clean cuts. "When intentionally cutting roots, it is important to make clean cuts, perpendicular to the line of the root. Clean cuts offer a smaller surface for drying and compartmentalize better. Roots that are torn by large grading equipment can develop cracks that run laterally along the root, increasing the extent of damage. When grading near trees, always prune the roots in advance." (Urban 2008)

7.1.5 TPZ COMPENSATION

TPZ area lost to incursions should be compensated for elsewhere on the site and contiguous to the TPZ.



7.1.6 INSTALLATION OF SERVICES WITHIN TPZ

All underground services should be placed outside the TPZs of the retained trees. When routing services outside the TPZ becomes unavoidable, trenching must be undertaken using tree sensitive excavation.

Techniques include:

- Hand excavation
- Vacuum excavation
- High pressure water jet excavation
- Air Spade
- Horizontal Directional Drilling (Entry and exit pits must be located outside of the TPZ)

All excavation should be undertaken or supervised by an AQF Level 5 Arborist.

7.1.7 PIER PLACEMENT WITHIN TPZ

When placing piers in the TPZ, the first 800mm should be undertaken by hand digging only. Care should be taken not to damage roots 50mm and over. Pier holes should be flexible in design and be placed in such a manner that significant roots are bridged rather than severed.

7.1.8 DEMOLITION OF HARDSTAND AREAS WITHIN TPZ

Demolition of hardstand areas within the TPZ's of trees may be undertaken using machinery but must be done so with care. Demolition should commence at the outer most point of the hard stand area nearest the tree working backwards away from the tree, with the machinery remaining on hard stand surfaces.

Where hard stand surfaces aren't available for machinery ground protection will be required.

This should be done under the supervision of a project arborist.

Once the hardstand surface has been demolished, ground protection as per AS4970 should be installed to limit the incidence of compaction and soil contamination.

7.1.9 LANDSCAPING WITHIN THE TPZ

Any landscaping works that require excavation within the TPZ should be done so using the methods outlined in 7.1.4.

Any pier holes for retaining walls should be done so by hand prior to piling.

Any excavation within the SRZ of trees should be done so under the direct supervision of a project arborist.

7.2 HOLD POINTS, INSPECTION AND CERTIFICATION

To ensure all plans are implemented hold points have been specified in a schedule of works (below). Once each stage is reached the work will be inspected and certified by the project arborist and the next stage may commence.

7.2.1 SCHEDULE OF WORKS AND RESPONSIBILITIES

Table 5

Hold Point	Task	Responsibility	Certification	Timing of Inspection
1	Review construction plan and update TPP	Principle Contractor	Project Arborist	Prior to CC being granted
2	Install TPZ Fencing, trunk and branch protection and ground protection.	Principle Contractor	Project Arborist	Prior to site establishment.
3	Supervise demolition of existing wall and footing	Principle Contractor	Project Arborist	As required.
4	Review design of replacement wall footing	Principle Contractor	Project Arborist	As required.
5	Fortnightly inspection of site	Principle Contractor	Project Arborist	Fortnightly as required
6	Final inspection of Trees by Project Arborist	Principle Contractor	Project Arborist	Prior to issue of occupancy certificate.

8 WORKS CITED

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9 GLOSSARY OF TERMS

Borers: larvae beetles, moths or wasps that cause damage within the phloem/cambium, sapwood and heartwood of the tree. Borers generally attack weakened trees or stressed trees.

Cambium: The layer of cells between the exterior bark and the inner wood which control cell division, hence stem, branch and shoot expansion.

Cavity: A void, initiated by a wound within the trunk, branches or roots. These voids are referred to as hollows.

Co-dominant: Stems or branches equal in size and relative importance.

Crown: The width of the foliage in the upper canopy of the assessed tree to the four cardinal points.

Crown lifting: The removal of the lower branches of the tree.

Crown thinning: The portion of the tree consisting of branches and leaves and any part of the stem from which branches arise.

Drip line: Where the canopy releases water shed from the foliage during precipitation.

DBH/Diameter: Diameter of trunk at 14meters in height of assessed tree.

Dead wooding: The removal dead branches from a tree.

Dieback: Tree deterioration where the branches and leaves die.

Flush cut: A cut that damages or removes the branch collar or removes the branch and stem tissue and is inconsistent with the branch attachment as indicated by the bark branch ridge.

Genus/ Species: Identified using its scientific name. Where the species name is not known, species is used. The common name for trees may vary considerably in each area of geographical differences and so will not be used in the field survey.

Height: Height has been estimated to + / - 2 meters.

Maturity: Tree age, Assessed as over mature (last 1/3 of life expectancy), mature (1/3 to 2/3 life expectancy) and semi mature (less than 1/3 life expectancy).

Remedial (restorative) pruning: includes: Removing damaged, deadwood; trimming diseased or infested branches. Trimming branches back to undamaged tissue in order to induce the production of shoots from latent or adventitious buds, from which a new crown will be established.

SRZ- Structural Root Zone: An area within the trees root zone in which roots stabilize the tree. Roots cut in this zone can cause instability and lead to anchorage loss.

Structural Integrity: Describes the internal supporting timber. (Substantial to frail)

Target: risk targets are people, property or activities that could injure, damage or disrupted.

Tree Numbering: All trees listed in the tree survey have been numbered and plotted.

TULE- Tree Useful Life

Expectancy: An estimation of the trees useful life expectancy using appropriate industry methods with an inspection regime.

Vigour: This is an indication of the tree health. Trees have either been assessed as Good Vigour, Normal Vigour or Low Vigour.

10 APPENDIX 1: TREE SCHEDULE

Tree No	Genus Species (Common Name)	Height (m)	Canopy Spread (m)				Diameter (m)		SRZ	TPZ	Age Class	Health	Condition	E.L.E	Landscape Significance	Arborist Notes
			N	E	S	W	@1.4m	Base								
1	Macadamia tetraphylla (macadamia)	6	1	1	1	1	0.2	0.24	1.8	2.4	SEMI MATURE	GOOD	FAIR	15>40	LOW	Lopped
2	Mangifera indica (mango)	6	2	2	2	2	0.28	0.33	2.1	3.4	SEMI MATURE	FAIR	FAIR	15>40	LOW	Lopped
3	Syagrus romanzoffiana (Cocos Palm)	8	2	2	2	2	0.22	0.3	2.0	2.6	MATURE	GOOD	GOOD	>40	LOW	
4	Fraxinus giffithii (Evergreen ash)	6	3	3	3	3	0.33	0.45	2.4	4.0	MATURE	GOOD	POOR	15>40	LOW	Lopped
5	Prunus species (Prunus)	5	1	1	1	1	0.2	0.3	2.0	2.4	SEMI MATURE	FAIR	FAIR	15>40	LOW	Lopped
6	Murraya paniculata (Mock Orange)	5	2	1	3	3	0.2	0.28	1.9	2.4	MATURE	GOOD	GOOD	15>40	MEDIUM	
7	Lophostemon confertus (Brushbox)	12	6	5	5	5	0.53	0.58	2.6	6.4	MATURE	FAIR	FAIR	15>40	HIGH	Slight reduction in vigour and canopy entity for species, previously lopped

11 APPENDIX 2: STARS

IACA Significance of a Tree, Assessment Rating System (STARS)© (IACA 2010)©

In the development of this document IACA acknowledges the contribution and original concept of the Footprint Green Tree Significance & Retention Value Matrix, developed by Footprint Green Pty Ltd in June 2001.

The landscape significance of a tree is an essential criterion to establish the importance that a particular tree may have on a site. However, rating the significance of a tree becomes subjective and difficult to ascertain in a consistent and repetitive fashion due to assessor bias. It is therefore necessary to have a rating system utilising structured qualitative criteria to assist in determining the retention value for a tree. To assist this process all definitions for terms used in the *Tree Significance - Assessment Criteria* and *Tree Retention Value - Priority Matrix*, are taken from the IACA Dictionary for Managing Trees in Urban Environments 2009.

This rating system will assist in the planning processes for proposed works, above and below ground where trees are to be retained on or adjacent to a development site. The system uses a scale of *High*, *Medium* and *Low* significance in the landscape. Once the landscape significance of an individual tree has been defined, the retention value can be determined. An example of its use in an Arboricultural report is shown as Appendix A.

Tree Significance - Assessment Criteria



1. High Significance in landscape

- The tree is in good condition and good vigour;
- The tree has a form typical for the species;
- The tree is a remnant or is a planted locally indigenous specimen and/or is rare or uncommon in the local area or of botanical interest or of substantial age;
- The tree is listed as a Heritage Item, Threatened Species or part of an Endangered ecological community or listed on Councils significant Tree Register;
- The tree is visually prominent and visible from a considerable distance when viewed from most directions within the landscape due to its size and scale and makes a positive contribution to the local amenity;
- The tree supports social and cultural sentiments or spiritual associations, reflected by the broader population or community group or has commemorative values;
- The tree's growth is unrestricted by above and below ground influences, supporting its ability to reach dimensions typical for the taxa *in situ* - tree is appropriate to the site conditions.

2. Medium Significance in landscape

- The tree is in fair-good condition and good or low vigour;
- The tree has form typical or atypical of the species;
- The tree is a planted locally indigenous or a common species with its taxa commonly planted in the local area
- The tree is visible from surrounding properties, although not visually prominent as partially obstructed by other vegetation or buildings when viewed from the street,
- The tree provides a fair contribution to the visual character and amenity of the local area,
- The tree's growth is moderately restricted by above or below ground influences, reducing its ability to reach dimensions typical for the taxa *in situ*.

3. Low Significance in landscape

- The tree is in fair-poor condition and good or low vigour;
- The tree has form atypical of the species;
- The tree is not visible or is partly visible from surrounding properties as obstructed by other vegetation or buildings,
- The tree provides a minor contribution or has a negative impact on the visual character and amenity of the local area,
- The tree is a young specimen which may or may not have reached dimension to be protected by local Tree Preservation orders or similar protection mechanisms and can easily be replaced with a suitable specimen,
- The tree's growth is severely restricted by above or below ground influences, unlikely to reach dimensions typical for the taxa *in situ* - tree is inappropriate to the site conditions,
- The tree is listed as exempt under the provisions of the local Council Tree Preservation Order or similar protection mechanisms,
- The tree has a wound or defect that has potential to become structurally unsound.

Environmental Pest / Noxious Weed Species

- The tree is an Environmental Pest Species due to its invasiveness or poisonous/ allergenic properties,
- The tree is a declared noxious weed by legislation.

Hazardous/irreversible Decline

- The tree is structurally unsound and/or unstable and is considered potentially dangerous,
- The tree is dead, or is in irreversible decline, or has the potential to fail or collapse in full or part in the immediate to short term.

The tree is to have a minimum of three (3) criteria in a category to be classified in that group.

Note: The assessment criteria are for individual trees only, however, can be applied to a monocultural stand in its entirety e.g. hedge.

IACA 2010, IACA Significance of a Tree, Assessment Rating System (STARS), Institute of Australian Consulting Arboriculturists, www.iaca.org.au



ABNOBA ARBOR

AQF LEVEL 5 ARBORIST [QTRA REGISTERED] ABN: 1971602469
LIAM STRACHAN 0426215539 LIAMSTRACHANARB@GMAIL.COM

		Tree Significance			
		High	Medium	Low	
Tree Life Expectancy	Long >40 years				
	Medium 15-40 years				
	Short <1-15 years				
	Remove / Dead				

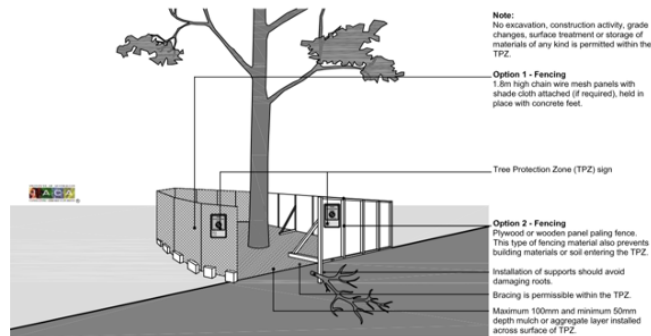
Legend for Matrix Assessment	
	Priority for Retention (High) – These trees are considered important for retention and should be retained and protected. Design modification and re-location of building/s should be considered to accommodate the setbacks as prescribed by the Australian Standard 4970 <i>Protection of tree on development sites</i> . Tree sensitive construction measures must be implemented if works are to proceed within the Tree Protection Zone.
	Consider for Retention (Medium) – These trees may be retained and protected. These are considered less critical; however, their retention should remain priority with removal considered only if adversely affecting the proposed building/works and all other alternatives have been considered and exhausted.
	Consider for Removal (Low) – These trees are not considered important for retention, nor require special works or design modification to be implemented for their retention.
	Priority for Removal – These trees are considered hazardous, or in irreversible decline, or weeds and should be removed irrespective of development.

IACA, 2010, *IACA Significance of a Tree, Assessment Rating System (STARS)*, Institute of Australian Consulting Arboriculturists, Australia, <http://www.iaca.org.au>

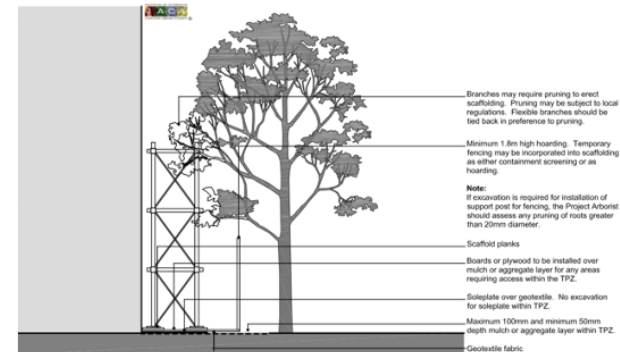
12 APPENDIX 3: SULE

	1. Long	2. Medium	3. Short	4. Removal	5. Moved or Replaced
	Trees that appeared to be retainable at the time of assessment for more than 40 years with an acceptable level of risk.	Trees that appeared to be retainable at the time of assessment for 15 – 40 years with an acceptable level of risk.	Trees that appeared to be retainable at the time of assessment for 5 – 15 years with an acceptable level of risk.	Trees that should be removed within the next 5 years.	Trees which can be reliably moved or replaced.
A	Structurally sound trees located in positions that can accommodate future growth.	Trees that may only live between 15 and 40 years.	Trees that may only live between 5 and 15 more years.	Dead, dying, suppressed or declining trees through disease or inhospitable conditions.	Small trees less than 5m in height.
B	Trees that could be made suitable for retention in the long term by remedial tree care.	Trees that may live for more than 40 years but would be removed for safety or nuisance reasons.	Trees that may live for more than 15 years but would be removed for safety or nuisance reasons.	Dangerous trees through instability on recent loss of adjacent trees.	Young trees less than 15 years old but over 5m in heights
C	Trees of special significance for historical, commemorative or rarity reasons that would warrant extraordinary efforts to secure their long term retention.	Trees that may live for more than 40 years but would be removed to prevent interference with more suitable individuals or to provide space for new planting.	Trees that may live for more than 15 years but should be removed to prevent interference with more suitable individuals or to provide space for new planting.	Damaged trees through structural defects including cavities, decay, included bark, wounds or poor form.	Trees that have been pruned to artificially control growth.
D		Trees that could be made suitable for retention in the medium term by remedial tree care.	Trees that require substantial remedial tree care and are only suitable for retention in the short term.	Damaged trees that are clearly not safe to retain.	
E				Trees that may live for more than 5 years but should be removed to prevent interference with more suitable individuals or to provide space for new plantings.	
F				Trees that are damaging or may cause damage to existing structures within 5 years.	
G				Trees that will become dangerous after removal of other trees for reasons given in (A) to (F).	

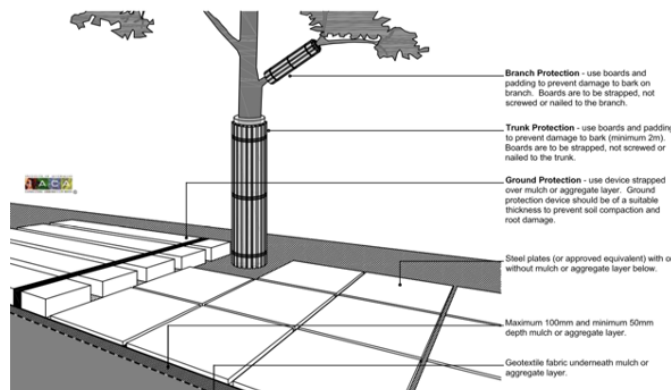
13 APPENDIX 4: TREE PROTECTION (GENERIC)



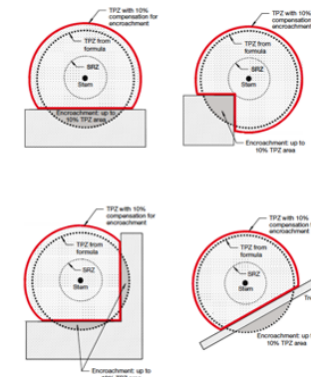
1. Tree Protection Fencing



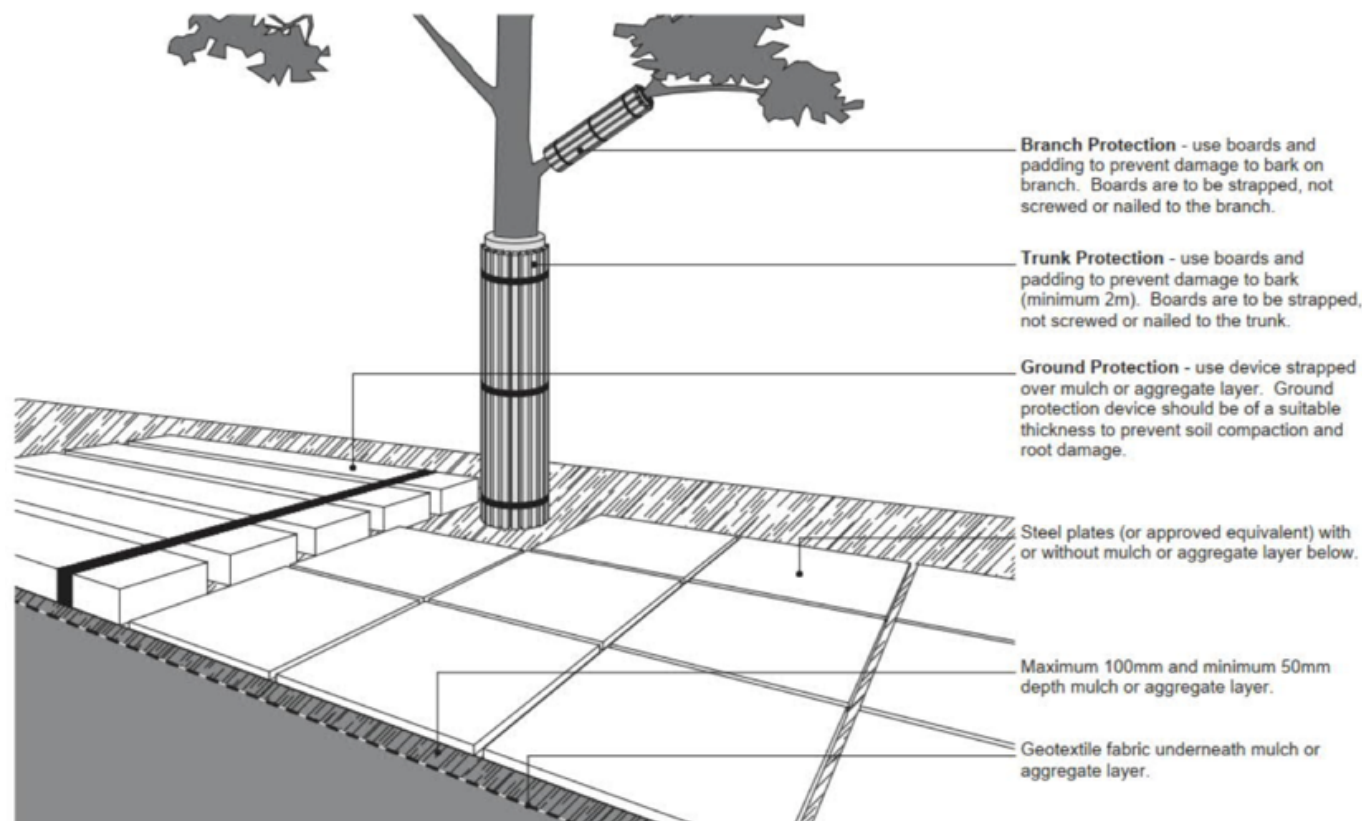
2. Scaffolding Within TPZ



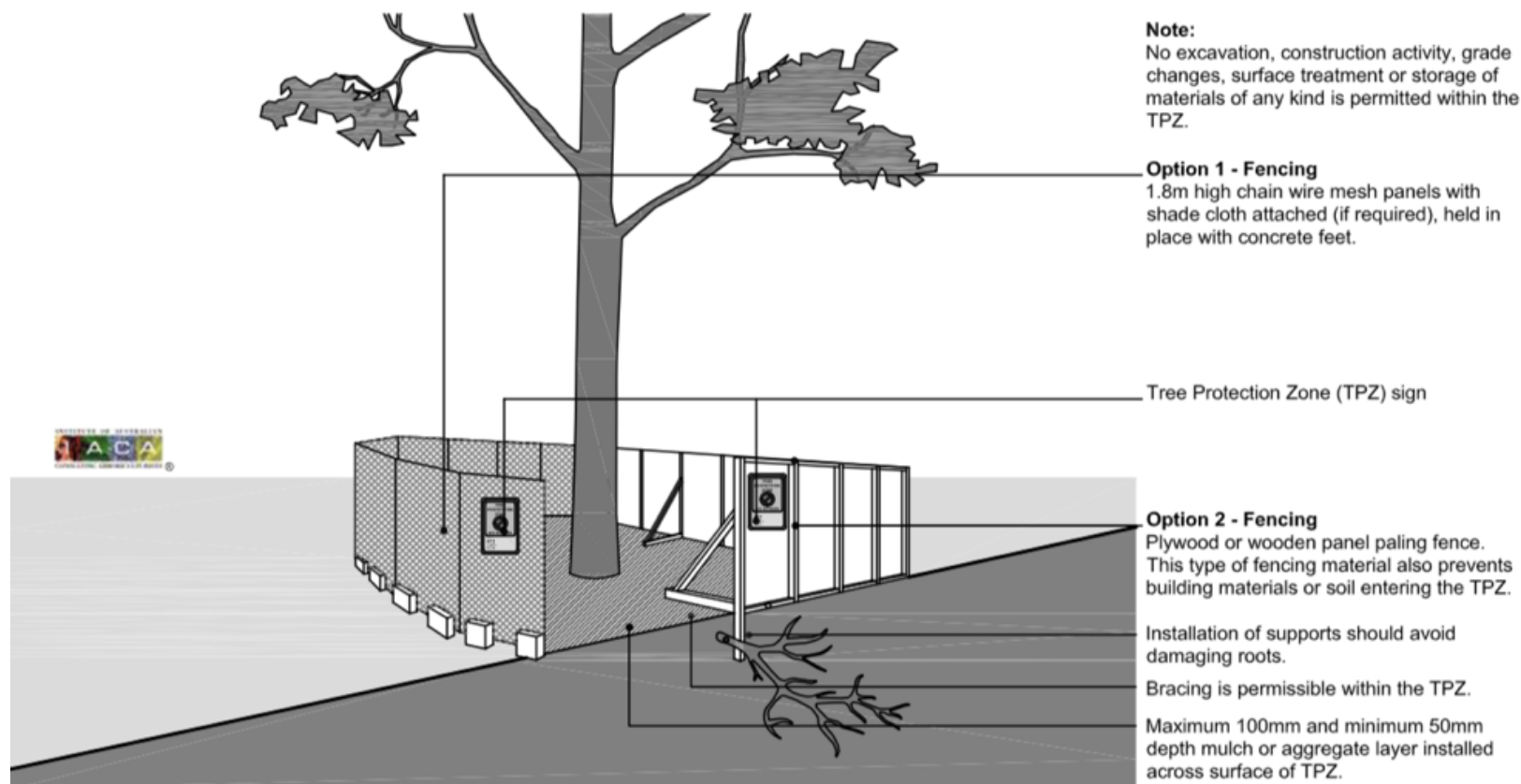
3. Examples Of Trunk, Branch and Ground Protection

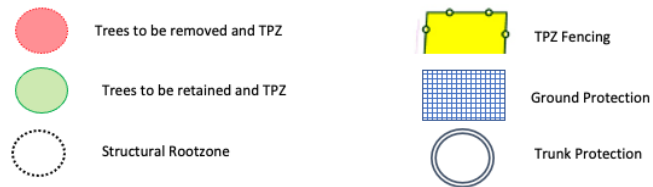


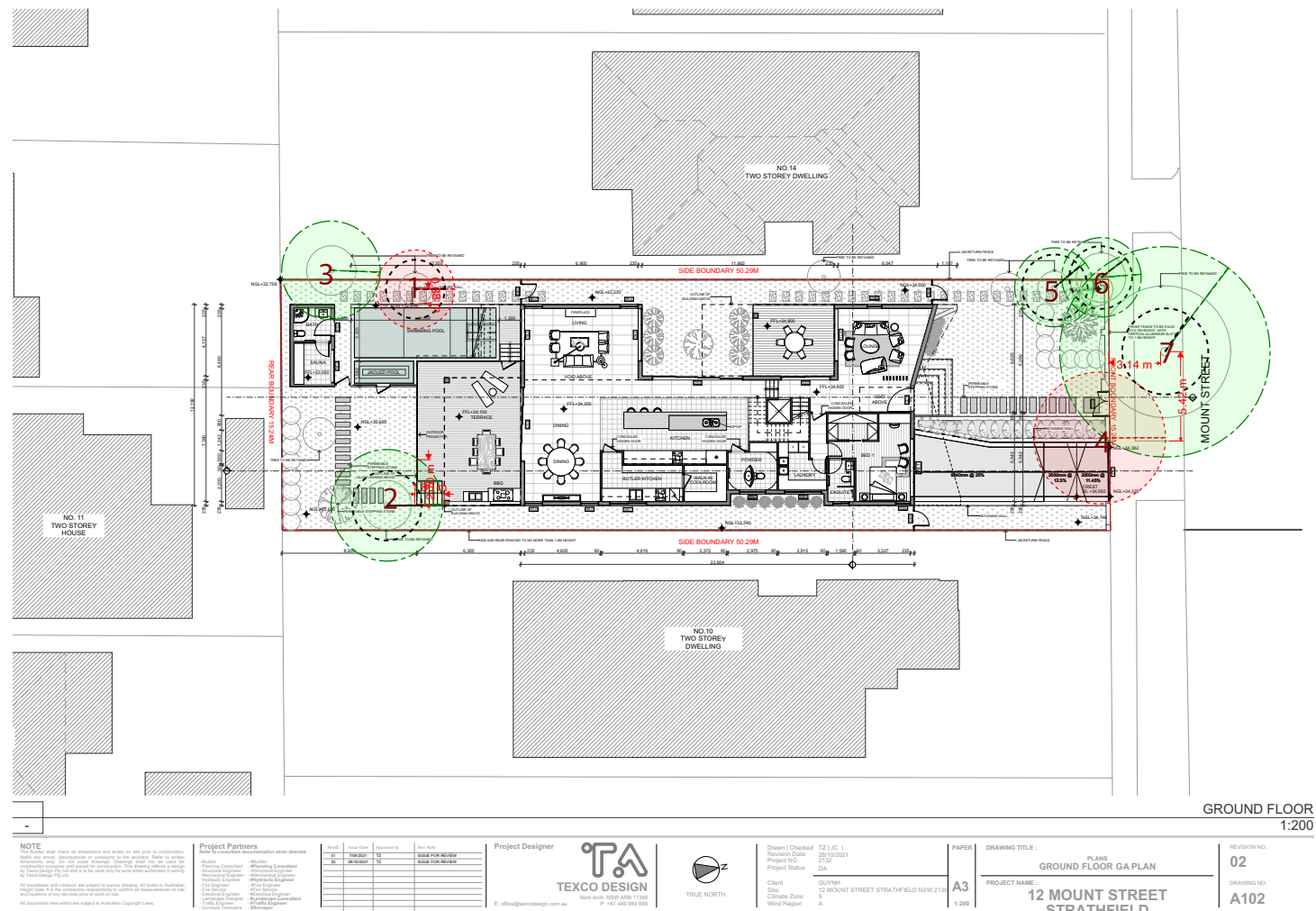
4. TPZ Encroachment Compensation

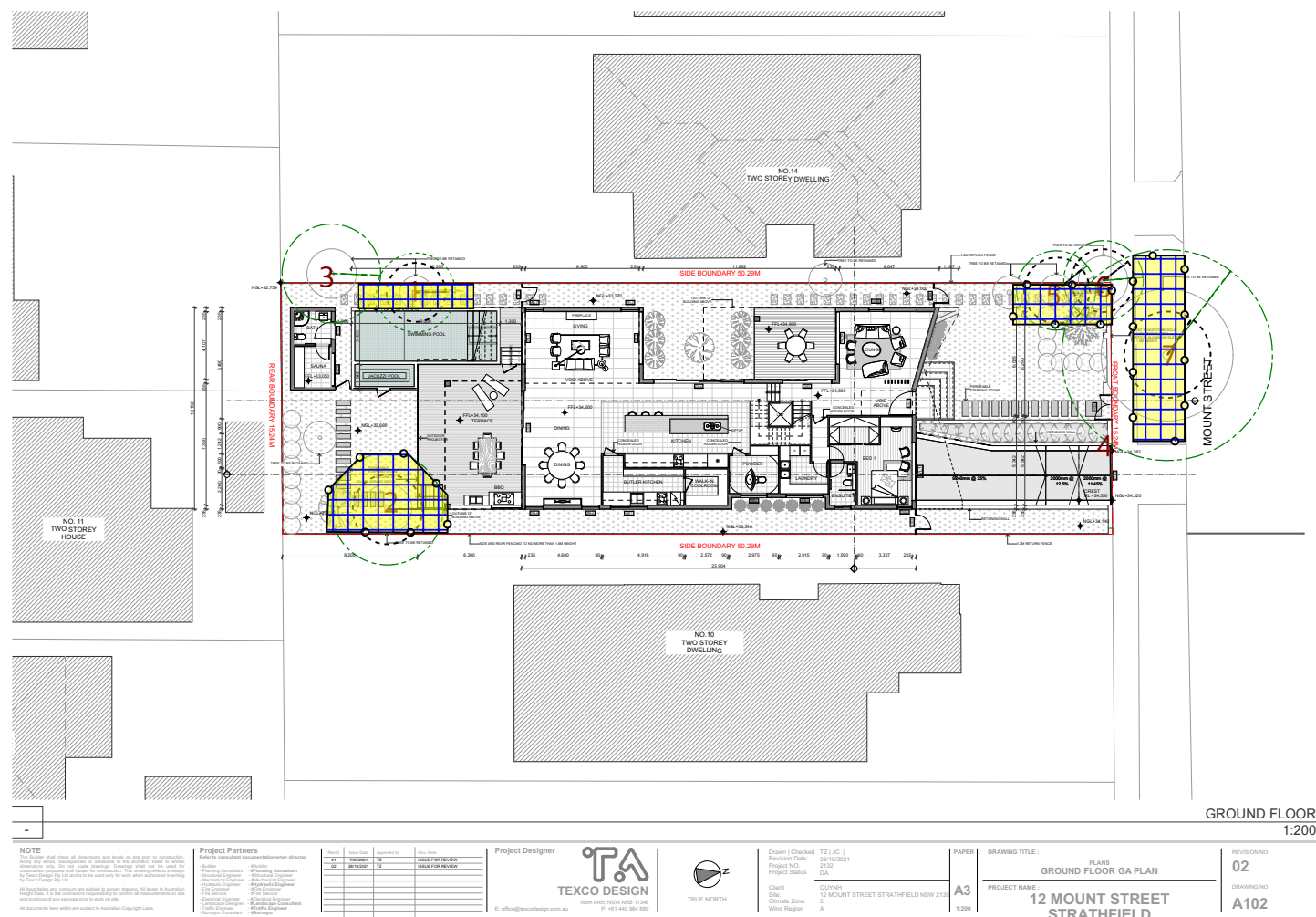
14 TRUNK AND GROUND PROTECTION

15 TPZ FENCING



16 SITE DRAWINGS**16.1 DRAWING 1: TREE LOCATION PLAN TPZ'S + SRZ'S****16.2 DRAWING 2: TREE PROTECTION PLAN****16.2.1 SITE DRAWING LEGEND**





BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1254816S_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Wednesday, 01 June 2022

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment

Project summary

Project name	12 Mount Street, Strathfield_02
Street address	12 Mount Street Strathfield 2135
Local Government Area	Strathfield Municipal Council
Plan type and plan number	deposited 5836
Lot no.	12
Section no.	-
Project type	separate dwelling house
No. of bedrooms	4

Project score

Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 56	Target 50

Certificate Prepared by

Name / Company Name: AENEC - Office: 02 9994 8906

ABN (if applicable): 32612556377

Description of project

Project address

Project name	12 Mount Street, Strathfield_02
Street address	12 Mount Street Strathfield 2135
Local Government Area	Strathfield Municipal Council
Plan type and plan number	Deposited Plan 5836
Lot no.	12
Section no.	-

Project type

Project type	separate dwelling house
No. of bedrooms	4

Site details

Site area (m²)	766
Roof area (m²)	326
Conditioned floor area (m2)	383.7
Unconditioned floor area (m2)	101.9
Total area of garden and lawn (m2)	333

Assessor details and thermal loads

Assessor number	HERA10042
Certificate number	NEESEAC6IP-02
Climate zone	56
Area adjusted cooling load (MJ/m².year)	16
Area adjusted heating load (MJ/m².year)	39
Ceiling fan in at least one bedroom	No
Ceiling fan in at least one living room or other conditioned area	Yes

Project score

Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 56	Target 50

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.






















Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 60 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 10000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 250 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> all toilets in the development the cold water tap that supplies each clothes washer in the development at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		✓ ✓ ✓	✓ ✓ ✓
Swimming pool			

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The swimming pool must not have a volume greater than 40 kilolitres.	✓	✓	
The swimming pool must be outdoors.	✓	✓	
Outdoor Spa			
The spa must not have a volume greater than 7 kilolitres.	✓	✓	

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres
floor - suspended floor above garage	All or part of floor area

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: airconditioning ducting only; Energy rating: n/a		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning ducting only; Energy rating: n/a		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: airconditioning ducting only; Energy rating: n/a		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: airconditioning ducting only; Energy rating: n/a		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 4 of the bedrooms / study;		✓	✓
• at least 2 of the living / dining rooms;		✓	✓
• the kitchen;		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none"> all bathrooms/toilets; the laundry; all hallways; 		  	  
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.			
The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.			
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar only			
The applicant must install a timer for the swimming pool pump in the development.			
Outdoor spa			
The applicant must install the following heating system for the spa in the development (or alternatively must not install any heating system for the spa): solar (gas boosted)			
The applicant must install a timer for the spa pump in the development.			
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 5.3 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.			
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.			
The applicant must install a fixed outdoor clothes drying line as part of the development.			

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.



JCO CONSULTANTS

PREPARED FOR:

HEY UNITED PTY LTD

PROPOSED DWELLING

No.12 Mount Street, Strathfield
Flood Statement Report (REV B)

PREPARED BY

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46 Walker Street Rhodes NSW 2138



Prepared by: Jason He (CPEng NER)

Prepared date: 12 April 2022

Revision: B

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Prepared by: Jason He (CPEng NER)

Prepared date: 12 April 2022

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1 INTRODUCTION

JCO Consultants has been engaged to prepare a **Flood Statement Report** for the **Proposed Dwelling** at **No.12 Mount Street, Strathfield** in accordance with the requirements of Strathfield Council DCP. The development is proposing a new dwelling with swimming pool & basement parking to replace the existing dwelling house & carport. **This report (Revision B) is to redefine the minimum finished floor level required for Habitable Ground Floor Area, using the water depth at the building location. The flood level will be determined using the proposed ground level in addition to the flood depth from the Council flood information.**

The subject property is identified by Strathfield Council Cooks River and Cox's Creek Flood Study as being affected by overland flooding. As indicated in Figure 1.1, the natural contour of the catchment falls from the northern boundary towards the southern boundary with low lying area along eastern boundary. During major storm events, upstream overland runoff will enter the subject site from the front boundary and convey along the eastern side boundary towards the sag point in the neighbouring property (No.10 Mount Street Strathfield).

Strathfield Council has adopted the Interim Flood Prone Lands Policy. Therefore, a Flood Statement Report must be provided in accordance with this policy.

The intent of this Flood Statement Report is to ensure that:

- Site specific conditions are taken into consideration of the development with respect to flooding impacts,
- The objectives and controls of Council's Interim Flood Prone Lands Policy are appropriately addressed,
- The report is to provide assessment and recommendations to be implemented during the detailed design and construction phase.

This Flood Statement Report has been prepared specifically in accordance with Strathfield Council "Interim Flood Prone Lands Policy" and NSW Floodplain Development Manual. The aim of this Flood Statement Report is to provide an acceptable flood planning solution and ensure compliance of Council's Flood Planning Policy.



Prepared by: Jason He (CPEng NER)

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Revision: B

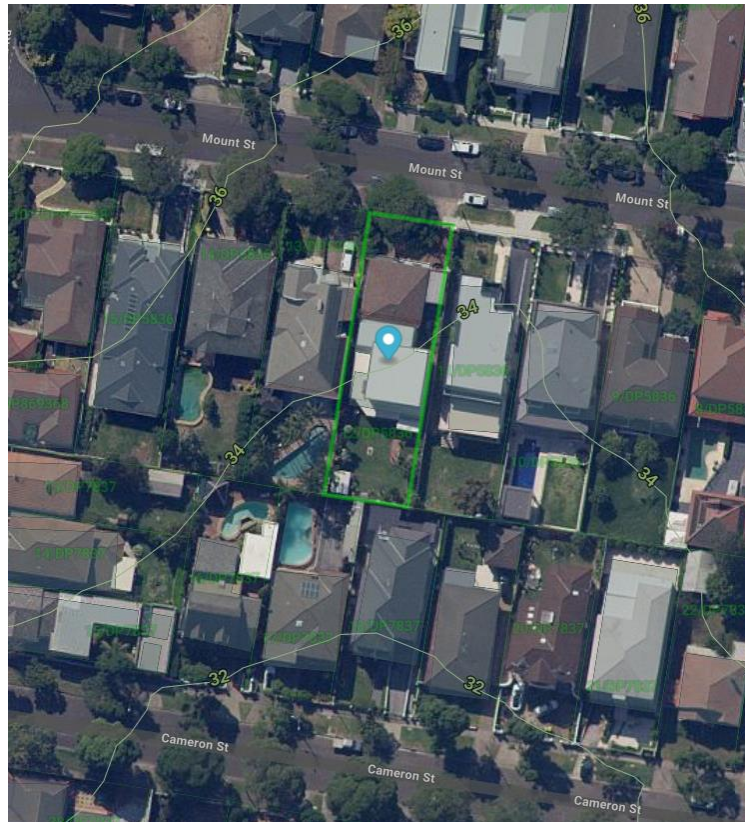


Figure 1.1 – Site Location Map

The following documents have been referred in this report:

1. Architectural plans prepared by TEXCO DESIGN, dated 11/04/2022.
2. Survey plan prepared by Tigo Surveys Pty Ltd. Ref: DP5836 dated 05/07/2021.
3. Council Flood Information Letter by Strathfield Council dated 25/05/2020.
4. Strathfield Council "Interim Flood Prone Lands Policy".

2 COUNCIL FLOOD INFORMATION

Strathfield Council policy requires that all development proposals to be carried out in accordance with the Interim Flood Prone Lands Policy". In addition, Strathfield Council has provided a site specific floodplanning information in council issued on 25th May 2021.

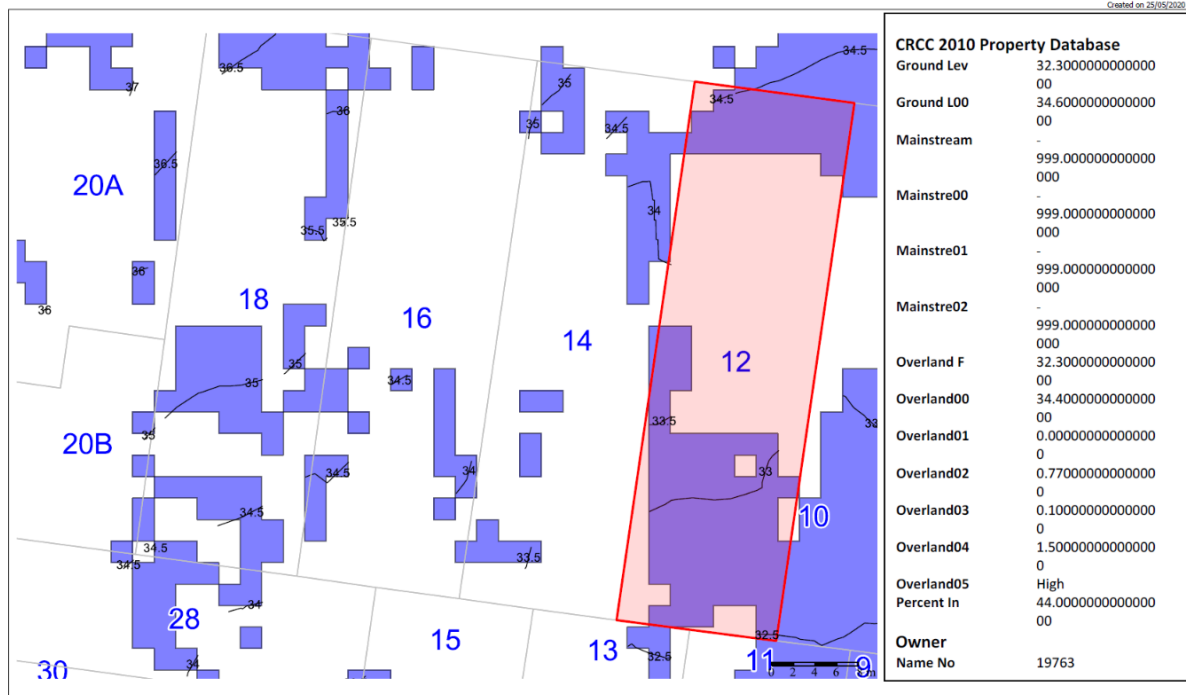


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Projection: GDA94 / MGA zone 56

Date: 25/05/2020

Created By: Samuel Luyang

**12 Mount Street,
Strathfield**

Map Scale: 1:400

Figure 2 – Council Flood Information



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Prepared date: 12 April 2022

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3 DESCRIPTION OF THE FLOOD REGIME

The flood mapping provided by council in the flood information letter shows that the site is affected by overland flooding while upstream flow exceeds existing capacity of council drainage system located at the frontage of the subject property. The sag Kerb Inlet Pit of the entire catchment locates at the frontage of the neighbouring property (10 Mount Street, Strathfield).

The depth of flooding has been noted within Councils Flood Information Letter to be at RL34.5 at the front boundary and RL32.50 at the rear boundary of the subject property. **The depth of flooding varies from approximately 110mm at the front to 100mm deep at the rear the site.**

4 STRATHFIELD COUNCIL 'INTERIM FLOOD PRONE LANDS POLICY' REQUIREMENTS

4.1 Flood Planning Level

Council Requirements: *All developments must be designed so that habitable floors are at least 500mm above the 1 in 100 year flood level and non-habitable floors are no lower than the 1 in 100 year flood level. However, the fact that a development is designed to comply with the floor levels does not guarantee approval unless it can be demonstrated that there will be no adverse impact on overland flow paths.*

From the information provided by Council, flood level is lacking at the building location, hence the corresponding flood information was interpolated based on the flood depth plus the ground levels. **The flood level at the front entry (stairs) can be defined as Ground Level RL33.92 + flood depth 110mm = RL34.03mAHD.** Hence, the **upper habitable floor level** has been set to be **minimum RL 34.53mAHD** which is 500mm above the 1 in 100 year ARI adopted flood level (**RL 34.03mAHD**).

The **lower habitable floor level** has been set to be **minimum RL 34.055mAHD which is a 500mm freeboard + Ground Level 33.445mAHD + 110mm flood depth = RL 34.055mAHD.**

The **non-habitable finished floor level** in this case is the proposed rear Terrace & Sauna are to be minimum 1 in 100 year ARI flood level **RL 33.00mAHD**. The adopted level for the terrace of RL34.10 and the Sauna of RL33.05 is above 1 in 100 year ARI flood level.

The proposed **driveway crest level** is set to **RL 34.55mAHD** which is **150mm** above flood level (**RL34.40mAHD by interpolation**) to provide flood protection to prevent flood water from entering the basement.

With reference to the Architectural Plans prepared by TEXCO DESIGN (refer to Appendix A), the proposed habitable floor level and non-habitable floor levels meet the freeboard planning requirements.

The overall Flood Mitigation Measures are presented in Figure 4.1.



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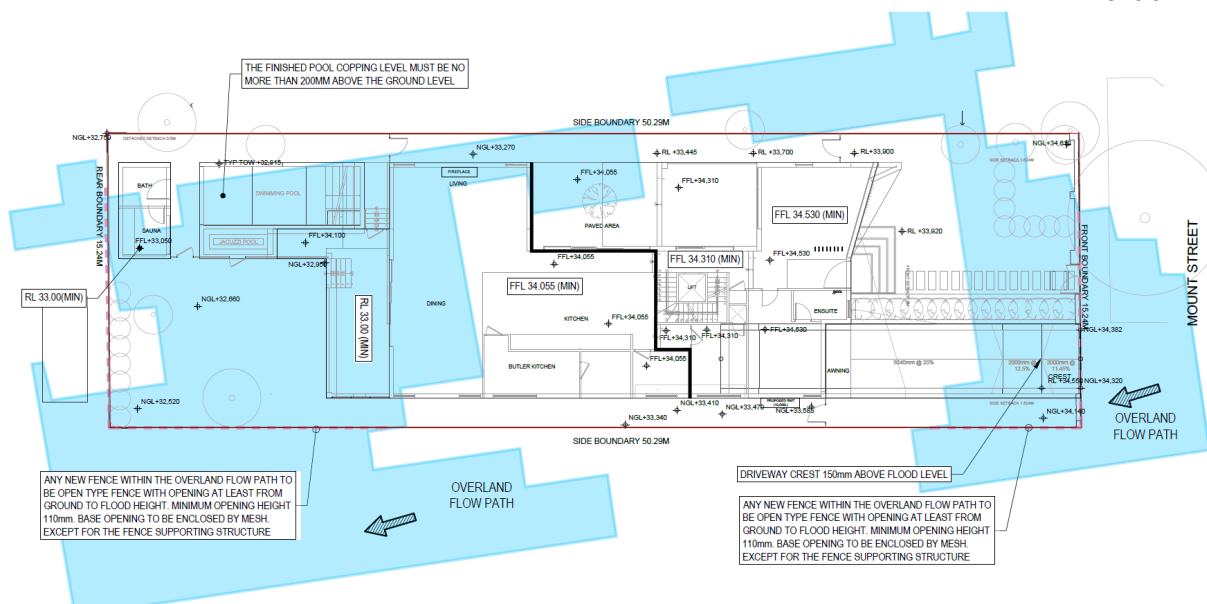


Figure 4.1: Flood Mitigation Measures

4.2 Building Work

Council Requirements: *Where an existing dwelling is demolished and a new dwelling proposed, the following shall apply:*

- (a) *Where the overland flow path is along the block (from front to rear or rear to front) the buildings shall be set back at least 3m from the boundary on the low side of the block to allow an overland flow path. The new building should have a footprint no bigger than the building it replaces.*
- (b) *Where the overland flow path is across the block (from side to side) the new building shall be no bigger than the footprint of the existing building.*

The overland flooding flows along the eastern boundary after flood water overtopping the front kerb line on Mount Street. The flow of water travels from the front of the subject property to the rear.

The subject property does not locate at the sag point of the catchment and the existing house has only 800mm side setback from the eastern boundary. (Refer to Survey Plan in Appendix A Figure A.1) In post-development, the proposed building footprint has 1.5m side setback from the eastern boundary providing additional capacity for overland flow path.

As such, the increased side setback (from existing 800mm to proposed 1.5m) along with the front and rear setbacks ensure the proposal will not impede the flow of flood water, and will not create nuisance or increase flooding on neighbouring properties.



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4.3 Garages and Carports

Council Requirements: *Garages may be incorporated in the front of the dwelling house where the floor level of the garage is not more than 500mm above ground level measured on the street frontage.*

- (1) *Any ramp giving access to the garage must be at a minimum slope of 1 in 5 and be not longer than 50% of the building setback distance.*
- (2) *No alterations of the ground levels shall be permitted outside the ramp*

The natural boundary level at the driveway location is RL34.32 and the proposed driveway crest, is set at RL34.55 which is less than 500mm above the street frontage. Driveway crest level at **RL34.55** also provides **150mm freeboard above 1 in 100 year flood level (RL34.40m AHD by interpolation)** to prevent water from entering the basement. The basement is to be fully tanked and watertight, designed by a qualified structural engineer. No window/opening is permitted on basement wall.

No filling is proposed outside of the driveway ramp. Ground level adjacent to the driveway ramp at the eastern side is remain at existing level RL34.14m AHD.

Therefore, this item is considered satisfactory.

4.4 Swimming Pools

Council Requirements: *Swimming pools must be located where possible out of the direct line of the overland flowpath and to be not more than 200mm above the ground level. Swimming pool pumps should be located in an existing outbuilding so that the pump and all electrical connections are above the 1 in 100 year flood level.*

The pool is located partially outside of 1 in 100 year flood extent and positioned on the high side of the flow path. The pool finished level is proposed to be at **RL32.915** which is **less than 200mm above the existing ground level (RL32.90)**. In addition, all the pumps and pool electrical equipment will be stored in the basement level which will be protected by the proposed driveway crest level (150mm freeboard above flood level). The basement will be constructed by flood compatible material with water proofing installation to ensure no water ingress. Therefore, this item is considered as satisfactory.



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4.5 Fencing

Council Requirements: *All fencing and gates across driveways shall be designed so as not to impede the overland flow path. As a guide, fences should be of an open type at least from ground level to the flood height. Consideration may be given to fencing being hinged providing the hinge opens in the direction of water flow and there are no structures, including plants, trees or garden beds, which would impede such opening.*

All proposed gates and fences located within the flood area shall be permeable with opening to 1 in 100 year ARI flood level in order to allow water to freely pass through. Minimum base opening of the fence to be 110mm from the ground level. No filling is permitted within flood extent. Refer to Figure 4.1 – Flood Mitigation Measures for fence location.

4.6 Building Components & Structural Soundness.

The proposed habitable floors are set to be 500mm above the 1 in 100 year ARI flood level. All building components below this level are to be all weather materials comprising of bricks and concrete to structural engineering details. In addition, the proposed buildings are subject to structural engineer design to ensure it could withstand the force of flood water.

All electrical installations (e.g.: air-conditioning, hot water units) and gas meters to be located above the 100 year ARI flood level plus 500mm freeboard.

4.7 Evacuation Strategy

As evacuating through the floodwaters outside the dwelling may present a higher risk of danger, Evacuation should only be undertaken BEFORE THE STORM EVENT or on instruction by SES, Police or other authorities. Flood warning and the implementation of evacuation procedures by the SES are widely used throughout NSW.

For storms up to the 1 in 100 year ARI, all occupants are to remain within the proposed dwelling, due to the proposed elevated level, and the short length of time of concentration. Evacuation during flooding may be quite dangerous and would NOT be recommended. In the event of a probable maximum flood (PMF), early evacuation is paramount. All residents to seek refuge on higher grounds and as directed by authorities.

With reference to the Architectural Plans (refer to Appendix A), the proposed habitable floor level has been set to Flood Planning Level (500mm freeboard above corresponding flood level) and the First Floor Level RL 37.45mAHD is significantly higher than 1 in 100 year ARI Flood Level and the possible PMF Flood Level. Therefore, in the event of off-site evacuation is not possible, residents should stay at First Floor and wait for rescue.

5 CONCLUSION

It is concluded above assessment that the proposed developments on No.12 Mount Street, Strathfield generally comply with the requirements in Councils Interim Flood Prone Lands Policy and Strathfield Councils Flood Guidelines, provided that the mitigation measures and recommendations in this report are implemented.



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Prepared date: 12 April 2022

Revision: B

APPENDIX A

Survey, Site Plan & Architectural Plans

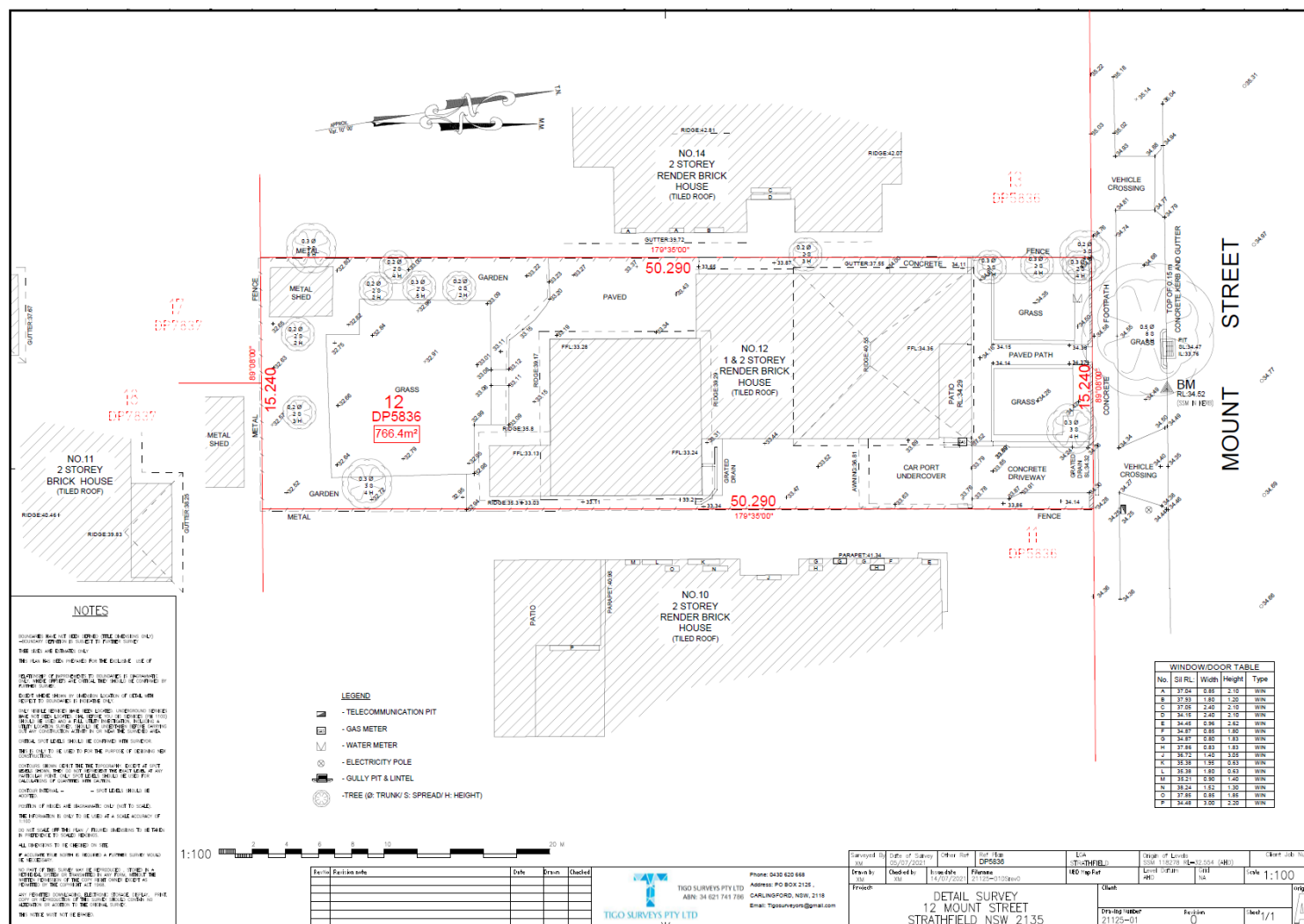


Figure A.1: Survey Plan

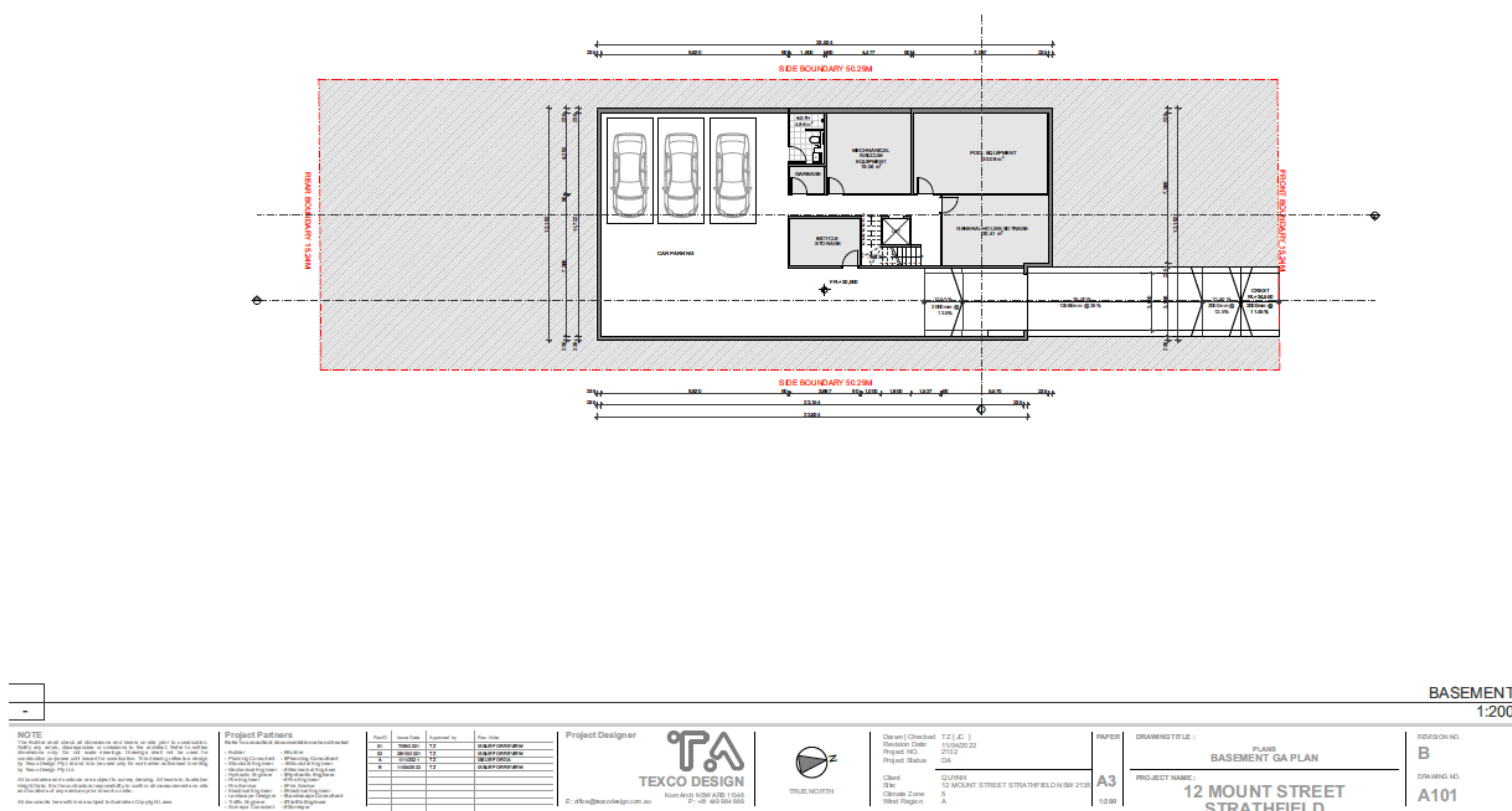


Figure A.2: Proposed Basement Plan

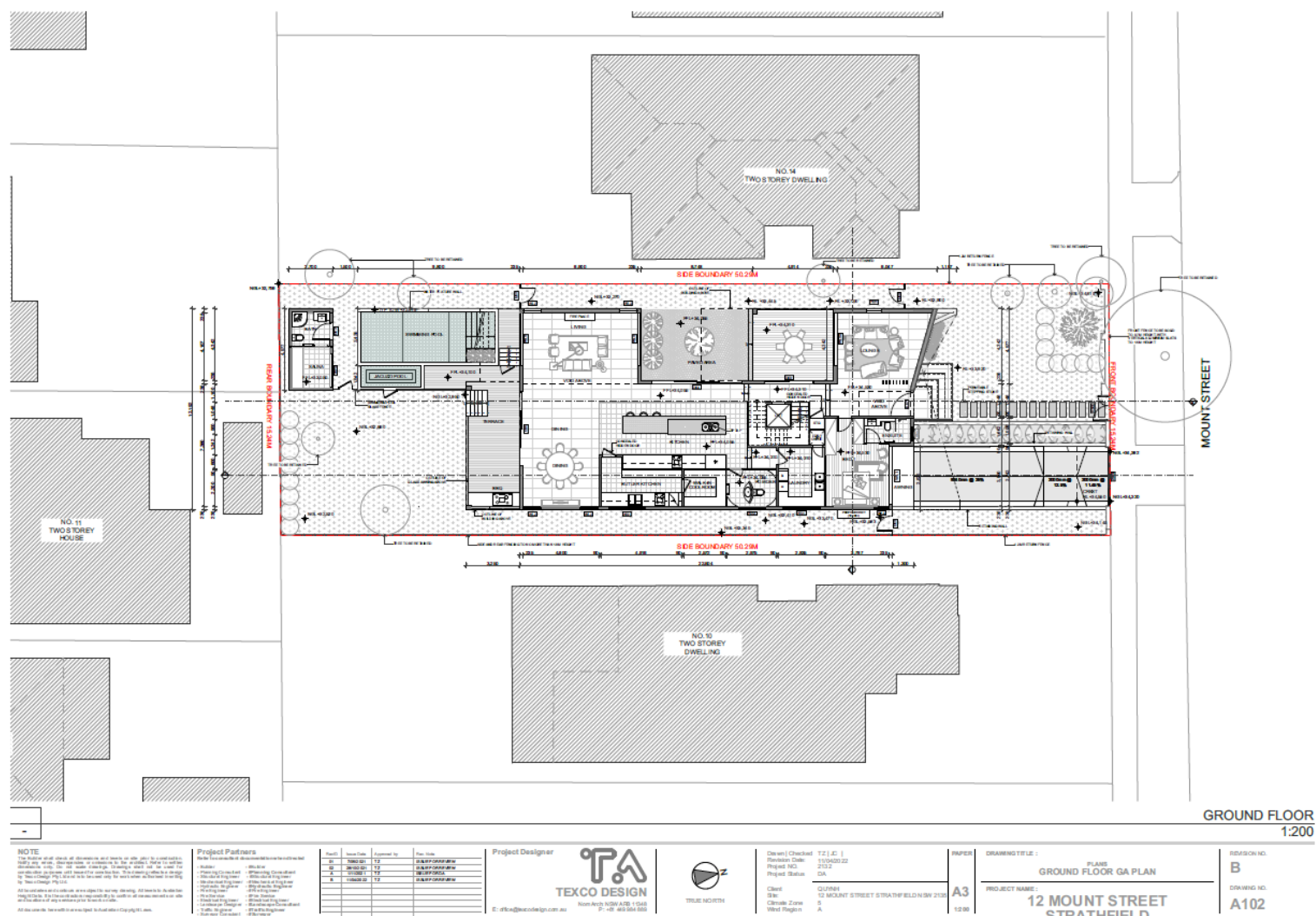


Figure A.3: Proposed Ground Floor Plan

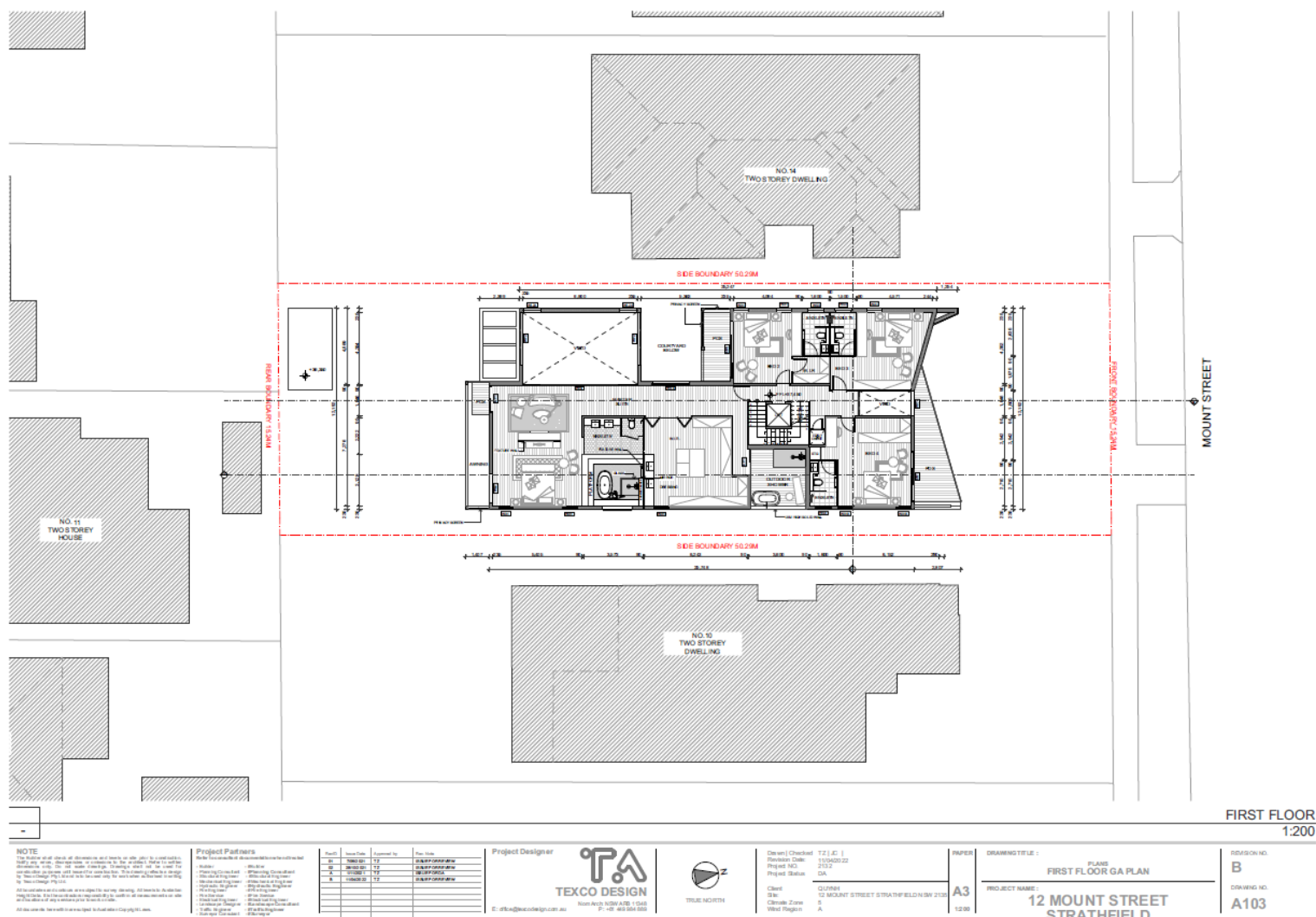
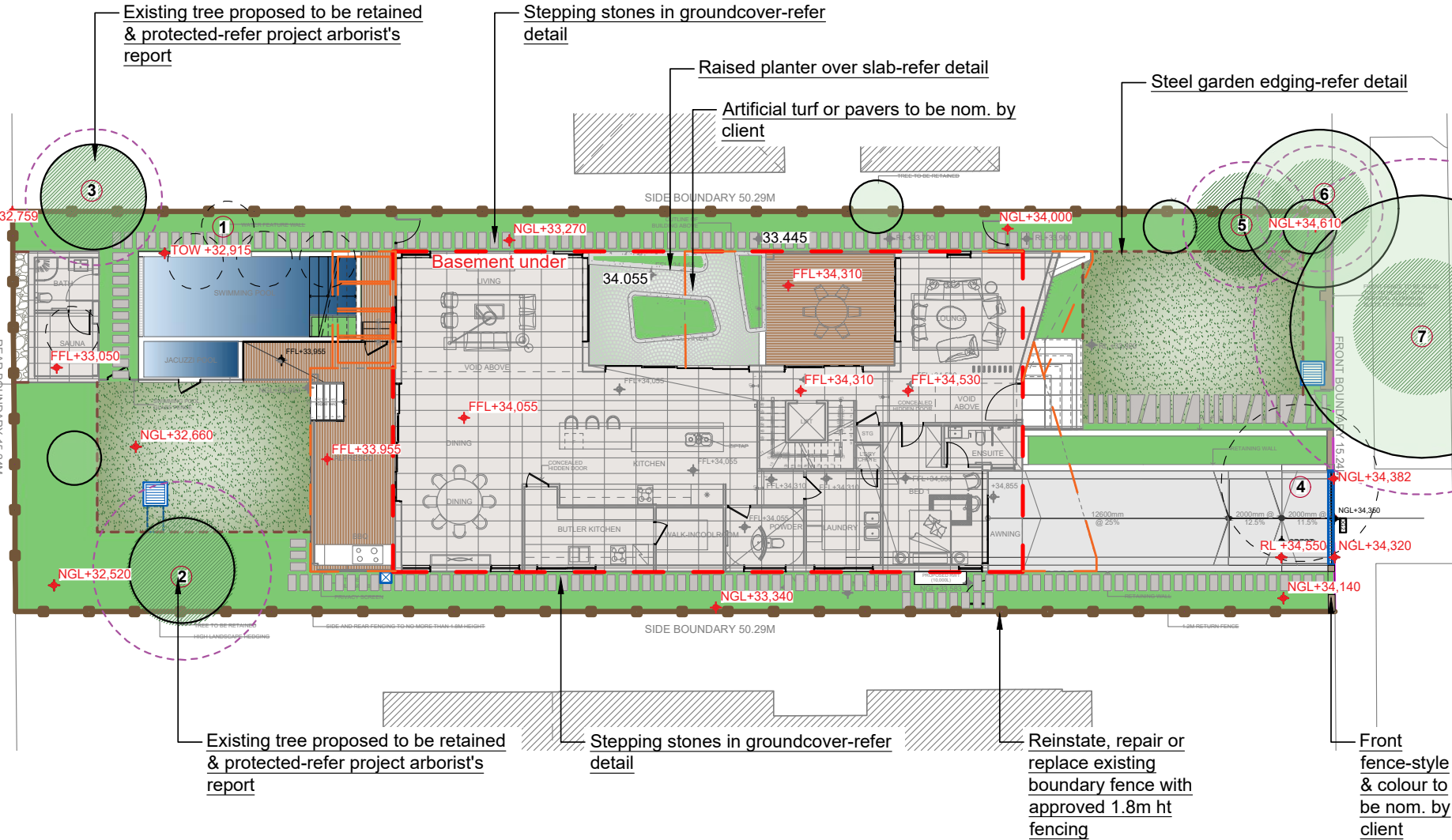


Figure A.4: Proposed First Floor Plan



LOCATION PLAN
Scale: NTS



LANDSCAPE CALCULATIONS

-REFER ARCHITECTURAL DRAWING NO. A008

SITE AREA: 766.44m²

REQUIRED LANDSCAPE AREA: 329.56m² (43%)

PROPOSED LANDSCAPE AREA: 329.81m² (43%)

REQUIRED 50% OF THE MINIMUM LANDSCAPED AREA SHOULD BE LOCATED BEHIND THE BUILDING LINE TO THE REAR BOUNDARY: 164.78m²
PROPOSED LANDSCAPED AREA AT THE REAR: 208.1m² (63.1%)
REQUIRED 50% OF THE FRONT YARD SHOULD BE MAINTAINED AS DEEP SOIL
SOFT LANDSCAPING = 87.465m²
PROPOSED FRONT YARD TOTAL AREA: 174.93m²
PROPOSED FRONT YARD LANDSCAPED AREA: 121.71m² (69.5%)

HARDSCAPE ITEMS

- Steel garden edging - refer detail
- Garden bed - refer landscape design plan
- Turf area - refer detail
- Artificial turf or pavers to be nom. by client- artificial turf refers to typical detail
- Stepping stones in groundcover - refer detail
- Decorative gravel to be nom. by client
- Retaining / raised planter wall - refer detail
- 1.8m Gate and fence - colour and style to be nom. by client
- Safety balustrade- colour and style to be nom. by client
- Front fence- colour and style to be nom. by client
- Trees proposed to be removed and replaced with new landscaping
- Existing trees proposed to be retained and protected
- Trees Protection zone
- Source root zone

TREE SURVEY

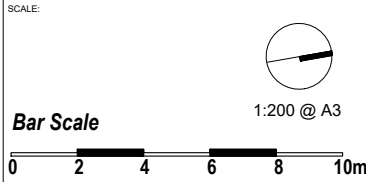
Existing Trees based on Arborists Report by Liam Strachan prepared on 25.10.21

No.#	Species	Size (Ht x Sp)	Condition	Action
1	Macadamia tetraphylla	6x2	Good	Remove
2	Mangifera indica	6x4	Fair	Retain & protect
3	Syagrus romanzoffiana	8x4	Good	Retain & protect
4	Fraxinus giffithii	6x6	Good	Remove
5	Prunus species	5x2	Fair	Retain & protect
6	Murraya paniculata	5x6	Good	Retain & protect
7	Lophostemon confertus	12x10	Fair	Retain & protect

DRAWING SCHEDULE

SHEET #	DRAWING TITLE	REV.
/1	HARDSCAPE PLAN	C
/2	LANDSCAPE PLAN	C
/3	DETAILS	C
/4	DETAILS	C
/5	DESIGN INTENT IMAGES	C
/6	SPECIFICATION	C

General Notes:
Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF'd plans may vary slightly in scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.
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These plans and associated IP remain the property of Sulphurest Enterprises (T/A Concept) until such time as all agreed payments are made in full. We retain the right to withdraw this information from the assessment process if such payments are not made following the notification period.



REV	DATE	NOTATION/AMENDMENT
A	03.11.2021	Preliminary plan prepared for review
B	11.11.2021	Issued for DA
C	31.5.2022	Co-ordinated with amended architectural plan

COUNCIL	STRATHFIELD
CLIENT	QUYNH
ARCHITECT	TEXCO DESIGN
STATUS / ISSUE	DA - ISSUE C




TITLE: HARDSCAPE PLAN
PROPOSED RESIDENTIAL DEVELOPMENT
12 MOUNT STREET
STRATHFIELD


DWG No:	LPDA 22 - 168 / 1
DATE:	MAY 2022
DRAWN:	K.Z
CHECKED:	R.F


LEGEND & SCHEDULE

NOTES:
1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR.
2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT.
3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS.
4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS
5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS.
6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

TREES


- 


Botanical Name: *Magnolia 'Little Gem'*
Common Name: Magnolia Little Gem (Exotic)
Pot size: 75Lt
Mature H x S: 4.5m x 1.5-2m
Qty Required: 3
- 


Botanical Name: *Waterhousea floribunda*
Common Name: Weeping Lilly Pilly (Native)
Pot size: 75Lt
Mature H x S: 10m x 6m
Qty Required: 1
- 


Botanical Name: *Acer palmatum 'Ariadne'*
Common Name: Japanese maple (Exotic)
Pot size: 75Lt
Mature H x S: 3m x 4m
Qty Required: 1


SHRUBS AND HEDGES

- 

Botanical Name: *Buxus japonica*
Common Name: Japanese box (Native)
Pot size: 200mm
Mature H x S: 1m x 0.7m
Qty Required: 8
- 


Botanical Name: *Syzygium australe 'Pinnacle'*
Common Name: Pinnacle Lilly Pilly (Native)
Pot size: 300mm
Mature H x S: 6-8m x 1-1.5m
Qty Required: 86
- 


Botanical Name: *Syzygium 'Resilience'*
Common Name: Resilience Lilly Pilly (Native)
Pot size: 200mm
Mature H x S: 3m x 2m
Qty Required: 15
- 


Botanical Name: *Correa alba*
Common Name: White Correa (Exotic)
Pot size: 200mm
Mature H x S: 1-1.5m x 1-1.5m
Qty Required: 3
- 


Botanical Name: *Lavandula dentata*
Common Name: French Lavender (Exotic)
Pot size: 200mm
Mature H x S: 1m x 0.8m
Qty Required: 10

ACCENT PLANTS


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
Botanical Name: *Agave 'Blue Glow'*
Common Name: Blue Glow Agave (Exotic)
Pot size: 200mm
Mature H x S: 0.6m x 0.75m
Qty Required: 2
- 

Botanical Name: *Strelitzia juncea*
Common Name: Rush-leaved Strelitzia (Exotic)
Pot size: 200mm
Mature H x S: 1.5m x 1m
Qty Required: 14
- 

Botanical Name: *Yucca elephantipes*
Common Name: Spineless Yucca (Exotic)
Pot size: 300mm
Mature H x S: 3m x 0.9m
Qty Required: 5
- 


Botanical Name: *Philodendron 'Xanadu'*
Common Name: Xanadu Plant (Exotic)
Pot size: 200mm
Mature H x S: 0.7m x 0.7m
Qty Required: 11

- 


Botanical Name: *Phormium tenax 'Bronze Warrior'*
Common Name: BW New Zealand Flax (Native)
Pot size: 300mm
Mature H x S: 1.5m x 0.9m
Qty Required: 4
- 


Botanical Name: *Arthropodium cirratum*
Common Name: New Zealand Rock Lily (Native)
Pot size: 150mm
Mature H x S: 0.8m x 1m
Qty Required: 5


GRASSES / GROUND COVERS

- 

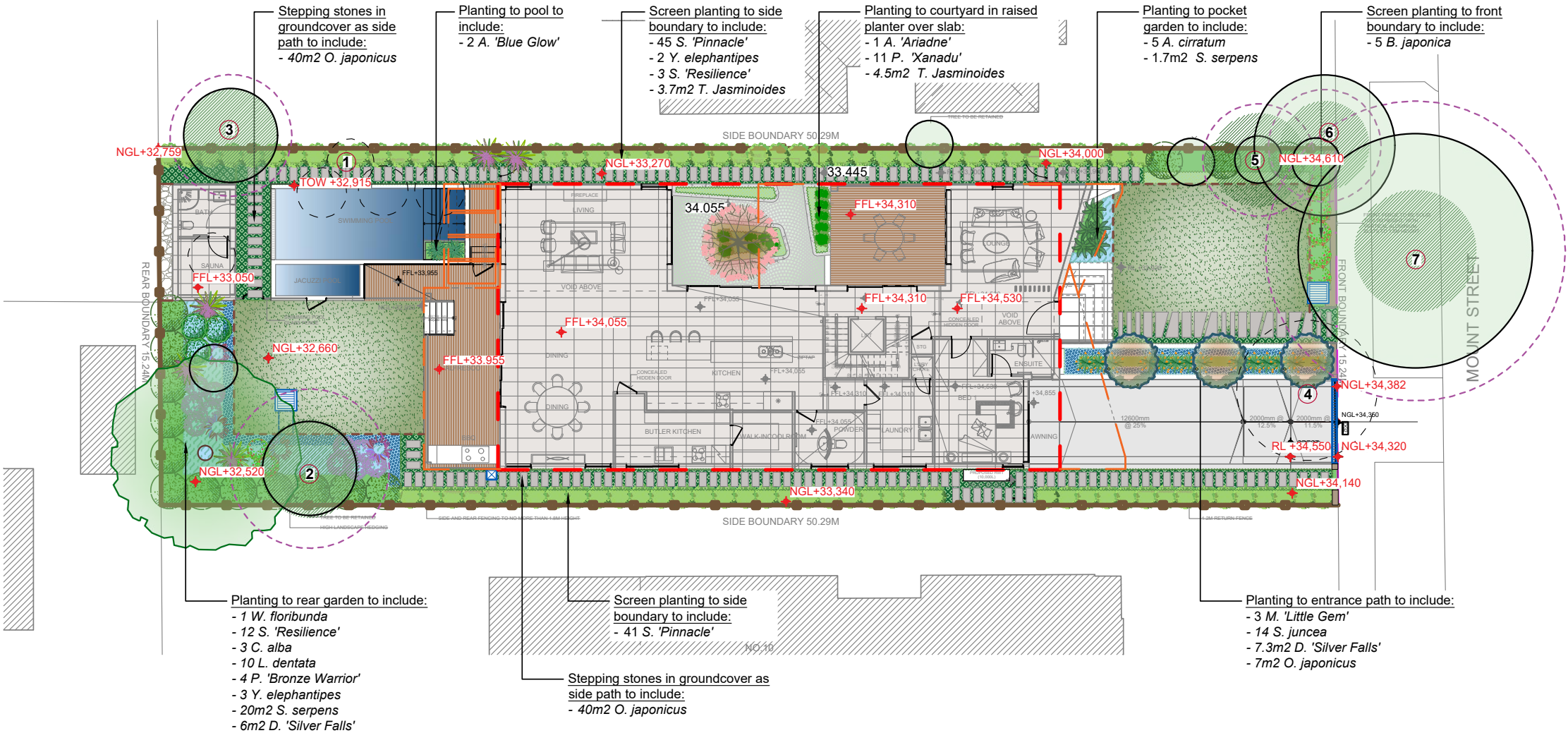
Botanical Name: *Ophiopogon japonicus*
Common Name: Mondo grass (Native)
Pot size: 100mm
Mature H x S: 0.2m x 0.2m
Qty Required: 9/m2 (17m2 total)

- 

Botanical Name: *Senecio serpens*
Common Name: Blue Chalk sticks (Exotic)
Pot size: 140mm
Mature H x S: 0.2m x 0.4m
Qty Required: 5/m2 (21.7m2 total)
- 

Botanical Name: *Trachelospermum Jasminoides*
Common Name: Star Jasmine (Exotic)
Pot size: 140mm
Mature H x S: 0.3m x 0.6m
Qty Required: 5/m2 (8.2m2 total)
- 

Botanical Name: *Dichondra argentea 'Silver Falls'*
Common Name: Silver Falls Dichondra (Exotic)
Pot size: 140mm
Mature H x S: 0.15m x spreading
Qty Required: 9/m2 (13.3m2 total)



DRAINAGE PITS AND DRAINAGE LINES SHOULD BE LOCATED WITHIN GARDEN AREAS TO ALLOW FOR SITE DRAINAGE WHILE MINIMISING IMPACT ON THE PROPOSED PLANTING SCHEME. WHERE POSSIBLE, PITS AND LINENWORK SHOULD BE LOCATED AT THE EDGE OF LANDSCAPE STRIPS TO AVOID PRECLUDING PLANTING CENTRALLY IN GARDEN AREAS. WHERE PITS AND LINENWORK OCCUR WITHIN GARDEN BEDS, THE LANDSCAPE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID DAMAGING STORM WATER WHEN PLANTING SHRUBS AND TREES. LANDSCAPE CONTRACTORS SHALL NOT ALTER THE FORM OF SWALES DESIGNED TO DIRECT OVERLAND FLOW.

AN AUTOMATED COMMERCIAL GRADE IRRIGATION SYSTEM SHALL BE PROFESSIONALLY INSTALLED TO ALL GARDEN AREAS, INCLUDING RAISED PLANTERS, UPPER FLOOR PLANTERS AND GARDENS IN NATURAL GROUND. THE SYSTEM SHALL BE DESIGNED AND INSTALLED IN LINE WITH THE IRRIGATION PERFORMANCE SPECIFICATION, BY A LICENCED CONTRACTOR OR LANDSCAPER. THE LICENCED CONTRACTOR SHALL PREPARE AN 'AS BUILT' PLAN OF THE SYSTEM TO THE SUPERINTENDENT FOR STRATA RECORDS, FOR FUTURE MAINTENANCE.

LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

This plan has been prepared for Development Application approval only, not for construction.

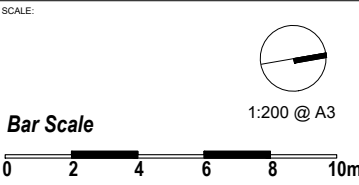
This plan has been prepared with reference to **Strathfield Council** Landscaping Guidelines & requirements. Planting proposed using mainly indigenous, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant Selector" web site one-drip rated native plants

(acceptable for BASIX planting).

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.

DA approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. **Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.**

General Notes:
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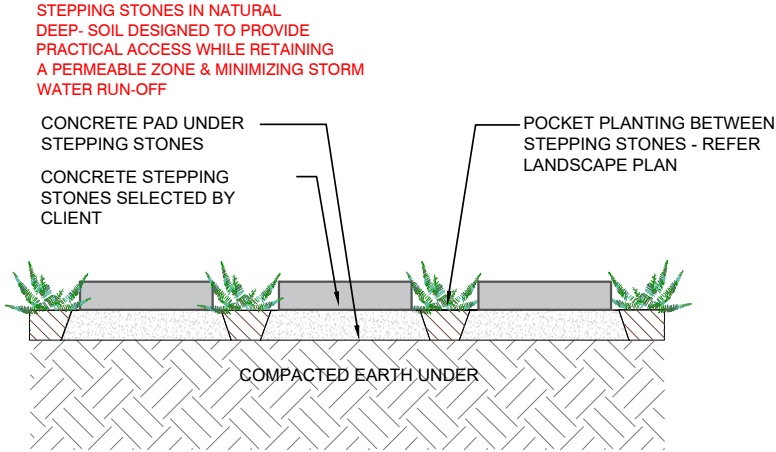
REV	DATE	NOTATION/AMENDMENT
A	03.11.2021	Preliminary plan prepared for review
B	11.11.2021	Issued for DA
C	31.5.2022	Co-ordinated with amended architectural plan

COUNCIL	STRATHFIELD
CLIENT	QUYNH
ARCHITECT	TEXCO DESIGN
STATUS / ISSUE	DA - ISSUE C

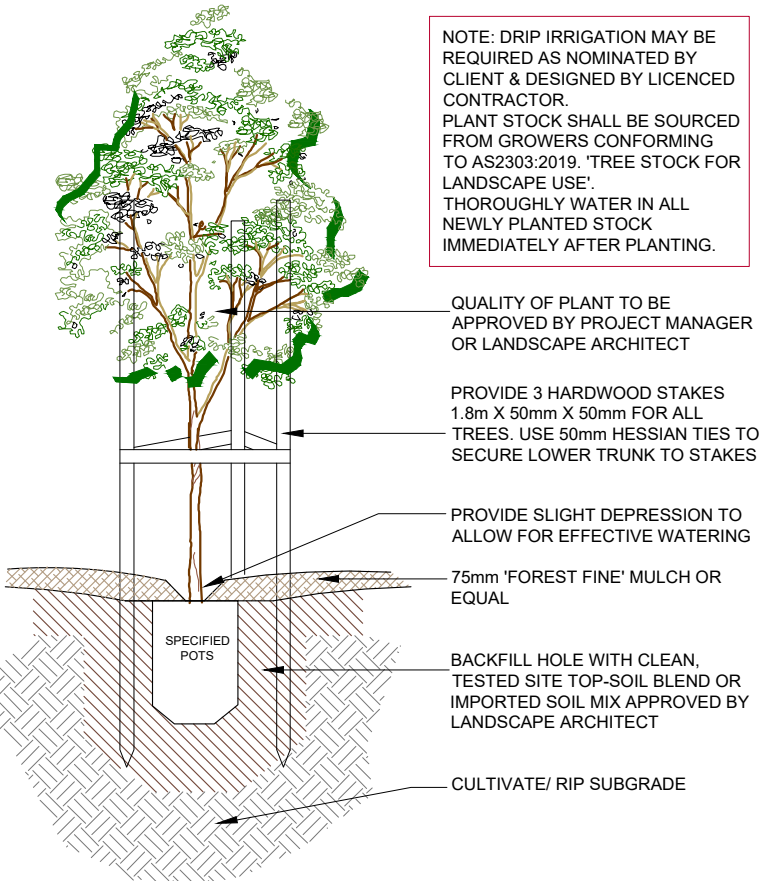


TITLE: LANDSCAPE PLAN
PROPOSED RESIDENTIAL DEVELOPMENT
12 MOUNT STREET
STRATHFIELD

DWG No:	LPDA 22 - 168 / 2
DATE:	MAY 2022
DRAWN:	K.Z
CHECKED:	R.F

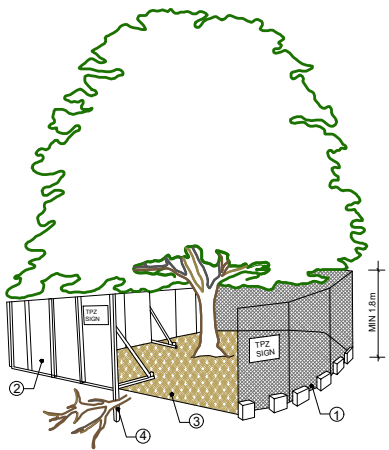


STEPPING STONES IN GROUNDCOVER PLANTING
SCALE 1:10



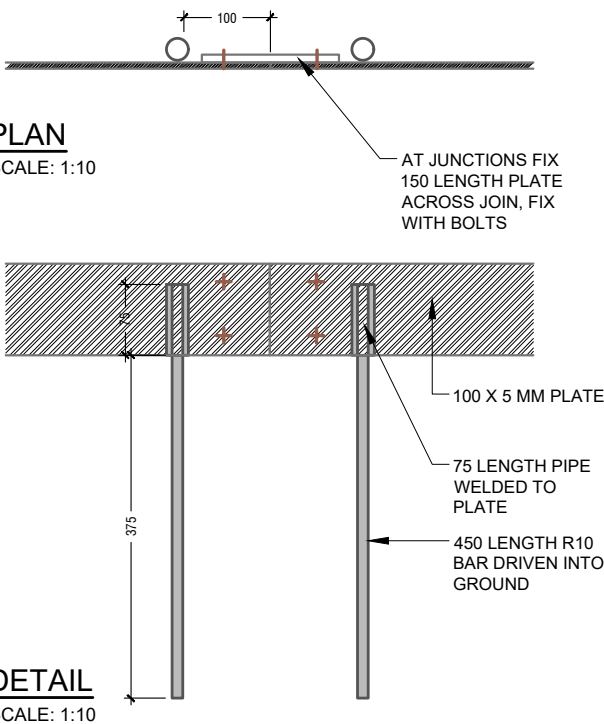
TREE PLANTING DETAIL
SCALE: NTS

(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)

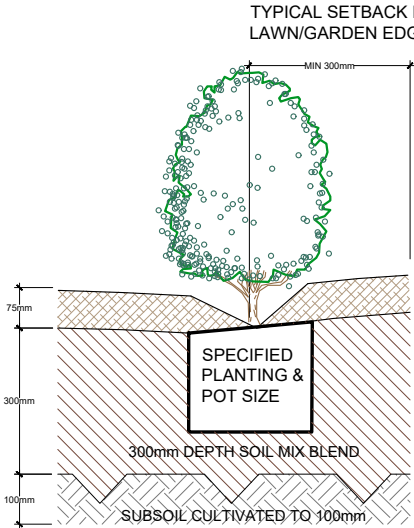


PROVIDE FENCING AS DETAILED TO ALL TREES PROPOSED TO BE RETAINED ON THE SUBJECT SITE. FENCING TO BE LOCATED TO THE DRIP LINE OF TREES OR AS INDICATED ON PLANS OR DIRECTED ON-SITE BY ARBORIST. NO STOCKPILING WITHIN FENCE PERIMETERS.

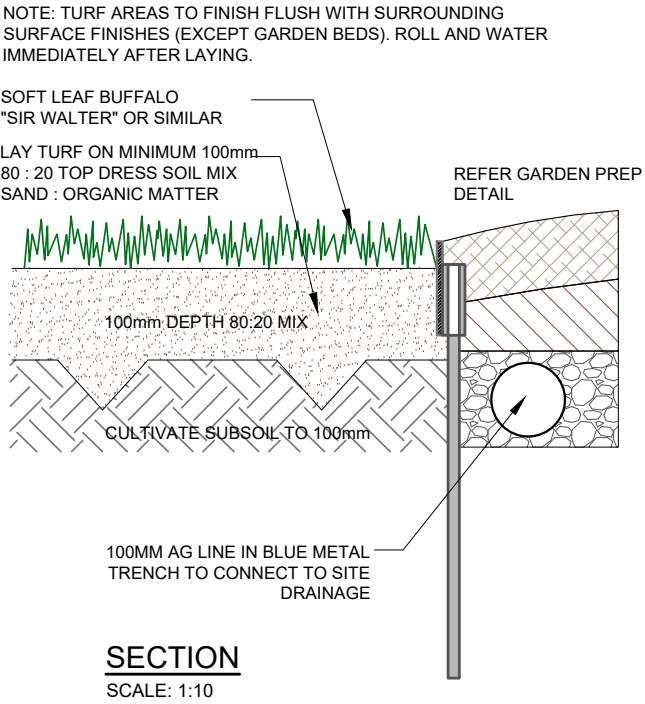
TREE PROTECTION ZONE
N.T.S



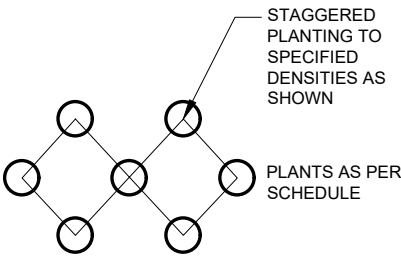
STEEL EDGE DETAIL
SCALE: 1:10



TYPICAL GARDEN PREPARATION DETAIL
SCALE 1:10



SECTION
SCALE: 1:10



MASS PLANTING SETOUT
N.T.S

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CLIENT	QUYNH
ARCHITECT	TEXCO DESIGN
STATUS / ISSUE	DA - ISSUE C



TITLE: DETAILS
PROPOSED RESIDENTIAL DEVELOPMENT
12 MOUNT STREET
STRATHFIELD

DWG.No:	LPDA 22 - 168 / 3
DATE:	MAY 2022
DRAWN:	K.Z
CHECKED:	R.F



OVERFLOW
(TO SUPPLIER'S SPECIFICATION)

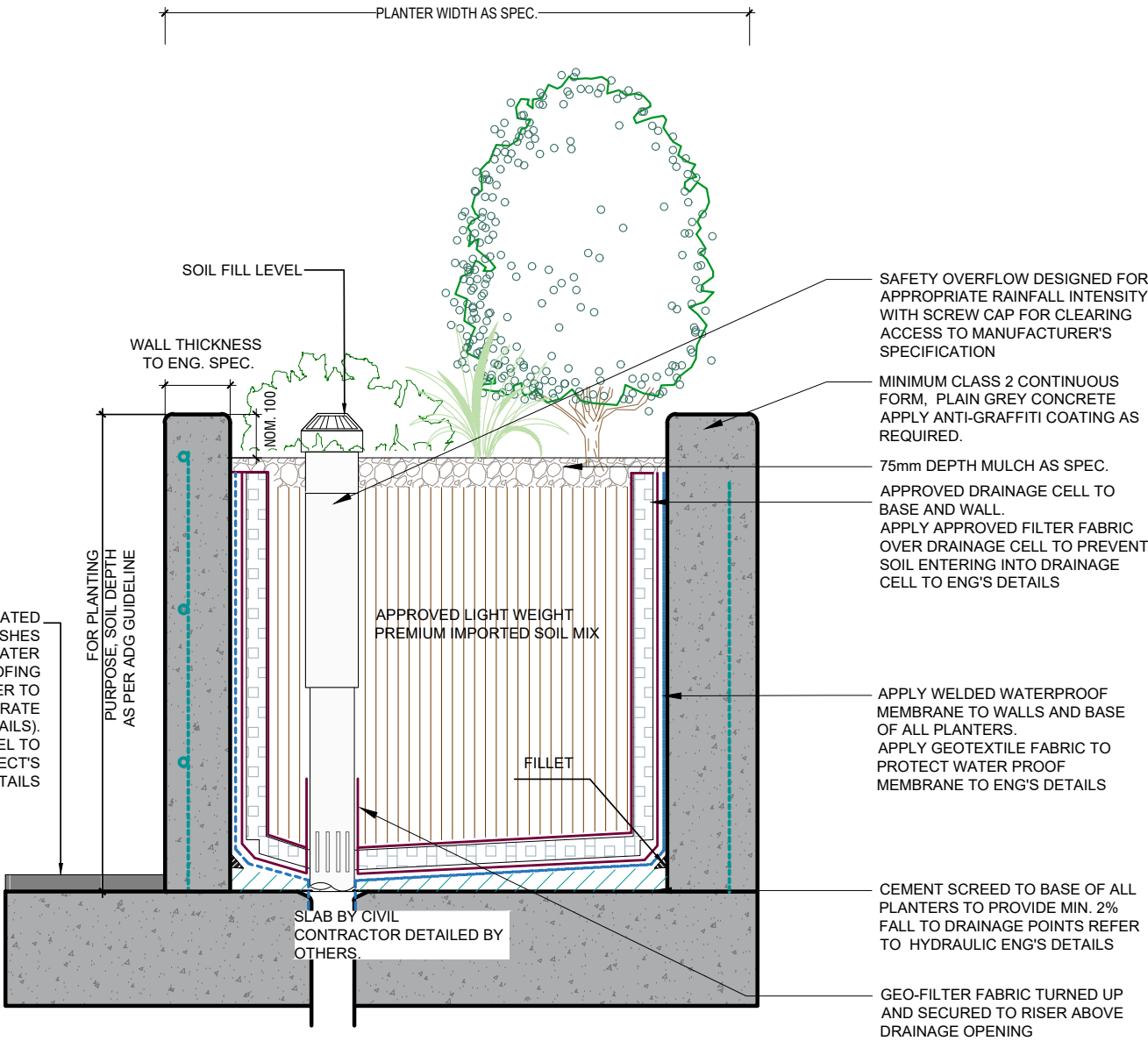
NOTE (BCA COMPLIANCE).
WHERE NO EXTERNAL BALUSTRADE IS PROPOSED. THE INTERNAL PLANTER WALL FACE MUST BE NON-CLIMBABLE TO A HEIGHT TO MEET AS & BCA COMPLIANCE.

NOTE.(DRAINAGE & WATER PROOFING).
DRAINAGE PITS AND LAYOUT TO BE NOMINATED BY HYDRAULIC ENGINEER TO WORK WITH STRUCTURAL DESIGN AND LANDSCAPE.

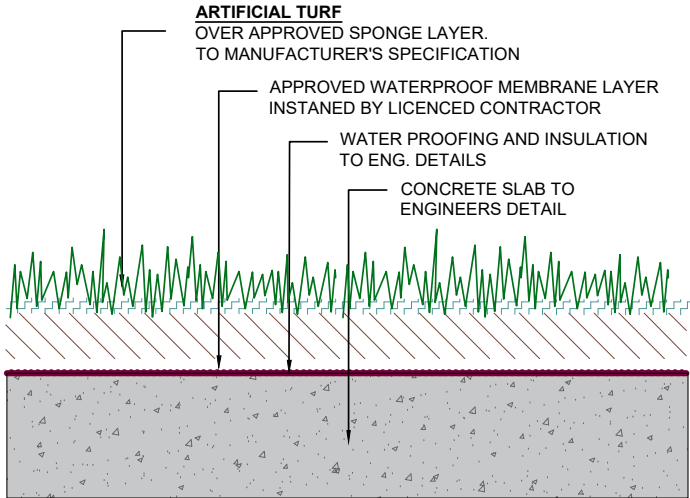
THE WATERPROOFING, APPROVED DRAINAGE CELL AND SPECIFIED GEOFABRIC LAYER IN THIS DETAIL ARE INDICATIVE ONLY AND SHOULD BE DETAILED BY THE RELEVANT PROFESSIONAL ENGINEER 'FOR CONSTRUCTION'.

UNDER THE CONSTRUCTION PRACTITIONER BILL, STRUCTURAL WATER-PROOFING SHALL BE DOCUMENTED BY A HYDRAULIC ENGINEER

NOMINATED SURFACE FINISHES & WATER PROOFING (REFER TO SEPARATE DETAILS). FINISHED LEVEL TO ARCHITECT'S DETAILS



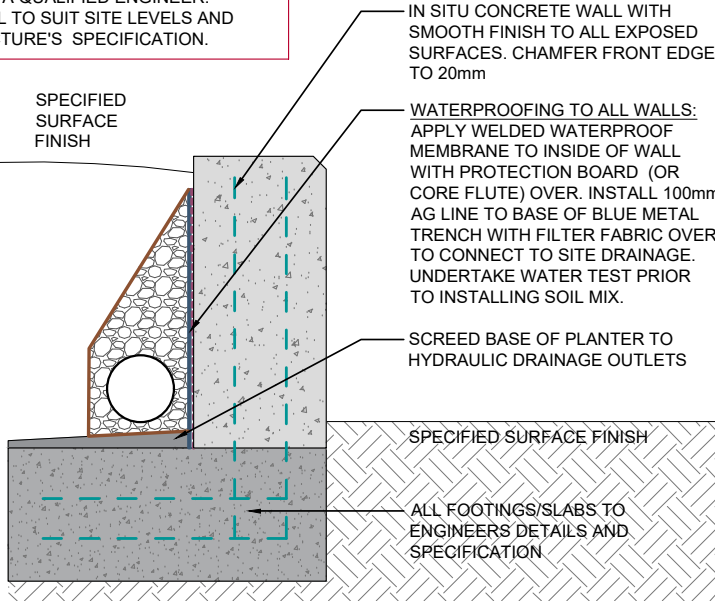
INSITU CONCRETE PLANTER ON SLAB DETAIL
SCALE: 1:15



*ALL ARTIFICIAL GRASS INSTALLED BY MANUFACTURE'S SPEC & DETAIL

SYNTHETIC TURF ON SLAB
SCALE: n.t.s

NOTE: TYPICAL DETAIL ONLY. ALL WALLS WHICH FORM PART OF DRAINAGE WORKS MUST BE BUILT AS DETAILED BY THE HYDRAULIC ENGINEER. ALL WALLS EXCEEDING 1m HEIGHT SHALL BE DETAILED BY A QUALIFIED ENGINEER. INSTALL WALL TO SUIT SITE LEVELS AND TO MANUFACTURE'S SPECIFICATION.



TYPICAL IN SITU CONCRETE RETAINING
WALL DETAIL
SCALE 1:10

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CLIENT	QUYNH
ARCHITECT	TEXCO DESIGN
STATUS / ISSUE	DA - ISSUE C



TITLE: DESIGN INTENT IMAGES
PROPOSED RESIDENTIAL DEVELOPMENT
12 MOUNT STREET
STRATHFIELD

DWG No:	LPDA 22 - 168 / 4
DATE:	MAY 2022
DRAWN:	K.Z
CHECKED:	R.F

PLANT PALETTE



Waterhousia floribunda



Magnolia 'Little Gem'



Acer palmatum 'Ariadne'



Yucca elephantipes



Mixed grass



Dichondra argentea 'Silver Falls'



Strelitzia juncea



Senecio serpens



Agave 'Blue Glow'



Phormium tenax 'Bronze Warrior'



Philodendron 'Xanadu'



Syzygium 'Resilience'



Lavandula dentata



Tropical: Lavandula & Correa & Buxus

SAMPLE IMAGES



Stepping stones in turf



Stepping stones in groundcovers



Corten steel garden edging

IMAGES ARE FOR DESIGN INTENT ONLY, FINAL PLANTING SPECIES & PRODUCTS MAY VARY, AS DETERMINED BY COUNCIL APPROVAL. PROPRIETARY ITEMS REFER TO MANUFACTURER'S SPECIFICATION. IMAGES FROM VARIOUS SOURCES.

LANDSCAPE WORK SPECIFICATION

PRELIMINARIES

1.01 GENERAL

The following general conditions should be considered prior to the commencement of landscape works:

- The landscape plans should be read in conjunction with the architectural plans, hydraulic plans, service plans and survey prepared for the proposed development.
- All services including existing drainage should be accurately located prior to the commencement of landscape installation. Any proposed tree planting which falls close to services will be relocated on site under the instruction of the landscape architect.
- Installation of conduit for required irrigation, electrical and other services shall be completed prior to the commencement of hardscape works and hardstand pours.
- All outdoor lighting specified by architect or client to be installed by qualified electrician
- Anomalies that occur in these plans should be brought to our immediate attention.
- Where an Australian Standard applies for any landscape material testing or installation technique, that standard shall be followed.

1.02 PROTECTION OF ADJACENT FINISHES

The Contractor shall take all precautions to prevent damage to all or any adjacent finishes by providing adequate protection to these areas / surfaces prior to the commencement of the Works

1.03 PROTECTION OF EXISTING TREES

Existing trees identified to be retained shall be done so in accordance with AS 4970-2009 Protection of trees on development sites as well as in accordance with the tree protection measures prepared by project arborist.

Where general works are occurring around such trees, or pruning is required, a qualified Arborist shall be engaged to oversee such works and manage tree health.

Existing trees designated on the drawing for retention shall be protected at all times during the construction period. Any soil within the drip-line of existing trees shall be excavated and removed by hand only. No stockpiling shall occur within the root zone of existing trees to be retained.

Any roots larger in diameter than 50mm shall only be severed under instruction by a qualified arborist. Roots smaller than 50mm diameter shall be cut cleanly with a saw.

Temporary fencing shall be installed around the base of all trees to be retained prior to the commencement of landscape works. Where possible this fencing will be located around the drip line of these trees, or a minimum of 3m from the trunk. The fencing shall be maintained for the full construction period.

1.04 EROSION & POLLUTION CONTROL

The Contractor shall take all proper precautions to prevent the erosion of soil from the subject site. The contractor shall install erosion & sediment control barriers and as required by council, and maintain these barriers throughout the construction period. Note that the sediment control measures adopted should reflect the soil type and erosion characteristics of the site.

Erosion & pollution control measures shall incorporate the following:

- Construction of a sediment trap at the vehicle access point to the subject site.
- Sediment fencing using a geotextile filter fabric in the location indicated on the erosion control plan or as instructed on site by the landscape architect.
- Earth banks to prevent scour of stockpiles
- Sandbag kerb sediment traps
- Straw bale & geotextile sediment filter.
- Exposed banks shall be pegged with an approved Jute matting in preparation for mass planting

Refer to 'Guidelines for Erosion and Sediment Control on Building Sites' by DLWC (2000) for construction techniques

SOIL WORKS

2.01 MATERIALS

Specified Soil Conditioner (Generally to improve site soil)

The specified soil conditioner for site top-soil improvement shall be an organic mix complies with **AS 4454-2012 Composts, soil conditioners and mulches**. Note that for sites where soil testing indicates toxins or extremes in pH, or soils that are extremely poor, allow to excavate and supply 300mm of imported soil mix.

New gardens & proposed Planting

New garden and planting areas shall consist of a 50/50 mix of clean site soil (refer d) below) and imported soil. All mixes are to comply with **AS4419-2003 Soils for Landscaping and garden use**, & AS 4454 Composts, Soil conditioners & mulches.

Specified Soil Mix - Turf

The specified soil mix for all turf areas shall be a min 75mm layer of imported soil mix consisting of 80% washed river sand (reasonably coarse), and 20% composted organic matter equivalent to mushroom compost or soil conditioner, or other approved lawn top dress.

Site Topsoil

Site topsoil is to be clean and free of unwanted matter such as gravel, clay lumps, grass, weeds, tree roots, sticks, rubbish and plastics, and any deleterious materials and materials toxic to plants. The topsoil must have a pH of between 5.5 and 7. Use 100% imported soil mix when site when site topsoil runs out.

2.02 INSTALLATION

Note: No level changes (Cut or Fill), soil ripping within the Tree Protection Zones of trees to be retained

a) Testing

All testing is to be conducted in accordance with AS4419-2003 Soils for Landscaping and garden use Methods for testing soils for engineering purposes. Site soil shall be given a pH test prior to modifying to ensure conditions are appropriate for planting as stated above. Tests shall be taken in several areas where planting is proposed, and the pH shall be adjusted accordingly with sulphur or lime to suit.

Note that a soil test conducted by the Sydney Environmental & Soil Laboratory or approved equal shall be prepared for all commercial, industrial and multi-unit residential sites. The successful landscape contractor shall implement the recommendations of this test.

b) Set Out of Individual Trees & Mass Planting Areas

All individual tree planting positions and areas designated for mass planting shall be set out with stakes or another form of marking, ready for inspection and approval. Locate all services.

c) Establishing Subgrade Levels

Subgrade levels are defined as the finished base levels prior to the placement of the specified material (i.e. soil conditioner). The following subgrade levels shall apply:

- Mass Planting Beds - 300mm below existing levels with specified imported soil mix.
- Turf areas - 100mm below finished surface level.

Note that all subgrades shall consist of a relatively free draining natural material, consisting of site topsoil plus as previously by the Civil Contractor. No builders waste material shall be acceptable.

d) Subgrade Cultivation

Cultivate all subgrades to a minimum depth of 100mm in all planting beds and all turf areas, ensuring a thorough breakup of the subgrade into a reasonably coarse tilth. Grade subgrades to provide falls to surface and subsurface drains, prior to the placement of the final specified soil mix.

e) Drainage Works

Install surface and subsurface drainage where required and as detailed on the drawing. Drain subsurface drains to outlets provided, with a minimum fall of 1:100 to outlets and / or service pits.

f) Placement and Preparation of Specified Soil Conditioner & Mixes.

- Trees in turf & beds - Holes shall be twice as wide as root ball and minimum 100mm deeper - backfill hole with 50/50 mix of clean site soil and imported "Organic Garden Mix" as supplied by ANL or approved equal.
 - Mass Planting Beds - Install specified soil conditioner to a compacted depth of 100mm
- Place the specified soil conditioner to the required compacted depth and use a rotary hoe to thoroughly mix the conditioner into the top 300mm of garden bed soil. Ensure thorough mixing and the preparation of a reasonably fine tilth and good growing medium in preparation for planting.
- Turf Areas - Install specified soil mix to a minimum compacted depth of 75mm.
- Place the specified soil mix to the required compacted depth and grade to required finished soil levels, in preparation for planting and turfing.

PLANTING

3.01 MATERIALS

a) Quality and Size of Plant Material

All trees supplied above a 25L container size must be grown and planted in accordance with AS 2303:2019 *Tree stock for landscape use*. Certification that trees have been grown to AS2303:2018 guidelines is to be provided upon request of Council's Tree Management Officer.

Above - Ground Assessment:

The following plant quality assessment criteria should be followed:

Plant true to type, Good vigour and health, free from pest & disease, free from injury, self-supporting, good stem taper, has been pruned correctly, is apically dominant, has even crown symmetry, free from included bark & stem junctions, even trunk position in pot, good stem structure

Below - Ground Assessment:

Good root division & direction, rootball occupancy, rootball depth, height of crown, non-suckering For further explanation and description of these assessment criteria, refer to AS2303:2019.

All Plant material shall be to the type and size specified. No substitutions of plant material shall be permitted without written prior approval by the Landscape Architect. No plant shall be accepted which does not conform to the standards listed above.

b) Stakes and Ties

Provide min. 3 No. Stakes and ties to all plants identified as trees in the plant schedule. Stakes shall be sound, unpainted, straight hardwood, free of knots and pointed at one end. They shall be 2200mm x 50mm x 50mm Hardwood, or approved alternative. Ties shall be 50mm wide hessian webbing material.

c) Fertilisers

Fertilisers shall be approved slow release fertilisers suitable for the proposed planting types. Note that for native plants, specifically Proteaceae family plants including Grevillea species, low phosphorus fertilizers shall be used.

d) Mulch

Mulch shall be an approved equal to "FOREST FINE" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris.

e) Turf

Turf shall be soft leaf Buffalo or equivalent (unless stated otherwise), free from any weeds and other grasses, and be in a healthy growing condition.

3.02 INSTALLATION

a) Setting Out

All planting set out shall be in strict accordance with the drawings, or as directed. Note that proposed tree planting located near services should be adjusted at this stage. Notify Landscape Architect for inspection for approval prior to planting.

b) Planting

All plant material shall be planted as soon after delivery as possible. Planting holes for trees shall be excavated as detailed and specified. Plant containers shall be removed and discarded, and the outer roots gently teased from the soil mass. Immediately set plant in hole and backfill with specified soil mix, incorporating the approved quantity of fertiliser for each plant type. Ensure that plants are set plumb vertically and root balls set to the consolidated finished grades detailed on the drawings. Compact the backfilled soil and saturate by hand watering to expel any remaining air pockets immediately after planting.

c) Staking and Tying

Staking and tying shall be in strict accordance with the drawings and shall occur immediately following plant placement and soil backfilling. All plants identified as "Trees" on the planting schedule shall be staked with a min. 3 stakes.

d) Mulching

Mulch for general planter bed shall be an approved equal to "FOREST FINE" as supplied by ANL. Mulch shall be completely free from any soil, weeds, rubbish or other debris. Mulch for bio-retention/rain garden area where is required shall be non-floatable materials that could include crushed rock, gravel, coarse river sand, scoria or river pebbles. 4-7mm screenings or similar.

e) Turfing

Moisten soil prior to the turf being laid. Turf shall be neatly butt jointed and true to grade to finish flush with adjacent surfaces. Incorporate a lawn fertilizer and thoroughly water in. Keep turf moist until roots have taken and sods/rolls should not be lifted. Keep all traffic off turf until this has occurred. Allow for top dressing of all turf areas. All turf shall be rolled immediately following installation.

f) Steel garden edging

Where is required, the Contractor shall install **Steel garden edging** as detailed on the drawings, to all mass planting beds adjoining turf or gravel mulched areas, and where required. The resultant edge shall be true to line and flush with adjacent surfaces. However, no edging shall be used within the Structural Root Zone (SRZ) of trees to be retained.

g) Nature Strip and public domain works

The nature strip (street frontage) for the site is public land, and only authorized works may occur here.

Existing Conditions such as street trees, council planting etc shall be retained and protected during construction, unless specific approval has been granted for new work in this area. Where council policy specifies a particular unit paver, material finish, pattern or treatment, it shall be the contractors responsibility to check and verify that this material & treatment is correct and current prior to undertaking construction works

f) Drainage pit

Drainage pits and drainage lines should be located within garden areas to allow for site drainage while minimising impact on the proposed planting scheme, where possible, pits and linework should be located at the edge of landscape strips to avoid precluding planting centrally in garden areas. where pits and linework occur within garden beds, the landscape contractor shall take all precautions to avoid damaging storm water when planting shrubs and trees. landscape contractors shall not alter the form of swales designed to direct overland flow.

HARDSCAPE WORKS

4.01 GENERAL

The Contractor shall undertake the installation of all hardscape works as detailed on the drawing, or where not detailed, by manufacturers specification.

- Paving - refer to typical details provided, and applicable Australian Standards. *Permeable paving may be used as a suitable means of satisfying Council permeable surface requirements, while providing a useable, hardwearing, practical surface.* In most instances, the client shall nominate the appropriate paving material to be used.

Australian Standards shall be adhered to in relation to all concrete, masonry & metal work. Some details are typical and may vary on site. All hardscape works shall be setout as per the drawings, and inspected and approved by the Landscape Architect prior to installation. All workmanship shall be of the highest standard. Any queries or problems that arise from hardscape variations should be sought to the attention of the Landscape Architect.

Your attention is directed to any obligations or responsibilities under the Dividing Fences Act, 1991 in respect of adjoining property owner/s which may arise from this application. Any enquiries in this regard may be made to the Crown Lands on 1300 886 235.

IRRIGATION WORKS

5.01 GENERAL (PERFORMANCE SPECIFICATION)

This is a general Irrigation Performance Specification only, as a guide for projects requiring irrigation systems as part of consent requirements or building contractual arrangements.

An automated irrigation system is recommended for the effective establishment of new gardens, and to assist with the success of planting areas on terraces, over slabs and in Communal Open Spaces.

The inclusion of this general specification is no guarantee that an irrigation system forms part of the landscape scope of works, which will be determined by the building contract.

New irrigation systems to planting areas shall be a Commercial Grade Irrigation System conforming to all relevant Australian standards, including AS 3500 & the Gas and Electricity (Consumer Safety) Act 2017, Workplace Health & Safety Act 2011, & the latest Sydney Water Code

An automated drip-irrigation system is to be installed to all gardens, planters and lawn areas in accordance with the approved Irrigation Design. This system shall be designed and installed by a qualified and licensed irrigation specialist, to the highest industry standards and to maximise the efficient usage of water.

The Installer is required to obtain all approvals necessary for the completion of works in accordance with the Laws of Australia, Laws of the State of NSW, Strathfield Council By-Laws and Ordinances.

Drawings:

- The Landscape Contractor nominated Licensed Irrigation Specialist shall provide irrigation drawings for approval upon engagement.

Design Requirements:

- The irrigation system shall be installed prior to all planting works. It shall incorporate a commercially available irrigation system, with sub-surface dripper lines to irrigate all gardens, planters and lawn areas.
- It shall incorporate a suitable back flow prevention device for the scale of works, an in-line filter, check valves, and suitable high and low density poly hose fittings and PVC piping to achieve flow rates suitable for specified planting.
- The irrigation application rate shall not exceed the infiltration rate of the soil or creates run-off.
- The landscape contractor shall check the existing pressure available from the ring mains and size irrigation piping to suit. Supply shall be from local hose cock where available.
- All piping and fittings shall be buried 50mm below the finished soil levels in garden and lawn areas, and secured in position at 500mm centres with galv wire pins.
- Size of pipes shall be selected to ensure the working pressure at the end of the line does not decrease by more than 5%.

Services Co-ordination:

- Co-ordination required by Landscape Contractor or Project Manager to provide required conduit, pipe work and penetration through slabs and planter walls for water and power provisions.
- The Landscape Contractor shall be engaged with the Irrigation Specialist to co-ordinate with the Project Manager to identify the preferred service and conduit locations.
- Project Manager and Landscape Contractor to establish area suitable for irrigation control system with required area, power provision and water supply.

Testing & Defects:

Upon completion of installation, the system shall be tested, including:

- Main Line Pressure Test: The main line is pressurised to test for leaks. All valves are shut and the pressure is taken over a determined length of time.
- Dripper Pressure Test: Measurement at flushing valves are taken and the pressure gauged to make sure it conforms to the manufacturer recommendations. The inlet pressure is then tested under the same conditions to check it does not exceed 300Kpa.
- All components are to be satisfactorily functional and operational prior to approval. Should any defect develop, or the capacity or efficiency of the system decline during the agreed maintenance system, then these faults shall be immediately rectified.

Warranty :

- A full 12 month warranty shall be included to cover labour and all parts.

Further Documentation:

- On request, a detailed irrigation performance specification report can be issued.

CONSOLIDATION AND MAINTENANCE

6.01 GENERAL

The consolidation and maintenance period shall be either

- 6 months beginning from the approved completion of the specified construction work (Practical Completion)
- or as agreed to in the landscape contractors contractual obligations.


or as specified by Council in the Determination.

A qualified landscape maintenance contractor shall undertake the required landscape maintenance works. Consolidation and maintenance shall mean the care and maintenance of Contracted works by accepted landscaping or horticultural practices, ensuring that all plants are in optimum growing conditions and appearance at all times, as well as rectifying any defects that become apparent in the contracted works.

This shall include, but not be limited to, the following items where and as required:

- Watering all planting and lawn areas / irrigation maintenance.
- Clearing litter and other debris from landscaped areas.
- Removing weeds, pruning and general plant maintenance.
- Replacement of damaged, stolen or unhealthy plants.
- Make good areas of soil subsidence or erosion.
- Topping up of mulched areas.
- Spray / treatment for insect and disease control.
- Fertilizing with approved fertilizers at correct rates.
- Mowing lawns & trimming edges each 14 days in summer or 18 days in winter
- Adjusting ties to Stakes
- Maintenance of all paving, retaining and hardscape elements.

On the completion of the maintenance period, the landscape works shall be inspected and at the satisfaction of the superintendent or landscape architect, the responsibility will be signed over to the client.

<p>General Notes:</p> <p>Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF'd plans may vary slightly in scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.</p> <p>© Copyright Sulphurcrest Enterprises Pty Ltd Trading as CONCEPT</p> <p>(ABN: 75 623 405 630)</p> <p>This drawing is protected by copyright. All rights are reserved. Unless permitted under the Copyright Act 1968, no part of this drawing may in any form or by any means be reproduced, published, broadcast or transmitted without the prior written permission of the copyright owner.</p> <p>If the Status of this drawing is not signed off for Construction it may be subject to change, alteration or amendment at the discretion of our office. If so, Conzept is not liable for any loss, damage, harm or injury whether special, consequential, direct or indirect, suffered by you or any other person as a result of your use of this drawing for construction purposes.</p> <p>These plans and associated IP remain the property of Sulphurcrest Enterprises (IA Conzept) until such time as all agreed payments are made in full. We reserve the right to withdraw this information from the assessment process if such payments are not made following the rectification period.</p>		<p>SCALE:</p>		<table><tr><th>REV</th><th>DATE</th><th>NOTATION/AMENDMENT</th></tr><tr><td>A</td><td>03.11.2021</td><td>Preliminary plan prepared for review</td></tr><tr><td>B</td><td>11.11.2021</td><td>Issued for DA</td></tr><tr><td>C</td><td>31.5.2022</td><td>Co-ordinated with amended architectural plan</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	REV	DATE	NOTATION/AMENDMENT	A	03.11.2021	Preliminary plan prepared for review	B	11.11.2021	Issued for DA	C	31.5.2022	Co-ordinated with amended architectural plan																<table><tr><td>COUNCIL</td><td>STRATHFIELD</td></tr><tr><td>CLIENT</td><td>QUYNH</td></tr><tr><td>ARCHITECT</td><td>TEXCO DESIGN</td></tr><tr><td>STATUS / ISSUE</td><td>DA - ISSUE C</td></tr></table>	COUNCIL	STRATHFIELD	CLIENT	QUYNH	ARCHITECT	TEXCO DESIGN	STATUS / ISSUE	DA - ISSUE C	<div><p>www.conzept.net.au enquiries@conzept.net.au</p><p>Phone: 9922 5312 Suite 101, 506 Miller St CAMMERAY NSW 2062</p></div>	<table><tr><td colspan="2">TITLE: SPECIFICATION</td></tr><tr><td colspan="2">PROPOSED RESIDENTIAL DEVELOPMENT 12 MOUNT STREET STRATHFIELD</td></tr></table>	TITLE: SPECIFICATION		PROPOSED RESIDENTIAL DEVELOPMENT 12 MOUNT STREET STRATHFIELD		<table><tr><td>DWG No:</td><td>LPDA 22 - 168 / 6</td></tr><tr><td>DATE:</td><td>MAY 2022</td></tr><tr><td>DRAWN:</td><td>CHECKED:</td></tr><tr><td>K.Z</td><td>R.F</td></tr></table>	DWG No:	LPDA 22 - 168 / 6	DATE:	MAY 2022	DRAWN:	CHECKED:	K.Z	R.F
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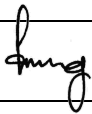
APPENDICES

RECEIVED

DA2021.302

DATE 15 November 2021

APPENDIX A: Waste Management Plan Template

Applicant and Project Details (All Developments)	
Applicant Details	
Application No.	
Name	Quynh
Address	Suite 801C Rhodes Waterside, 1 Rider Boulevard, Rhodes NSW 2138
Phone No.	02 8893 1208
Email	terence@texcodesign.com.au
Project Details	
Site Address	12 Mount Street Strathfield NSW 2135
Existing building(s) and/or other structure(s) on site	Single storey and double storey render brick house with tiled roof, metal shed, car port and concrete driveway
Description of proposed development	Demolition of existing structures and construction of a single dwelling, including a swimming pool and a basement garage at 12 Mount Street, Strathfield NSW 2135
<p><i>The details on this form are the provisions and intentions for minimising and managing waste relating to this project. All records demonstrating lawful disposal of waste will be retained and kept readily accessible for inspection by regulatory authorities such as Council, WorkCover NSW, NSW Environment Protection Agency and/or the NSW Department of Environment and Heritage.</i></p>	
Name	Darren Lee, Texco Design
Signature	
Date	29 October 2021

Demolition (all types of demolition works)				
	Reuse	Recycle	Disposal	
Type of Waste Generated	Estimate Volume (m ³) or weight (t)	Estimate Volume (m ³) or weight (t)	Estimate Volume (m ³) or weight (t)	Specify method of onsite reuse, contractor and recycling outlet and/or waste depot to be used
Excavation Material	50m ³		600m ³	Reuse for backfilling and landscaping
Timber (specify)	15m ³	15m ³	15m ³	Reuse for formwork, landscaping, shoring
Concrete			20m ³	N/A
Bricks/Pavers			30m ³	
Tiles			8m ³	
Metal (specify)		5m ³	5m ³	N/A
Glass		5m ³		
Furniture				
Fixtures and fittings			10m ³	
Floor coverings			10m ³	
Packaging (used pallets, pallet wrap)				
Garden Organics	10m ³			Separated, chipped and stored on site for reuse in landscaping
Containers (cans, plastic, glass)				
Paper/Cardboard				
Residual Waste				
Hazardous/Special Waste e.g. asbestos (specify)				
Other (specify)				

* All recycling materials will be transported to Bingo Auburn, 3/5 Duck Street Auburn NSW 2144

* All disposal materials will be transported to Bingo Eastern Creek landfill, 1 Kangaroo Ave, Eastern Creek NSW 2766

Construction (all types of construction developments)				
	Reuse	Recycle	Disposal	
Type of Waste Generated	Estimate Volume (m ³) or weight (t)	Estimate Volume (m ³) or weight (t)	Estimate Volume (m ³) or weight (t)	Specify method of onsite reuse, contractor and recycling outlet and/or waste depot to be used
Excavation Material			10m3	
Timber (specify)		10m3		
Concrete			10m3	
Bricks/Pavers				
Tiles			8m3	
Metal (specify)		5m3		
Glass				
Plasterboard (offcuts)	12m3			
Fixtures and fittings				
Floor coverings			10m3	
Packaging (used pallets, pallet wrap)		20m3		
Garden Organics				
Containers (cans, plastic, glass)				
Paper/Cardboard				
Residual Waste				
Hazardous/Special Waste e.g. asbestos (specify)				
Other (specify)				

* All recycling materials will be transported to Bingo Auburn, 3/5 Duck Street Auburn NSW 2144

* All disposal materials will be transported to Bingo Eastern Creek landfill, 1 Kangaroo Ave, Eastern Creek NSW 2766

Ongoing Operation (residential, multi dwelling, commercial, mixed-use and/or industrial)					
	Recyclables		Compostables	Residual Waste	Other Garden
	<i>Paper/Cardboard</i>	<i>Metals/Plastics /Glass</i>			
Amount generated (L per unit per day)	15 litres per day			15 litres per day	15 litres per day
Amount generated (L per unit per week)	120 litres per week			120 litres per week	120 litres per week
Total amount generated for development	120 litres			120 litres	120 litres
Any reduction due to compacting equipment					
Frequency of collections	once per fortnight			once weekly	once per fortnight
Number and size of storage bins required	1 x 240L recycling bin			1 x 120L general waste bin	1 x 240L garden vegetation bin
Waste room floor area and dimensions required for storage of bins	1m ²			1m ²	1m ²

Note: Show the total volume of waste expected to be generated by the development and the associated waste storage requirements.

Plans and Drawings (all developments)	
All Drawings	Yes (Y) / No (N)
Submitted to scale (1:100, 1:200 or 1:500)	Y
Clearly indicate location of and provisions for storage and collection of waste and recyclables during: <ul style="list-style-type: none"> • Demolition • Construction • Ongoing operation 	Y
Demolition	Y
Size and location(s) of waste storage area(s)	Y
Access for waste collection vehicles	Y
Areas to be excavated	Y
Types and numbers of storage bins likely to be required	Y
Signage required to facilitate correct use of storage facilities	Y
Construction	
Size and location(s) of waste storage area(s)	Y
Access for waste collection vehicles	Y
Areas to be excavated	Y
Types and numbers of storage bins likely to be required	Y
Signage required to facilitate correct use of storage facilities	Y
Ongoing Operation	
<i>Space</i>	Y
Size and location(s) of waste storage areas	Y
Recycling bins placed next to residual waste bins	Y
Space provided for access to and the manoeuvring of bins/equipment	Y
Any additional facilities	
<i>Access</i>	
Access route(s) to deposit waste in storage room/area	N
Access route(s) to collect waste from storage room/area	N
Bin carting grade	N
Location of final collection point and space required for collection service	Kerbside Collection
Clearance, turning circles, gradients and strength of internal access driveways and roads	N/A
Direction of traffic flow for internal access driveways and roads	N/A
<i>Amenity</i>	
Aesthetic design of waste storage areas	N
Signage – type and location	N
Construction details of storage rooms/areas including floor, walls, doors, ceiling design, sewer connection, lighting, ventilation, security, wash down provisions etc)	N

APPENDIX B: Waste and Recycling Generation Rates**Construction Waste – Renovations and Small Home Building**

'Rule of Thumb' for renovations and small home building:

- Timber 5-7% of material ordered
- Plasterboard 5-20% of material ordered
- Concrete 3-5% of material ordered
- Bricks 5-10% of material ordered
- Tile 2-5% of material ordered

Waste and Recycling Generation Rates		
Premises Type	Waste Generation	Recyclable Material Generation
Backpackers' Hostel	40L/occupant space/week	20L/occupant space/week
Boarding House, Guest House	60L/occupant space/week	20L/occupant space/week
Community Facilities	480L/100m ² /week	240L/100m ² /week
Food Premises:		
Butcher	80L/100m ² floor area/day	Variable
Delicatessen	80L/100m ² floor area/day	Variable
Fish Shop	80L/100m ² floor area/day	Variable
Greengrocer	240L/100m ² floor area/day	120L/100m ² floor area/day
Restaurant, Cafe	10L/1.5m ² floor area/day	2L/1.5m ² floor area/day
Supermarket	240L/100m ² floor area/day	240L/100m ² floor area/day
Takeaway food shop	80L/100m ² floor area/day	Variable
Hairdresser, Beauty Salon	60L/100m ² floor area/week	Variable
Hotel, Licensed Club, Motel	5L/bed space/day 50L/100m ² bar area/day 10L/1.5m ² dining area/day	1L/bed space/day 50L/100m ² bar area/day 50L/100m ² dining area/day
Offices	10L/100m ² floor area/day	10L/100m ² floor area/day
Shop less than 100m ² floor area	50L/100m ² floor area/day	25L/100m ² floor area/day
Shop greater than 100m ² floor area	50L/100m ² floor area/day	50L/100m ² floor area/day
Showroom	40L/100m ² floor area/day	10L/100m ² floor area/day
Multi Dwelling, Residential Flat Buildings and Residential Accommodation in Mixed-Use Development	120L/unit/week	60L/unit/week

Table 2: Waste and Recycling Generation Rates for different types of development (sourced from the Model Waste Not DCP Chapter 2008 prepared by the NSW Department of Environment and Climate Change).

TO: Strathfield Local Planning Panel Meeting - 3 November 2022
 REPORT: SLPP – Report No. 33
 SUBJECT: DA2022.68- 0 COSGROVE ROAD STRATHFIELD SOUTH
 LOT 19 DP 1183316
 DA NO. DA2022.68

SUMMARY

Property:	0 Cosgrove Road Strathfield South Lot 19 DP 1183316 DA2022.68
Proposal:	Alterations, additions, fit out and use of the former tarpaulin shed for the purposes of a garden centre with cafe and ancillary vegetable shop and pet store, and car parking containing a total of 389 car parking spaces.
Applicant:	Ljb Urban Planning Pty Ltd
Owner:	Port Botany Lessor Pty Ltd
Date of lodgement:	27 April 2022
Notification period:	7 May 2022 to 28 May 2022
Submissions received:	Three
Assessment officer:	P Santos
Estimated cost of works:	\$22,710,600.00
Zoning:	IN1-General Industrial / PART RE2-Private Recreation - SLEP 2012
Heritage:	N/A
Flood affected:	Yes
Local Planning Panel Criteria	Contentious Development – three submissions received
RECOMMENDATION OF OFFICER:	APPROVAL



Figure 1. Aerial imagery of the subject site (outlined) and the immediate locality.

EXECUTIVE SUMMARY

The application is referred to the Strathfield Local Planning Panel as it considered a contentious development garnering three submissions.

Proposal

Development consent is being sought for the alterations, additions, fit out and use of the former tarpaulin shed for the purposes of a garden centre with cafe and ancillary vegetable shop and pet store, and car parking containing a total of 389 car parking spaces.

Site and Locality

The subject site is legally described as Lot: 19 DP: 1183316 and commonly known as 0 or 127 Cosgrove Road, Strathfield South. It is located on the corner of Cosgrove Road and Punchbowl Road, to the east of the intermodal.

The site is irregular in shape and is at the north-western corner of Cosgrove Road and Punchbowl Road and forms part of the bigger land owned by NSW Ports.

The site is currently occupied by a dilapidated former tarpaulin shed and a water tank tower.

Strathfield Local Environmental Plan

The site is zoned IN1-General Industrial and RE2-Private Recreation under the provisions of Strathfield LEP 2012 and the proposal is a permissible form of development with Council's consent. The proposal satisfies all relevant objectives contained within the LEP.

Development Control Plan

The proposed development generally satisfies the provisions of Strathfield Consolidated DCP 2005. This is discussed in more detail in the body of the report.

Notification

The application was notified in accordance with Council's Community Participation Plan from 7 May 2022 to 28 May 2022, where three submission/s was/were received raising the following concerns:

- Land contamination
- Flora and fauna assessment
- Traffic

Issues

- Traffic
- Contamination

Conclusion

Having regards to the heads of consideration under Section 4.15 of the Environmental Planning & Assessment Act 1979, Development Application 2022/68 is recommended for approval subject to suitable conditions of consent.

REPORT IN FULL

Proposal

Council has received an application seeking development consent for the alterations, additions, fit out and use of the former tarpaulin shed for the purposes of a garden centre with cafe and ancillary vegetable shop and pet store, and car parking containing a total of 389 car parking spaces.

The proposal is for the re-use of the tarpaulin shed for the purpose of a garden centre, and entails the following works and uses:

- Partial demolition, internal and external refurbishment to the existing tarpaulin shed;
- Two levels, undercroft and at-grade parking, that accommodate 389 car spaces, including eight for accessible parking and two for electric vehicles;
- A garden centre with ancillary café and playground;
- A fruit and vegetable shop;
- A pet shop;
- Removal of two trees;
- Ancillary utility and services areas (i.e. loading dock, waste, etc.);
- Ancillary landscaping works including fencing; and
- Signage.

The proposal seeks for the following hours of operation and staff number:

- Garden Centre – 7.00am and 6.00pm, 7 days a week
- Pet Shop – 7.00am and 6.00pm, 7 days a week
- Fruit and Vegetable Shop – 7.00am and 9.00pm, 7 days a week
- Staff # - 75, inclusive of all uses across the site

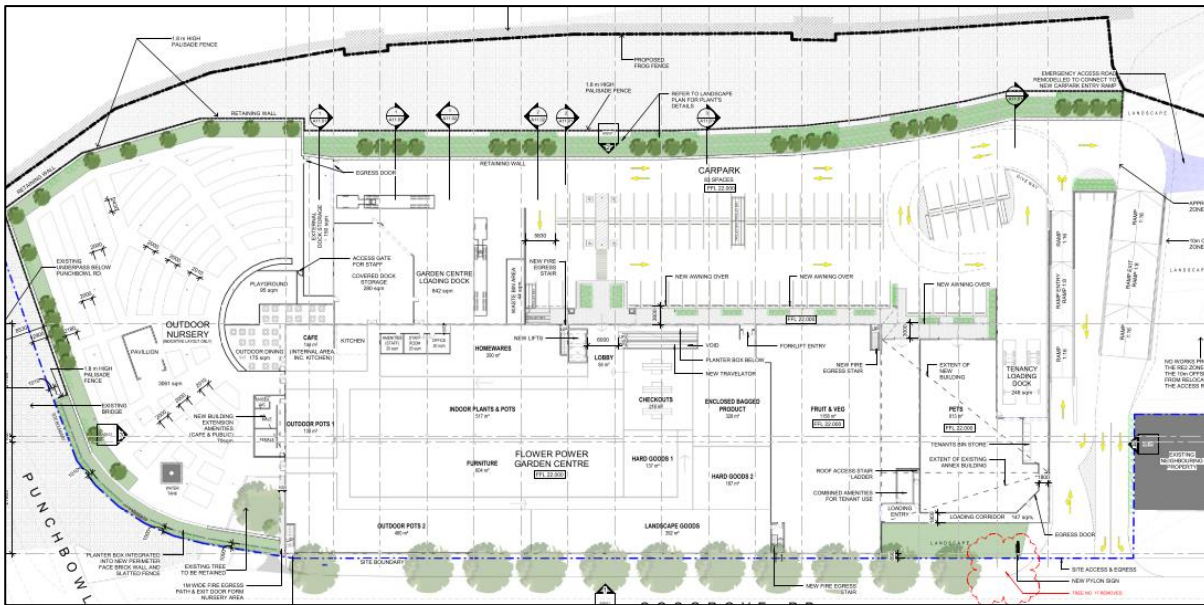


Figure 3. Extract of the ground floor plan.

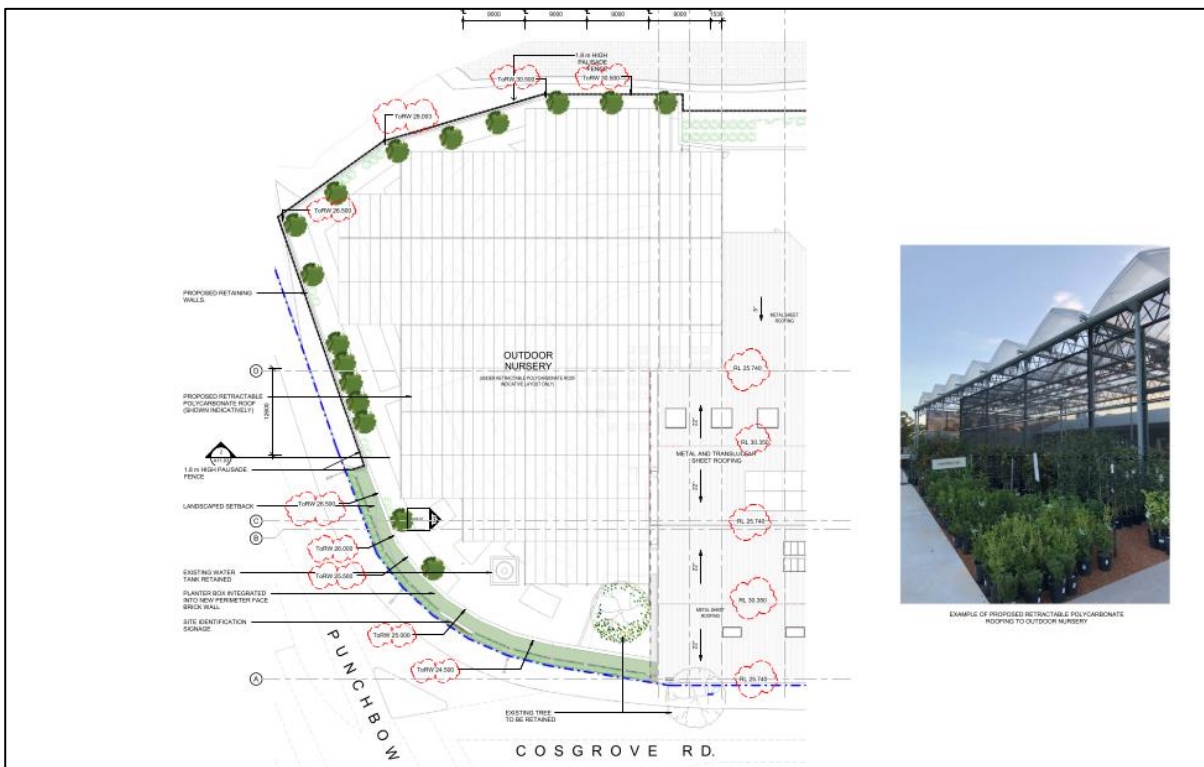


Figure 4. Extract of the roof plan for the outdoor nursery area.

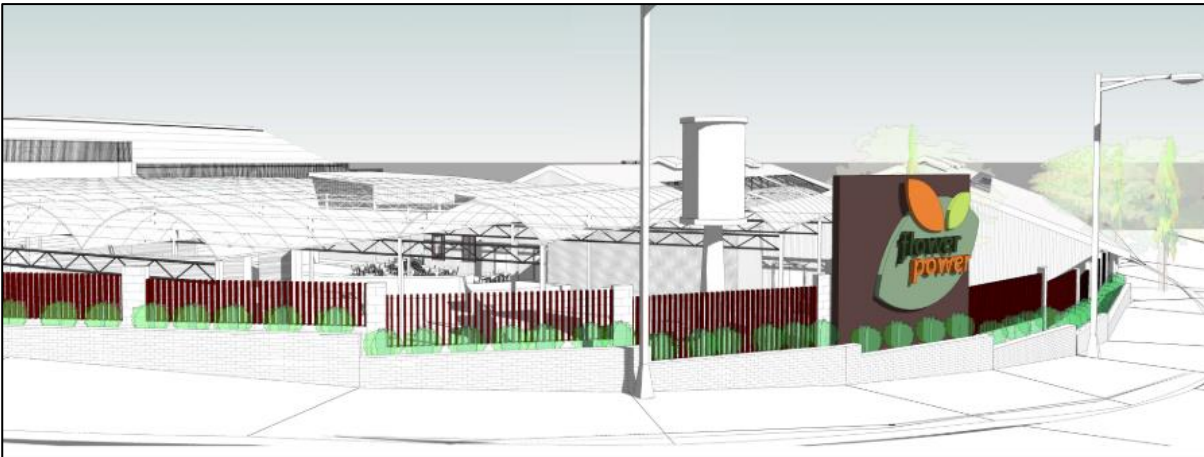


Figure 5. Concept imagery of the subject site, viewed from the intersection of Cosgrove Rd and Punchbowl Rd.



Figure 6. Concept imagery of the subject site showing the entry way to the undercroft parking area and access to the ramp and pylon singage fronting Cosgrove Rd.



Figure 7. Concept imagery of the proposed development showing the western elevation of the proposed dwelling.



Figure 8. Concept imagery of the western elevation of the proposed development with a closer perspective showing the entry to the garden centre.

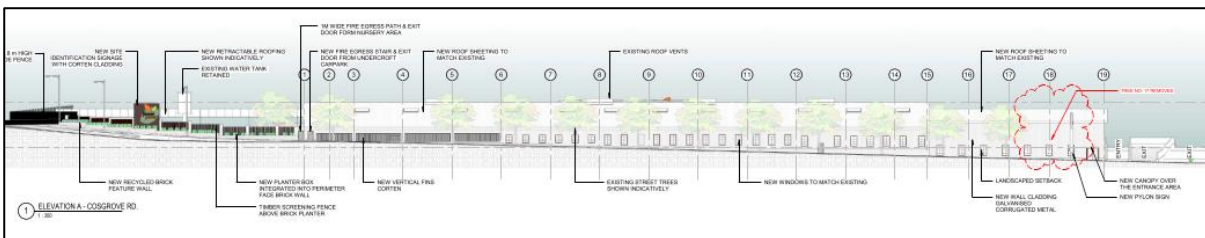


Figure 9. Extract of the north-eastern elevation, fronting Cosgrove Rd.

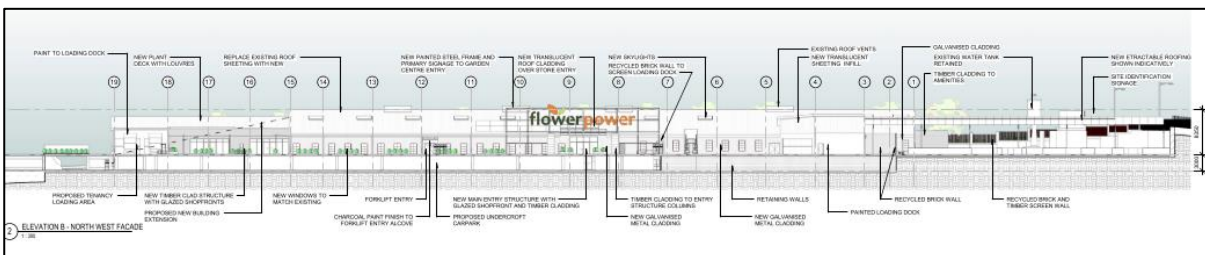


Figure 10. Extract of the north-western elevation.

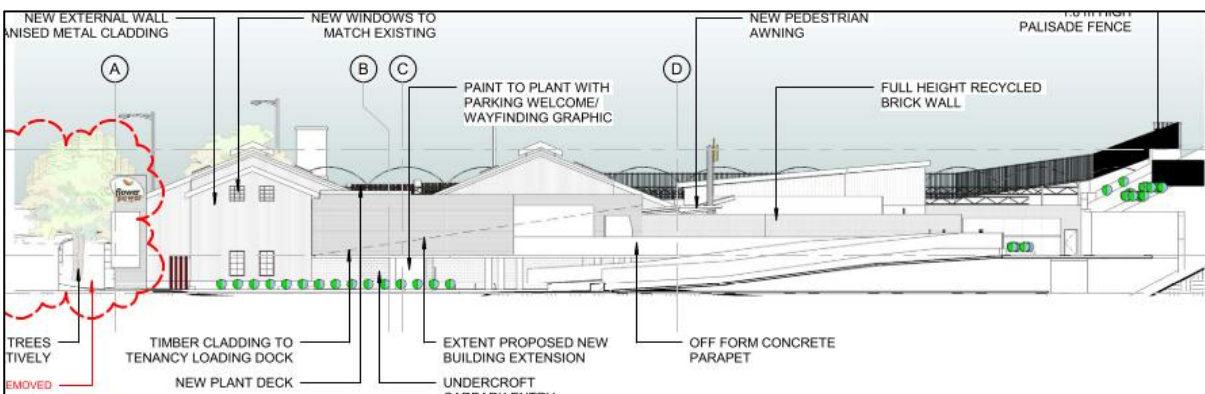


Figure 11. Extract of the northern elevation.

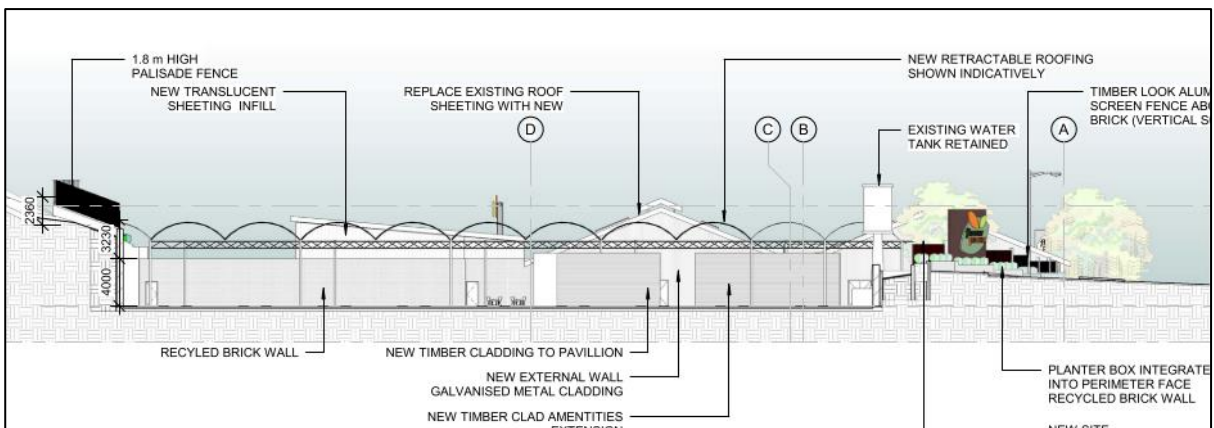


Figure 12. Extract of the southern elevation.



Figure 13. Extract of the business identification signage on the main entry.

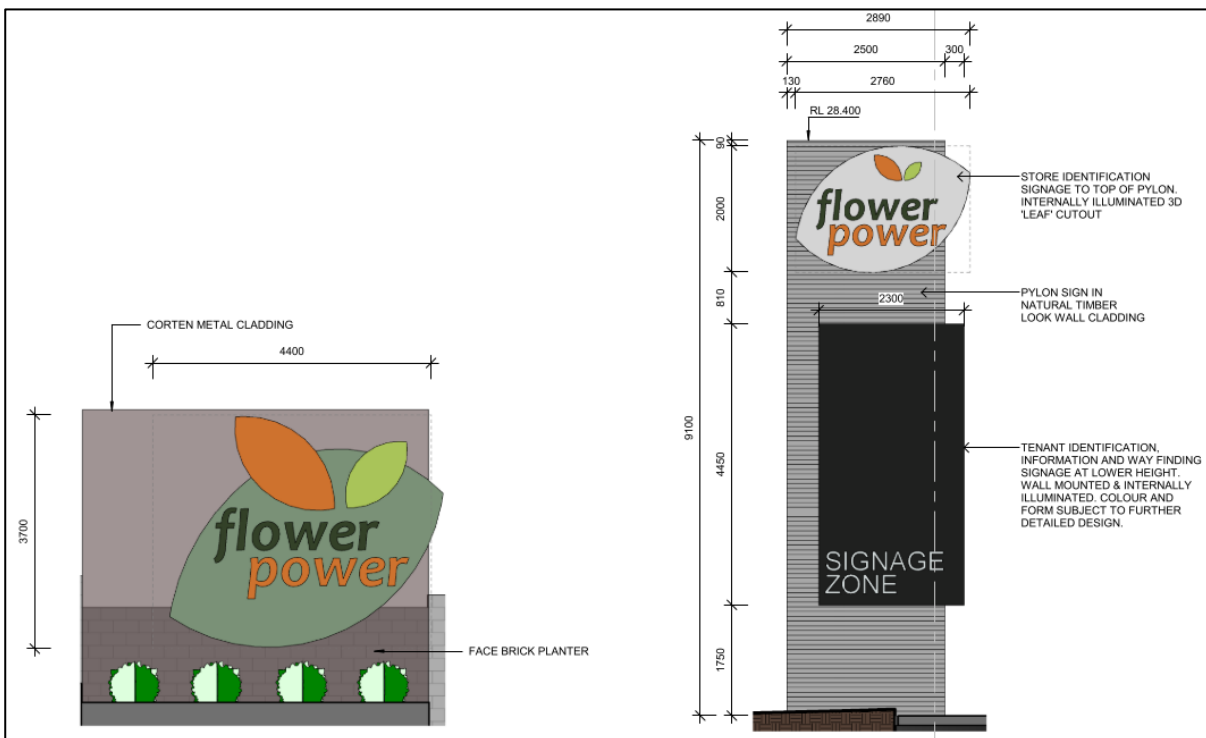


Figure 14. Extract of the business identification signage on the fence along the corner of Punchbowl Rd and Cosgrove Rd (left) and the pylon signage proposed along Cosgrove Rd.

Background

1 June 2017	Council refused DA2016/132 for the purpose of fit-out and use of the former tarpaulin shed for use as a garden centre with ancillary café, fruit and vegetable shop, pool shop, pet store and at-grade parking area.
29 November 2017	A Class 1 appeal was upheld and DA2016/132 was granted consent, as amended.
27 April 2022	The subject development application was lodged.
7 May 2022	The application was put on public notification until 28 May 2022, where Council received three submissions during this period. The submissions are discussed in detail in the assessment stage of the report.
24 May 2022	The application was referred to external agencies – RMS and Sydney Trains. The details of the referrals are discussed in the Referrals section of this report.
30 May 2022	Council's Planner carried out a site visit.
15 June 2022	Sydney Trains has provided referral comments. Details of the referral comments are discussed in the Referrals section of this report.
21 June 2022	RMS has provided referral comments. Details of the referral comments are discussed in the Referrals section of this report.
22 July 2022	<p>An additional information letter was issued to the applicant, raising the following concerns:</p> <ul style="list-style-type: none"> • SIDRA result output/summaries for the following two modelled intersections be provided for further review of RMS (TfNSW): <ul style="list-style-type: none"> ○ Liverpool Rd (Hume Hwy) / Cosgrove Rd, and ○ Punchbowl Rd / Cosgrove Rd. • Swept paths to not use 'turn on stop' movements; and • Updated modelling for AM/PM peaks be provided based on the higher traffic rates due to Enfield Intermodal; • Updated arborist report; • Accuracy of FSR calculation; • RLs on the undercroft parking area and the retaining wall along the perimeter; and • Provision of electric vehicle parking spaces.
15 August 2022	Applicant requested for an extension of the due date to submit the additional information, which was granted.
22 August 2022	The applicant submitted the additional information to Council via the NSW Planning Portal.

- 23 August 2022 The requested information by the RMS (TfNSW) was referred back for further comments.
- 15 September 2022 RMS (TfNSW) has provided referral comments and support to the application, subject to special conditions.

The Site and Locality

The subject site is legally described as Lot: 19 DP: 1183316 and commonly known as 0 or 127 Cosgrove Road, Strathfield South. It is located on the corner of Cosgrove Road and Punchbowl Road, to the east of the intermodal.

The site is irregular in shape and is at the north-western corner of Cosgrove Road and Punchbowl Road and forms part of the bigger land owned by NSW Ports.

The site is currently occupied by a dilapidated former tarpaulin shed and a water tank tower.



Figure 15. The site when viewed from Punchbowl Road – tarpaulin shed (background) and the water tower (foreground).



Figure 16. The south-eastern corner of the site at the intersection of the Cosgrove Rd and Punchbowl Rd.



Figure 17. Punchbowl Rd with the corner of the subject site to the right of the image.



Figure 18. The site showing the tarpaulin shed – viewed from the site’s existing vehicle crossover along Cosgrove Road.



Figure 19. The southern end of the tarpaulin shed along Cosgrove Road.



Figure 20. The northern end of the tarpaulin shed along Cosgrove Road.



Figure 21. The dwelling houses across the road from the site.



Figure 22. The dwelling houses across the road from the site.

The current streetscape is characterised by a mix of industrial development on the western side of Cosgrove Road and residential – low density dwellings, on the eastern side.

The surrounding area is divided into two dominant uses of industrial on the western side of Cosgrove Road including the Enfield Intermodal and low density residential to the east comprised of the suburb Belfield.

Referrals

INTERNAL

Environmental Management

The application was referred to Council's Environmental Projects Officer who provided the following comments:

"...some concerns about the demolition and the construction phase of the proposed development impacting biodiversity through light and noise spill; however, I believe this can be conditioned."

"I have noticed that Dr Arthur White has already provided comments and requirements for the build in regards to the Bell Frog, so I believe that aspect of concern is covered. I noticed also, as Dr White requested, a Bell Frog fence has been mapped in the Architectural Drawings however, the whole site has not been surrounded by fence – I am concerned about this and would like to request a fence that surrounds the whole site with the confirmation from Dr White that that is best practice."

"An arborist report is completed on the proposed removal of the trees."

Council's Environmental Projects Officer concluded with recommendation to support the proposal with the imposition of relevant conditions of consent."

Tree Management

The application was referred to Council's Urban Forest Supervisor, who provided the following comments:

"...request an updated Arboricultural Impact Assess Report on the Council street trees and trees on site (last report was completed in 2016, but cannot open in ECM)"

"Arboricultural Impact Assessment Report needs address impacts of the proposed basement/buildings on Council street trees along Cosgrove Road. This may also require non-destructive root mapping should be incorporated in the assessment and a pruning specification."

The matters raised above by Council's Urban Forest Supervisor has been relayed to the applicant via the additional information request letter issued on 22 July 2022. The applicant supplied the requested information which resulted the support of the proposal, subject to the imposition of conditions of consent as recommended by the UF Supervisor.

Traffic Management

The application was referred to Council's Traffic Engineer who provided no objection to the proposed development subject to the imposition of relevant conditions of consent. Council's Traffic Engineer also provided the following comments:

"The traffic generation of the proposed development i.e. the net increase in trip generation due to the proposal is not expected to have an adverse impact on surrounding road network and the traffic signals that will remain at level of service B or better."

i)

"The site will have 389 parking spaces including 10 spaces for the disabled. The car parking and access arrangements are assessed as satisfactory and are in accordance with AS2890.1 and the RMS Guidelines for Traffic Generating Developments."

ii)

"Service vehicles can access the loading dock will accommodate a vehicle up to and including 19.0m Semi."

iii)

"Internal circulation arrangements, ramp grades (max 1in 16 or 6.25%) Undercroft parking clearances including ramp grades and transitions, aisle widths, space dimensions, clearances and manoeuvring room must be in accordance with AS2890.1. The ten parking spaces for the disabled have been designed fully in accordance with AS2890.6-2009."

Stormwater Management

The application was referred to Council's Development Engineer who provided no objection to the proposed development subject to the imposition of relevant conditions.

Health

The application was referred to Council's Environmental Services team, which provided the following comments:

"The previous known use of the premise was a tarpaulin factory, and has a likelihood of being contaminated."

"No truck movements will occur outside the proposed hours of operation to minimise impacts on the residential properties located opposite."

“There is soil impacted by asbestos. Excavated material for the underground carpark will be used for fill in other areas of the site and cap all cut material. A validation report is required once the site has undergone remediation.”

“Ensuring that the recommendations within the acoustic report are followed, the acoustic impacts on the residential properties should be manageable.”

Council’s Environmental Officer concluded with a recommendation to support the proposed development, subject to the imposition of relevant conditions of consent.

EXTERNAL

Sydney Trains

The application was referred to Sydney Trains (TfNSW) in accordance with Section 2.97 of the SEPP (Transport and Infrastructure) 2021. Sydney Trains offered no objection to the proposal subject to the imposition of conditions of consent.

TfNSW

The application was referred to TfNSW in accordance with Section 2.122 of the SEPP (Transport and Infrastructure) 2021. TfNSW provided the following comments:

“Punchbowl Rd and Liverpool Rd are classified roads, and it is requested that the SIDRA result output/summaries for the following two modelled intersections be provided for further review:

- *Liverpool Rd (Hume Hwy) / Cosgrove Rd*
- *Punchbowl Rd / Cosgrove Rd”*

“It is noted that the single site crossover is shared by both service/delivery vehicles (heavy vehicles) and customer movements (light vehicles). Council should ensure that a loading dock management plan / OTMP will be prepared and adopted by site operators.”

“TfNSW requests clarification that the swept paths are not ‘turn on stop’ movements.”

“It is recommended that Council as a road authority to consider opportunities to mitigate impacts associated with the southbound right turn movement into the site.”

“The Enfield Intermodal Terminal adopted higher traffic rates. It is requested that updated modelling for AM/PM peaks be provided based on the more recent inputs associated with the adjacent Enfield development.”

The above concerns were raised with the applicant via the additional information request letter issued on 22 July 2022. The applicant supplied the requested information which was referred back to TfNSW. TfNSW provided the following comments:

“TfNSW has reviewed the submitted SIDRA traffic modelling files and accompanying additional information and provides the modelling review comments at Attachment A to be addressed by the proponent and submitted for further review.”

“TfNSW advises that current practice is to limit the number of vehicular conflict points along the state road arterial network to maintain network efficiency and road safety. This current practice is reflected in Section 6.2.1 of TfNSW current publication of the Guide to Traffic Generating Developments, which states ‘access across the boundary with a major road is to be avoided where possible’.

As the site has alternative vehicular access from Cosgrove Rd, TfNSW requests that the existing access point from Punchbowl Rd to be removed and replaced with kerb and gutter to match existing. All access to the site (including emergency access, if practicable) should be provided from Cosgrove Rd. This should be identified on the development plans.”

The subsequent response from TfNSW was received after 21 days have passed. This is outside the scope of the number of days a consent authority must consider TfNSW’s submission. Recognising the importance of approval from TfNSW, taking into consideration the nature of the information being sought by TfNSW, a special condition has been imposed that the road authority’s approval is to be obtained by the proponent prior to any works starting (prior to construction certificate).

Section 4.15 Assessment – EP&A Act 1979

The following is an assessment of the application with regard to Section 4.15 (1) of the Environmental Planning and Assessment Act 1979.

(1) Matters for consideration – general

In determining an application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) the provision of:**
- (i) any environmental planning instrument,**

State Environmental Planning Policies

Compliance with the relevant state environmental planning policies is detailed below:

STATE ENVIRONMENTAL PLANNING POLICY	COMPLIES
State Environmental Planning Policy (Biodiversity and Conservation) 2021 <ul style="list-style-type: none"> Chapter 2 – Vegetation in non-rural areas 	Yes
State Environmental Planning Policy (Resilience and Hazards) 2021 <ul style="list-style-type: none"> Chapter 4 – Remediation of land 	Yes
State Environmental Planning Policy (Transport and Infrastructure) 2021 <ul style="list-style-type: none"> Chapter 2 - Infrastructure 	Yes
State Environmental Planning Policy (Industry and Employment) 2021 <ul style="list-style-type: none"> Chapter 3 – Advertising and Signage 	Yes

STATE ENVIRONMENTAL PLANNING POLICY (BIODIVERSITY AND CONSERVATION) 2021

Chapter 2 – Vegetation in non-rural areas

The intent of this Chapter within the SEPP is related to the protection of the biodiversity values of trees and other vegetation on the site.

The proposal was referred to Council's Tree Management Officer who outlined specific conditions to be imposed with any development consent in order to ensure the protection of these trees.

Further, no objection was raised to the removal of a number of trees on the site subject to replacement planting. Relevant consent conditions will be imposed.

The aims and objectives outlined within the SEPP are considered to be satisfied.

STATE ENVIRONMENTAL PLANNING POLICY (RESILIENCE AND HAZARDS) 2021

Chapter 4 – Remediation of land

Chapter 4 applies to the land and pursuant to Section 4.15 is a relevant consideration.

Council's records indicate that the site is potentially contaminated. A Remedial Action Plan prepared by Geosyntec Consultants, reference # 21163 R1, dated 21 December 2021, states that the testing done on the site revealed presence of asbestos containing materials (as both friable and fragments) and that recommended remediation is required and subsequent validation report. Further to this, Council's Environmental Health Officer has supported the proposal but recommended the following special conditions:

"The consent is not to operate until the site has been remediated and validated by an appropriately qualified land contamination consultant to the requirements of the NSW Environment Protection Authority and to the standard acceptable for commercial development."

"The Council is provided with a Site Audit Statement completed and signed by an accredited site auditor under the Contaminated Land Management Act, 1997 which clearly states that the land is suitable for the proposed commercial development, without the need for any further remediation or testing."

As a result of the above, to address concerns regarding the land being contaminated, a condition is imposed that prior to the issue of a construction certificate or commencement of any works on site, the land is to be remediated by an appropriately qualified land contamination consultant to the requirements of the EPA and acceptable for a commercial development and that a site audit report is to be provided to Council.

The objectives outlined within Chapter 4 of the SEPP, subject to compliance with the recommended special conditions, are considered to be satisfied.

STATE ENVIRONMENTAL PLANNING POLICY (TRANSPORT AND INFRASTRUCTURE) 2021

Chapter 2 - Infrastructure

The application was referred to TfNSW for comments as the proposal is considered to be a traffic-generating development under Schedule 3 of the SEPP. The referral comments from TfNSW was detailed in the referrals section of this report. As mentioned, a special condition has been imposed to seek the approval of the TfNSW prior to the issue of the construction certificate.

STATE ENVIRONMENTAL PLANNING POLICY (INDUSTRY AND EMPLOYMENT) 2021

Chapter 3 – Advertising and Signage

The proposed three signs are considered to satisfy the objectives of the SEPP and will have no impact on the amenity and visual character of the locality.

The proposed signage also satisfies the assessment criteria set out in Schedule 5 of the SEPP, tabled below -

Development Standards		Complies
Character of the area		
1	Is the proposal compatible with the existing or desired future character of the area or locality in which it is proposed to be located?	Yes
	Is the proposal consistent with a particular theme for outdoor advertising in the area or locality?	Yes
Special areas		
2	Does the proposal detract from the amenity or visual quality of any environmentally sensitive areas, heritage areas, natural or other conservation areas, open space areas, waterways, rural landscapes or residential areas?	No
Views and vistas		
3	Does the proposal obscure or compromise important views?	No
	Does the proposal dominate the skyline and reduce the quality of vistas?	N/A
	Does the proposal respect the viewing rights of other advertisers?	N/A
Streetscape, setting or landscape		
4	Is the scale, proportion and form of the proposal appropriate for the streetscape, setting or landscape?	Yes
	Does the proposal contribute to the visual interest of the streetscape, setting or landscape?	Yes
	Does the proposal reduce clutter by rationalising and simplifying existing advertising?	N/A
	Does the proposal screen unsightliness?	N/A

	Does the proposal protrude above buildings, structures or tree canopies in the area or locality?	Yes
	Does the proposal require ongoing vegetation management?	No
5	Site and building	
	Is the proposal compatible with the scale, proportion and other characteristics of the site or building, or both, on which the proposed signage is to be located?	Yes
	Does the proposal respect important features of the site or building, or both?	Yes
	Does the proposal show innovation and imagination in its relationship to the site or building, or both?	Yes
6	Associated devices and logos with advertisements and advertising structures	
	Have any safety devices, platforms, lighting devices or logos been designed as an integral part of the signage or structure on which it is to be displayed?	Yes
7	Illumination	
	Would illumination result in unacceptable glare?	No
	Would illumination affect safety for pedestrians, vehicles or aircraft?	No
	Would illumination detract from the amenity of any residence or other form of accommodation?	No
	Can the intensity of the illumination be adjusted, if necessary?	No
	Is the illumination subject to a curfew?	No
8	Safety	
	Would the proposal reduce the safety for any public road?	No
	Would the proposal reduce the safety for pedestrians or bicyclists?	No

Signage Protrusion Above Building

The proposed signage that sits above the entry of the garden centre, faces inward but would be visible from the north-east bound motorists on Punchbowl Road, has an RL to the top beam of 30.7m AHD. The ridge of the building has an RL of 30.35m AHD, rendering the signage to be higher than the building by a negligible 350mm.

Part 4 – Principal Development Standards

Applicable SLEP 2012 Clause	Development Standards	Development Proposal	Compliance/ Comment
4.3 Height of Buildings	N/A	11.26m	N/A
4.4 Floor Space Ratio	N/A		

The subject site is not mapped to have either the building height or floor space ratio development standards applicable in the LEP. Nevertheless, the proposed development is considered able to satisfy the objectives of both Clause 4.3 Height of Buildings and 4.4 Floor Space Ratio.

The proposal is not only retaining the height of the existing building on the site – the tarpaulin shed, but also is consistent with the height permitted for the neighbouring industrial-zoned properties to the north. Further, the site has a gross floor area of 6,316m², which is negligible for the size of the site – 63,710m², noting that part of the site is zoned RE2 Private Recreation which would have excluded this part of the site from the site area calculation.

Part 5 – Miscellaneous Provisions

Development Near Zone Boundaries

The subject site is comprised of two zones – IN1 General Industrial and RE2 Private Recreation. Zone RE2 does not permit the development of a garden centre. It is noted that the development area is outside the part of the site that is zoned RE2. Nevertheless, regard is provided for the two zones covering the site and as such, Clause 5.3 of the LEP is considered applicable.

The development of a garden centre is a permissible form of development in the IN1 zone. Clause 5.3 provides flexibility to allow a development that is permitted in zone but is prohibited in another. While it is acknowledged that the clause mentions a situation where the prohibiting zone is the subject site but adjacent to a zone that permits a development, the provisions have been considered.

The proposal satisfies the objectives of both the zones and is considered to be a desirable outcome for the site.

Heritage Conservation

The subject site is not listed as a heritage item or located within a heritage conservation area. The site does not adjoin nor is in close proximity to a heritage item and as such, the provisions of this clause are not applicable.

For clarification, a Heritage Impact Statement was submitted to Council as part of the development application package. However, the tarpaulin shed and the water tank are registered in the Heritage and Conservation Register as required under Section 170 of the Heritage Act 1977 and not a matter for Council to assess for the purpose of a development application.

Flood Planning

The subject site has been identified as being at or below the flood planning level. The application has been reviewed by Council's Engineer who raised no objection to the proposal subject to the imposition of relevant conditions of consent.

The proposed development is considered to satisfy the objectives of this clause.

Part 6 – Additional Local Provisions

Acid Sulfate Soils

The subject site is identified as Class 5 and 4 Acid Sulfate Soils and falls within the criteria in the table of subclause 6.1(2) of the LEP. It is noted that no excavation works are proposed to be carried out in the part of the site that is identified to have Class 4 ASS. Excavation forms part of the proposal but is contained within parts of the site that is identified to contain Class 5 ASS and no more than 5m deep. As such, development consent under this clause is considered not required and that the objectives of the clause are satisfied.

Earthworks

The proposal involves significant excavation works with the cut of about 6.5m to the south-western part of the site to accommodate the outdoor nursery that is at the same level as the shops with an RL of 22.00m AHD.

It is considered that the proposed earthworks, supplemented by adequate stormwater management system, are acceptable and will have no detrimental impact on the environmental functions and processes of the land. There will be no envisaged adverse impacts on to neighbouring properties. The earthworks will not have an impact when viewed from Punchbowl Road.

Essential Services

Clause 6.4 of the SLEP 2012 requires consideration to be given to the adequacy of essential services available to the subject site. The subject site is located within a well serviced area and features existing water and electricity connection and access to Council's stormwater drainage system. As such, the subject site is considered to be adequately serviced for the purposes of the proposed development

It is considered that the proposed development satisfies the aims, objectives and development standards, where relevant, of the Strathfield LEP 2012.

(ii) any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority, and

There are no draft planning instruments that are applicable to this site.

(iii) any development control plan,

The proposed development is subject to the provisions of the Strathfield Consolidated Development Control Plan 2005. The following comments are made with respect to the proposal satisfying the objectives and controls contained within Part D – Industrial Development and Part I – Provision of Off-street Parking Facilities.

Part D – Industrial Development

Contamination

As previously discussed, the site has been identified as being contaminated but the proposed use was rendered compatible, subject to compliance with the relevant conditions of consent requested to be imposed by Council's Environmental Health team.

Development Adjoining Residential Zones

While the site does not adjoin a residential zone, the site is across the road from residential dwellings. The proposed development, from the streetscape compatibility perspective, will not be adversely impacted as the proposal will utilise an existing building – the tarpaulin shed and most of the works are inward.

The proposed trading hours are acceptable and relevant conditions of consent are recommended to be imposed to ensure negligible amenity impacts are to occur between the subject site and nearby dwelling houses.

Council's Traffic Engineer raised no concerns about traffic and as such, it is considered that there will be no traffic implications to the local and major road networks.

Built Form, Bulk and Scale

The proposal is considered to have an acceptable built form and streetscape where the existing building on the site is to be utilised and majority of the works are to be inward, retaining the existing streetscape and arguably improving it by refurbishing the dilapidated building.

The bulk and scale of the proposed development generally maintains the existing bulk and scale as it utilises the existing building on site. It reflects the existing and future character of the existing street and surrounding locality.

Building Setback

It is noted that the proposal utilises an existing building with a height of 11.3m and has a setback that is almost on the boundary. The proposal is for the adaptive reuse of the tarpaulin shed that, while it is not heritage-listed in any EPI, it is registered in the heritage and conservation register NSW Ports (owner) to keep as required by the Heritage Act 1977. As such, the proposal, notwithstanding it not having a setback from the street, is acceptable as it is envisaged to be made interesting with its refurbishment.

Energy Efficiency and Water Conservation

Council's DCP requires that collected water from the rainwater tank is to be used for landscape watering and other supplies of non-domestic water (i.e. toilets and machinery). A Water Sensitive Urban Design Strategy Report prepared by Sparks & Partners Consulting Engineers, dated 29 October 2021, has been submitted and demonstrated compliance with the development control. The rainwater to be collected by an 80kL tank is to be reused throughout the development – for irrigation purposes. As such, it is considered that the proposed development satisfies this development control.

Landscaping

The proposal generally satisfies the landscaping requirements of Council. The perimeter of the site is to be landscaped with the exception of the portion of the site where the existing building is situated and built to the boundary, as demonstrated in the submitted landscape plan prepared by Site Design Studios.

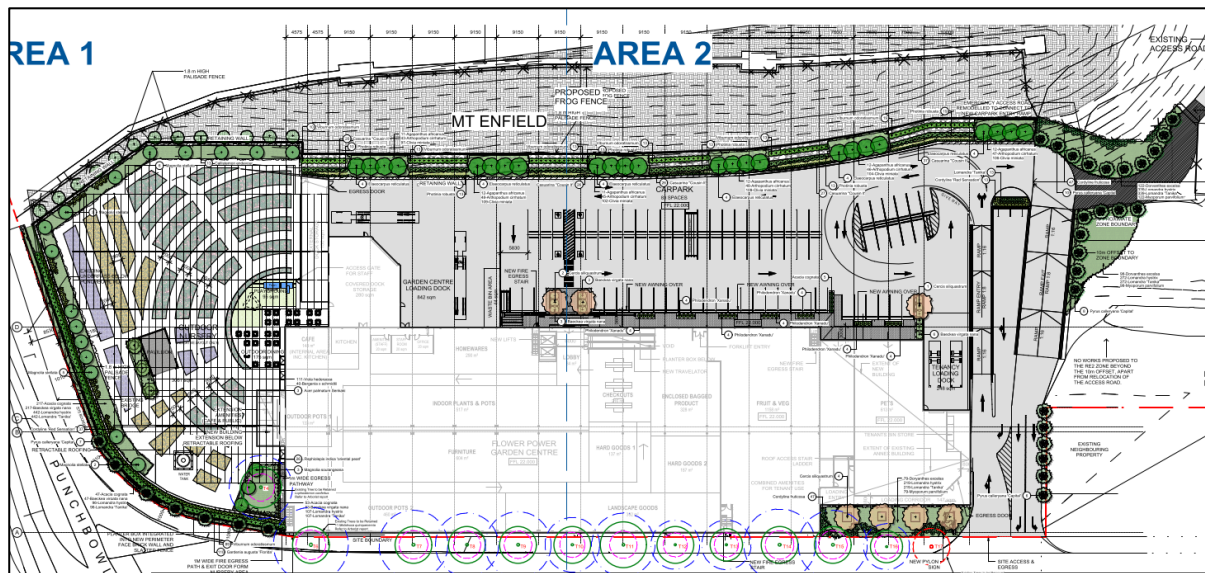


Figure 24. Extract of the landscape plan prepared by Site Design Studios, dated 23 August 2022.

Further to the above, council's controls require a tree to be planted every eight car spaces to provide shade during summer. As such, a condition of consent has been imposed to amend the landscape plan to comply with this development control.

Fencing

The proposal includes a 1.8m high palisade fence with a planter box integrated in front of the fencing. The proposed fencing is acceptable and provides an open form structure at the boundary that also allows for surveillance.

PART H – Waste Management (SCDCP 2005)

In accordance with Part H of Strathfield DCP 2005, a waste management plan was submitted with the application. The plan details measure for waste during demolition and construction, and the on-going waste generated by the development during its use. It is considered that this plan adequately address Part H and considered satisfactory.

PART I – Provision of Off Street Parking

The SCDCP requires at least 403 car parking spaces in accordance with the retail requirement of 6.2 spaces per 100m² of the 6,490m² gross leasable floor area for shops. While a garden centre is a separate land use from a shop, it is the closest use that can be considered for the purpose of car parking.

The proposal involves 389 car parking spaces as per the Traffic and Assessment Report prepared by Transport and Urban Planning Pty Ltd, reference # 15167, dated October 2021, including 10 accessible parking spaces and two for electric vehicles. The electric vehicle parking spaces were requested by Council from the applicant recognising the increased uptake of electric vehicles and providing adequate infrastructure which is also in line with the *NSW State Government Future Transport 2056 – NSW Electric and Hybrid Vehicle Plan*. A condition of consent has been imposed to ensure that the two electric vehicle parking spaces are to be made free for the use of the public.

While the proposed development demonstrates a shortfall of about 14 parking spaces (3.5% variation), the non-compliance is considered acceptable. Council's Traffic Engineer raised no objection to the proposed parking spaces and indicated that it is in accordance with the requirement of the relevant Australian Standard and the RMS Guidelines for Traffic Generating Developments.

It is noted that the proposed parking spaces in the subject development application is a significant improvement to the previous DA for the same development approved by the Court (DA2016/132).

It is considered that the objectives of the DCP relating to car parking have been satisfied and as such, the proposed development is supported in this regard.

(iv) Any matters prescribed by the regulations, that apply to the land to which the development application relates,

The requirements of Australian Standard AS2601–1991: *The Demolition of Structures* is relevant to the determination of a development application for the demolition of a building.

The proposed development involves the partial demolition of a building. Should this application be approved, appropriate conditions of consent may be imposed to ensure compliance with the requirements of the above standard.

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

The proposed development is of a scale and character that is in keeping with other developments being constructed in the locality. Accordingly, the proposal is not considered to have a significant impact on the natural and built environment or any negative social or economic impacts on the locality.

(c) the suitability of the site for the development,

It is considered that the proposed development is of a scale and design that is suitable for the site having regard to its size and shape, its topography, vegetation and relationship to adjoining developments.

(d) any submissions made in accordance with this Act or the regulations,

In accordance with the provisions of Council's Community Participation Plan, the application was placed on neighbour notification for a period of fourteen (14) days where adjoining property owners were notified in writing of the proposal and invited to comment. Three submissions were received raising the following concerns:

1. Land Contamination

Neighbouring council – Canterbury Bankstown, has provided the following comments:

“Council’s Environmental Health team (CB Council) has raised concerns relating to the Remedial Action Plan (RAP) submitted by Geosyntec Consultants dated 21 December 2021.”

“...Strathfield Council required that a detailed site assessment (DSI) be prepared that is specific to the proposed development and include testing, a RAP and methodology for the reshaping of the Mt Enfield portion of the site.”

“Council (CB Council) notes that the majority of the area is situated within the Intermodal Logistics Centre (ILC) Enfield site which was subject to a site audit statement and site audit report.”

“...the subject site to which the RAP applies is located outside this area and a DSI was not undertaken as per Council’s requirements before the RAP was developed.”

“The RAP was prepared on the summary of the previous RAP developed by Coffey Environments (2009b) and not on any new investigations specific to the current proposal. It is also noted that Geosyntec did not have access to the majority of documents provided in the original site audits.”

The matter was referred to Council’s Environmental Health team which recognised CB Council’s submission and imposed relevant conditions of consent such as a site audit to be undertaken and that no works are to commence without the land adequately remediated.

2. Flora and Fauna Assessment

Neighbouring council - Canterbury Bankstown, has provided the following comments:

“Council (CB Council) recommends a Flora and Fauna Assessment be completed to identify the expected direct and indirect impacts of the proposal on biodiversity.”

“The current Green and Golden Bell Frog Conservation measures report does not adequately assess the direct or indirect impacts of the development, including the quantity or quality of runoff from the site and the potential spread of Chytrid Fungus.”

“This report should also include a hygiene protocol and the requirement for pre-clearance assessments.”

As discussed previously in the referrals section of this report, the report from Dr Arthur White was reviewed by Strathfield Council’s Environmental Health Officer who agreed with the report and the recommendations. Relevant conditions of consent are recommended to be imposed by Council’s Environmental Health Officer as a result.

3. Traffic

Neighbouring council - Canterbury Bankstown, has provided the following comments:

“...stagger deliveries throughout the day to mitigate impacts on surrounding residents. This is supported as it would further minimise potential adverse amenity impacts on Canterbury Bankstown Council residents, but does not seem to be reflected in the plan of management.”

“This should be included in the plan of management to ensure any negative impacts from heavy vehicle movements and deliveries are avoided.”

Neighbouring residents opposite the subject site provided objection to the proposal mainly due to traffic and the following comments are provided to Council:

“...in the afternoon peak hour the traffic is already lined up in front of our property waiting for the traffic lights (this makes it hard to enter or leave our driveway).”

“...traffic on Cosgrove Road will only increase more than it already is.”

“...the volume of cars and other vehicles will create chaotic traffic jams throughout the day with vehicles coming in and out of the lot. This will greatly disturb the residential neighbours due to high noise levels and high pollution levels.”

The traffic matters and traffic report were assessed by Council's Traffic Engineer who raised no objection to the proposed development and recommended support to the proposal as it satisfies the DCP, AS2890.1 and the RMS Guidelines for Traffic Generating Developments. An on-going condition of consent is recommended to ensure that there will be no vehicles standing on the public road waiting to turn to the subject site.

(e) the public interest.

The proposed development is of a scale and character that does not conflict with the public interest.

Local Infrastructure Contributions

Section 7.13 of the EP&A Act 1979 relates to the collection of monetary contributions from applicants for use in developing key local infrastructure. This section prescribes in part as follows:

A consent authority may impose a condition under section 7.11 or 7.12 only if it is of a kind allowed by, and is determined in accordance with, a contributions plan (subject to any direction of the Minister under this Division).

STRATHFIELD DIRECT SECTION 7.11 CONTRIBUTIONS PLAN

Section 7.11 Contributions are applicable to the proposed development in accordance with the Strathfield Direct Development Contributions Plan 2010-2030 as follows:

Provision of Community Facilities	\$ 0.00
Provision of Major Open Space	\$ 375,065.21
Provision of Local Open Space	\$ 82,583.17
Provision Roads and traffic Management	\$ 0.00
Administration	\$ 20,388.61
TOTAL	\$ 478,036.99

The contributions was calculated with the additional retail floorspace and a credit given for the existing building – the footprint of the tarpaulin shed.

Conclusion

The application has been assessed having regard to the Heads of Consideration under Section 4.15 (1) of the Environmental Planning and Assessment Act 1979, the provisions of the SLEP 2012 and SCDGP 2005.

Following detailed assessment it is considered that Development Application No. 2022/68 should be approved subject to the conditions of consent.



Signed:

P Santos
Senior Planner

Date: 18 October 2022

- ☒ I confirm that I have assessed the abovementioned development application with the delegations assigned to my position.
- ☒ I have reviewed the details of this development application and I also certify that Section 7.11/7.12 Contributions are applicable to this development and have been levied accordingly.

Report and recommendations have been peer reviewed by:



Signed:

G Andonoski
Landuse Planning & Operations Coordinator

Date: 20 October 2022

That Development Application No. DA2022.68 for alterations, additions, fit out and use of the former tarpaulin shed for the purposes of a garden centre with cafe and ancillary vegetable shop and pet store, and car parking containing a total of 389 car parking spaces at 0 Cosgrove Road Strathfield South be **APPROVED**, subject to the following conditions:

The following conditions of consent are imposed for the following reasons:

- (a) To ensure compliance with the terms of the relevant Environmental Planning Instrument and/or Building Code of Australia and/or Council's codes, policies and specifications.
- (b) To protect the environment.
- (c) To ensure that there is no unacceptable impact on the amenity of the area, or to private and public property.
- (d) It is in the public interest.

DEVELOPMENT DETAILS

1. Approved Plans & Documentation

The development must be implemented in accordance with the approved plans and supporting documentation listed below which have been endorsed by Council's approved stamp, except where marked up on the plans and/or amended by conditions of this consent:

Description	Reference No.	Date	Rev	Prepared by
Existing & Demolition Site Plan – Roof/Aerial	A01.01	05/08/2022	B	BN Group
Proposed Site Plan – Roof/Aerial	A01.02	05/08/2022	B	BN Group
Proposed Floor Plan – Undercroft	A02.01	05/08/2022	B	BN Group
Proposed Floor Plan – Parking & Building	A02.02	05/08/2022	B	BN Group
Proposed Roof Plan	A02.03	05/08/2022	B	BN Group
Roof Plan – Outdoor Nursery	A02.04	05/08/2022	B	BN Group
Proposed Building Elevations	A09.01	05/08/2022	B	BN Group
Proposed Building Sections	A11.01	05/08/2022	B	BN Group
Proposed Building Sections	A11.02	05/08/2022	B	BN Group
Detail Sections	A11.03	05/08/2022	B	BN Group
Proposed Materials and Finishes	A70.01	18/11/2021	A	BN Group
Signage Plan	A100.20	18/11/2021	B	BN Group
Landscape Plan	-	23/08/2022	H	Site Design + Studios

Site Landscape Plan (site)	15-830	23/08/2022	A/8	Site Design + Studios
Site Landscape Plan (outdoor nursery)	15-830	23/08/2022	A/8	Site Design + Studios
Site Landscape Plan (driveway & parking area)	15-830	23/08/2022	A/8	Site Design + Studios
Site Landscape Plan (undercroft parking area)	15-830	23/08/2022	A/8	Site Design + Studios
Arboricultural Impact Assessment	25005	8/08/2022	1	UTM Urban Tree Management
Access Review	-	26/11/2021	Final	Morris Goding Access Consulting
Civil Design Specification Sheet	DA1201	29/10/2021	1	Sparks + Partners Consulting Engineers
Civil Design Concept Sediment & Erosion Control Plan	DA2101	12/11/2021	2	Sparks + Partners Consulting Engineers
Civil Design Concept Sediment & Erosion Control Details	DA2701	29/10/2021	1	Sparks + Partners Consulting Engineers
Civil Design Concept Bulk Earthworks Cut to Fill Plan	DA3101	12/11/2021	4	Sparks + Partners Consulting Engineers
Civil Design Concept Bulk Earthworks Contour Plan	DA3201	12/11/2021	3	Sparks + Partners Consulting Engineers
Civil Design Concept Bulk Earthworks Sections	DA3501	29/10/2021	3	Sparks + Partners Consulting Engineers
Civil Design Concept Stormwater & Grading Plan –	DA4101	12/11/2021	3	Sparks + Partners Consulting Engineers

Undercroft				
Civil Design Concept Stormwater & Grading Plan – Ground	DA4102	12/11/2021	3	Sparks + Partners Consulting Engineers
Civil Design Concept Stormwater Catchment Plan	DA4301	29/10/2021	1	Sparks + Partners Consulting Engineers
Civil Design Concept Stormwater Management Details	DA4701	29/10/2021	1	Sparks + Partners Consulting Engineers
Civil Design Concept Stormwater OSD Tank Details Sheet 1	DA4711	12/11/2021	2	Sparks + Partners Consulting Engineers
Civil Design Concept Stormwater OSD Tank Details Sheet 2	DA4712	12/11/2021	2	Sparks + Partners Consulting Engineers
Geotechnical Investigation and Stability Assessment	R.001.Rev1	27/08/2021	1	Douglas Partners
Operational Plan of Management	-	-	-	Flower Power
ESD Report	SYD21697	-	-	Erbas
Green and Golden Bell Frog Conservation Measures (Tarpaulin Shed Site Enfield)	-	-	-	Biosphere Environmental Consultants Pty Ltd (Dr. Arthur White)
Noise Impact Assessment	20210962.1	15/09/2021	0	Acoustic Logic
Waste Management Plan	-	15/12/2021	7	Foresight Environmental
Remedial Action Plan	21163 R1	21/12/2021	1	Geosyntec Consultants

Water Sensitive Urban Design Strategy Report	21213	29/10/2021	2	Sparks + Partners Consulting Engineers
BCA Assessment Report	210560	27/11/2021	1	Blackett Maguire + Goldsmith

SEPRARATE APPROVALS REQUIRED UNDER OTHER LEGISLATION

2. Section 138 Roads Act 1993 and Section 68 Local Government Act 1993

Unless otherwise specified by a condition of this consent, this Development Consent does not give any approval to undertake works on public infrastructure.

Separate approval is required under Section 138 of the [Roads Act 1993](#) and/or Section 68 of the [Local Government Act 1993](#) for any of the following activities carried out in, on or over a public road (including the footpath) listed below.

An application is required to be lodged and approved prior to the commencement of any of the following works or activities;

- (a) If any excavation is to be supported by the use of below ground (cable) anchors that are constructed under Council's roadways/footways.
- (b) Swinging or hoisting goods over any part of a public road by means of a lift, crane or the like;
- (c) Establishing a "works zone";
- (d) Placing or storing materials or equipment;
- (e) Placing or storing waste containers or skip bins;
- (f) Stormwater & ancillary to public infrastructure on private land
- (g) Erecting a structure or carrying out work

These separate activity approvals (a)-(g) must be obtained and evidence of the approval provided to the Certifying Authority prior to the issue of the Construction Certificate.

- (h) Pumping water from the site into the public road;
- (i) Constructing a vehicular crossing or footpath;
- (j) Digging up or disturbing the surface of a public road (e.g. Opening the road for the purpose of connections to utility providers);
- (k) Stormwater & ancillary works in the road reserve; and
- (l) Pumping concrete from a public road;

These separate activity approvals must be obtained and evidence of the approval provided to the Certifying Authority prior to the activities commencing.

The relevant Application Forms for these activities can be downloaded from Council's website www.strathfield.nsw.gov.au. For further information, please contact Council's Customer Service Centre on (02) 9748 9999.

3. Below Ground Anchors – Information to be Submitted with S68 Application under LGA 1993 and S138 Application under Roads Act 1993

In the event that the excavation associated with the basement carpark is to be supported by the use of below ground (cable) anchors that are constructed under Council's roadways/footways, an application must be lodged with Council under Section 68 of the [Local Government Act 1993](#) and the [Roads Act 1993](#) for approval, prior to commencement of those works. The following details must be submitted.

- (a) That cable anchors will be stressed released when the building extends above ground level to the satisfaction of Council.
- (b) The applicant has indemnified Council from all public liability claims arising from the proposed works, and provide adequate insurance cover to the satisfaction of council.
- (c) Documentary evidence of such insurance cover to the value of \$20 million.
- (d) The applicant must register a non-terminating bank guarantee in favour of Council for the amount of \$20,000.

The guarantee will be released when the cables are stress released. In this regard it will be necessary for a certificate to be submitted to Council from a structural engineer at that time verifying that the cables have been stress released.

- (e) That in the event of any works taking place on Council's roadways/footways adjoining the property while the anchors are still stressed, all costs associated with overcoming the difficulties caused by the presence of the 'live' anchors will be borne by the applicant.

4. Vehicular Crossing – Major Development

The following vehicular crossing and road frontage works will be required to facilitate access to and from the proposed development site:

- (a) Construct a 1.2m metre wide footpath for the full length of the frontage of the site in Punchbowl Road in accordance with Council's Specifications applying at the time construction approval is sought and It needs to discussed and get it endorsed by Council's tree officer before the footpath works further to the arborist report as the tree roots might have an impact on the proposed footpath construction .
- (b) The thickness and design of the driveway shall be in accordance with Council's Specifications applying at the time construction approval is sought. The driveway thickness is 200mm with SL 102 double reinforced in two layers both top and bottom with 50mm cover, 25 Mpa concrete.

- (c) Construct a new 150mm high concrete kerb with 450mm wide gutter for the full frontage(s) of the site in Cosgrove Road and Punchbowl Road in accordance with Council's Specifications for kerb and guttering, applying at the time construction approval is sought. For works along Cosgrove Road, the proponent is to engage Council's Urban Forest Supervisor for any potential impacts this may have to the street trees along Cosgrove Road.
- (d) Any existing vehicular crossing and/or laybacks which are redundant must be removed. The kerb and gutter, any other footpath and turf areas shall be restored at the expense of the applicant. The work shall be carried out in accordance with Council's specification, applying at the time construction approval is sought.
- (e) Nature strip has to be turfed with top soil and fertilisation and watering as required.

Constructing a vehicular crossing and/or footpath requires separate approval under Section 138 of the [Roads Act 1993](#), prior to the commencement of those works.

To apply for approval, complete the *Works Permit Application Form* which can be downloaded from Strathfield Council's Website at www.strathfield.nsw.gov.au. Lodge the application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Civic & Urban Services Section in Council's adopted *Fees and Charges* for the administrative and inspection charges associated with *Works Permit* applications.

An approval for civil works will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out in accordance with Council's specifications applicable at the time, prior to the issue of an Occupation Certificate.

REQUIREMENTS OF CONCURRENCE, INTEGRATED & OTHER GOVERNMENT AUTHORITIES

5. Sydney Water – Tap in™

The approved plans must be submitted to a Sydney Water Tap in™ to determine whether the development application will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately endorsed. For details please refer to 'Plumbing, building and developing' section of Sydney Water's web site at www.sydneywater.com.au then see 'Building', or telephone 13000 TAP IN (1300 082 746). The Certifying Authority must ensure that a Tap in™ agent has appropriately stamped the plans prior to the issue of the Construction Certificate.

6. Road Authority Approval - TfNSW

The road authority's approval is to be obtained prior to the issue of the construction certificate and shall be provided to the Principal Certifying Authority.

7. Sydney Trains (TfNSW)

- During all stages of the development the Applicant must take extreme care to prevent any form of pollution entering the rail corridor. Any form of pollution that arises as a consequence of the development activities shall remain the full responsibility of the Applicant.

- Excess soil is not allowed to enter, be spread, or stockpiled within the rail corridor (and its easements) and must be adequately managed/disposed of.
- The Applicant must ensure that all drainage from the development is adequately disposed of and managed and not allowed to be discharged into the rail corridor unless prior written approval has been obtained from Sydney Trains.
- The Applicant is to ensure that the development incorporates appropriate anti-graffiti measures, to the satisfaction of Sydney Trains.
- Prior to the issuing of a Construction Certificate, the following final version rail specific items are to be submitted to Sydney Trains for review, comment, and written endorsement:
 - Machinery to be used during excavation/construction.
 - Demolition, excavation, and construction methodology and staging.
- The Principal Certifying Authority is not to issue the Construction Certificate until it has received written confirmation from Sydney Trains that this condition has been complied with.
- Prior to the commencement of any works appropriate fencing must be in place along the rail corridor to prevent unauthorised access to the rail corridor during construction works. Details of the type of fencing and the method of erection are to be to the satisfaction of Sydney Trains prior to the fencing work being undertaken.
- The development shall have appropriate fencing fit for the future usage of the development site to prevent unauthorised access to the rail corridor by future occupants of the development. Prior to the issuing of an Occupation Certificate the Applicant shall liaise with Sydney Trains regarding the adequacy of any existing fencing along the rail corridor boundary or design and construction of new fencing. Details of the type of new fencing to be installed and the method of erection are to be to the satisfaction of Sydney Trains prior to the fencing work being undertaken.
- Sydney Trains or Transport for NSW (TfNSW), and persons authorised by those entities for the purpose of this condition, must be permitted to inspect the site of the development and all structures to enable it to consider whether those structures have been or are being constructed and maintained in accordance with the approved plans and the requirements of this consent, on giving reasonable notice to the principal contractor for the development or the owner or occupier of the part of the site to which access is sought.
- Prior to the issuing of an Occupation Certificate the Applicant is to submit as-built drawings to Sydney Trains and Council. The as-built drawings are to be endorsed by a Registered Surveyor confirming that there has been no encroachment into TAHE (Transport Asset Holding Entity) property or easements, unless agreed to by TAHE (Transport Asset Holding Entity). The Principal Certifying Authority is not to issue the final Occupation Certificate until written confirmation has been received from Sydney Trains confirming that this condition has been satisfied.
- No work is permitted within the rail corridor or any easements which benefit Sydney Trains/TAHE (Transport Asset Holding Entity), at any time, unless the prior approval of, or an Agreement with, Sydney Trains/TAHE (Transport Asset Holding Entity) has been obtained by the Applicant. The Principal Certifying Authority is not to issue the Construction Certificate until written confirmation has been received from Sydney Trains confirming that this condition has been satisfied.

- Copies of any certificates, drawings, approvals/certification, or documents endorsed by, given to, or issued by Sydney Trains or TAHE (Transport Asset Holding Entity) must be submitted to Council for its records prior to the issuing of the applicable Construction Certificate or Occupation Certificate.
- The Applicant must ensure that at all times they have a representative (which has been notified to Sydney Trains in writing), who:
 - oversees the carrying out of the Applicant's obligations under the conditions of this consent and in accordance with correspondence issued by Sydney Trains;
 - acts as the authorised representative of the Applicant; and
 - is available (or has a delegate notified in writing to Sydney Trains that is available) on a 7 day a week basis to liaise with the representative of Sydney Trains, as notified to the Applicant.
- Without in any way limiting the operation of any other condition of this consent, the Applicant must, during demolition, excavation and construction works, consult in good faith with Sydney Trains in relation to the carrying out of the development works and must respond or provide documentation as soon as practicable to any queries raised by Sydney Trains in relation to the works.
- Where a condition of consent requires consultation with Sydney Trains, the Applicant shall forward all requests and/or documentation to the relevant Sydney Trains External Interface Management team. In this instance the relevant interface team is Central Interface, and they can be contacted via email on Central_Interface@transport.nsw.gov.au.

PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

8. Erosion & Sedimentation Control

Erosion and sediment controls must be provided to ensure:

- (a) Compliance with the approved Erosion & Sediment Control Plan
- (b) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval)
- (c) All clean water run-off is diverted around cleared or exposed areas
- (d) Silt fences, stabilised entry/exit points or other devices are installed to prevent sediment from entering drainage systems or waterways
- (e) All erosion and sediment controls are fully maintained for the duration of demolition, excavation and/or development works
- (f) Controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadway
- (g) All disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar

- (h) Compliance with [Managing Urban Stormwater – Soils and Construction \(Blue Book\) produced by Landcom 2004.](#)

These measures are to be implemented prior to the commencement of work (including demolition and excavation) and must remain until works are completed and all exposed surfaces are landscaped/sealed.

9. **Stormwater System**

The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system in accordance with Council stormwater management code and AS/NZS 3500.3: 2015 (as amended), prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

10. **On Site Detention**

The submitted stormwater plan has been assessed as a concept plan only. Final detailed plans of the drainage system, prepared by a professional engineer specialising in hydraulic engineering, shall be submitted for approval with the Construction Certificate.

An on-site detention (OSD) facility designed by a professional engineer who specialises in Hydraulic Engineering must be designed, approved and installed. The design must include the computations of the inlet and outlet hydrographs and stage/storage relationships of the proposed OSD using the following design parameters:

- (a) peak flow rates from the site are to be restricted to a permissible site discharge (PSD) equivalent to the discharge when assuming the site contained a single dwelling, garage, lawn and garden,
- (b) at Annual Recurrence Intervals of 2 years, 10 years and 100 years.

The OSD facility shall be designed to meet all legislated safety requirements and childproof safety fencing around the facility must be provided where the OSD facility is open or above ground when the design peak storage depth is greater than 300mm. A durable metal plate or similar sign is to be placed at the OSD facility and must bear the words:

"BEWARE: This is an on-site detention basin/tank for rainwater which could overflow during heavy storms."

Full details shall accompany the application for the Construction Certificate.

11. **Detailed Stormwater Drainage Design**

The submitted stormwater plan has been assessed as a concept plan only. A detailed drainage design supported by a catchment area plan and drainage calculations (including a Hydraulic Grade Line Analysis) in accordance with Council's Stormwater Management Code must be submitted with the Construction Certificate application.

12. **Water Sustainability – Water Sensitive Urban Design**

Details of the Water Sensitive Urban Design (WSUD) components (stormwater treatment measures) shall be submitted to and approved by the Principal Certifying Authority prior to the issue of a Construction Certificate. Details shall demonstrate compliance with the water conservation and stormwater quality targets set out under Sections 3.1 and 3.2 respectively under Part N of the SCDP 2005, and be prepared by a suitably qualified professional engineer.

13. Stormwater Drainage Plan Details

Stormwater drainage plans including pipe sizes, type, grade, length, invert levels, dimensions and types of drainage pits prepared by a professional engineering specialising in hydraulic engineering shall be submitted with the Construction Certificate application.

These plans shall be prepared in accordance with the Australian Institute of Engineers Australian Rainfall and Runoff (1987) and Council's Stormwater Management Code.

14. Off Street Parking – Compliance with AS2890

All driveways, access ramps, vehicular crossings and car parking spaces shall be designed and constructed in accordance with the current version of Australian Standards, AS 2890.1 (for car parking facilities), AS 2890.6 (parking for people with disabilities) and AS 2890.2 (for commercial vehicle facilities).

15. Construction Traffic Management Plan

A Construction Traffic Management Plan detailing:

- (a) construction vehicle routes;
- (b) anticipated number of trucks per day;
- (c) hours of construction;
- (d) Access arrangements; and
- (e) Proposed traffic measures to minimise impacts of construction vehicles

must be submitted for the approval of Council's Engineers. Council's Engineers must specify in writing that they are satisfied with the Traffic Management Plan prior to the issue of the Construction Certificate.

16. Fees to be Paid

The fees listed in the table below must be paid in accordance with the conditions of this consent and Council's adopted Fees and Charges applicable at the time of payment (available at www.strathfield.nsw.gov.au).

Payments must be made prior to the issue of the Construction Certificate or prior to the commencement of work (if there is no associated Construction Certificate).

Please contact council prior to the payment of s7.11 or s7.12 Contributions to determine whether the amounts have been indexed from that indicated below in this consent and the form of payment that will be accepted by Council.

A summary of the fees to be paid are listed below:

Fee Type	Fee
GENERAL FEES	
Long Service Levy (to Long Service Corporation) Or, provide evidence of Payment direct to the Long Service Corporation. See https://portal.longservice.nsw.gov.au/bci/levy/	\$ 79,488.00
Security Damage Deposit	\$ 33,000.00
Tree Bond	\$ 223,300.00
Administration Fee for Damage Deposit	\$ 130.00
Administration Fee for Tree Bond	\$ 130.00
DEVELOPMENT CONTRIBUTIONS	
Strathfield Section 94 Development Contributions - Roads and Traffic Management	\$ 0.00
Strathfield Section 94 Development Contributions – Local Open Space	\$ 82,583.17
Strathfield Section 94 Development Contributions – Major Open Space	\$ 375,065.21
Strathfield Section 94 Development Contributions – Community Facilities	\$ 0.00
Strathfield Section 94 Development Contributions - Administration	\$ 20,388.61
Total Section 94 Contributions:	\$ 478,036.99

General Fees

The fees and charges above are subject to change and are as set out in the version of Council's Schedule of Fees and Charges or as required by other Government Authorities, applicable at the time of payment.

Development Contributions

The Section 7.11 contribution (s94) is imposed to ensure that the development makes adequate provision for the demand it generates for public amenities and public services within the area.

A Section 7.12 contribution has been levied on the subject development pursuant to the Strathfield Section 94A Indirect Development Contributions Plan.

Indexation

The above contributions will be adjusted at the time of payment to reflect changes in the cost of delivering public amenities and public services, in accordance with the indices provided by the relevant Development Contributions Plan.

Timing of Payment

The contribution must be paid and receipted by Council prior to the release of the Construction Certificate.

Further Information

A copy of the *current Development Contributions Plans* may be inspected at Council's Customer Service Centre at 65 Homebush Road, Strathfield or on Council's website www.strathfield.nsw.gov.au.

17. Tree Bond

A tree bond (Tree 6,7,8,9,10,11,12,13,14,15,16) – *Melaleuca quinquenervia* - \$20,300.00 (each) street trees of \$223,300.00 and administration fee of \$130.00 (calculated in accordance with Council's adopted Fees and Charges) shall be paid to Council, prior to the issue of a Construction Certificate.

The deposit is required as security against any damage to existing trees to be retained on Council's road reserve, during works on the site. The applicant must bear the cost of all restoration works to Council's property damaged during the course of this development.

A sound protection barrier anchored firmly into the ground 1.8m in height x 2 metres clear of the base of the tree at any one point and that the fence is to extend up to the back of the kerb and to the edge of the footpath.

Payment may be accepted in the form of cash, bank guarantee, cheque or credit card (financial transactions fees apply). Note: Additional fees apply for the lodgement of a bank guarantee in lieu of cash bond applies in accordance with Council's adopted Fees and Charges.

A request for refund of the Tree Bond must be made in writing.

Tree Bonds may be forfeited if a tree is dead, made dangerous or has been terminally damaged, or will be held until tree/s have fully recovered from the construction damage or were replacement/planted trees have become fully established and are over 6 metres in height.

18. Tree Removal/Pruning Prohibited

This consent does not approve the removal or pruning (branches or roots) of any trees on the subject property, Council's public footway, public reserves or on neighbouring properties, except when approved in the conditions of consent.

19. Compliance with Submitted Arborist Report

The recommendations outlined in the revised Arborist's Report titled **Arboricultural Impact Report** prepared by **UTM** on 8th August 2022 must be implemented throughout the relevant stages of construction. Details of tree protection measures to be implemented must be detailed and lodged with the Construction Certificate application for approval and shall be in accordance with Section 4 - *Australian Standard AS 4970-2009: Protection of trees on development sites*.

The tree/s to be protected are listed in the table below.

Tree No	Tree Species	Location of Tree	Tree Protection Zone (TPZ)
4	Lophostemon confertus	127 Cosgrove Road	6.6 metres
6	Melaleuca quinquenervia	127 Cosgrove Road	7.8 metres
7	Melaleuca quinquenervia	127 Cosgrove Road	7.2 metres
8	Melaleuca quinquenervia	127 Cosgrove Road	6.6 metres
9	Melaleuca quinquenervia	127 Cosgrove Road	6.9 metres
10	Melaleuca quinquenervia	127 Cosgrove Road	5.7 metres
11	Melaleuca quinquenervia	127 Cosgrove Road	6.6 metres
12	Melaleuca quinquenervia	127 Cosgrove Road	5.1 metres
13	Melaleuca quinquenervia	127 Cosgrove Road	5.16 metres
15	Melaleuca quinquenervia	127 Cosgrove Road	7.5 metres
16	Melaleuca quinquenervia	127 Cosgrove Road	7.2 metres
18	Melaleuca quinquenervia	127 Cosgrove Road	4.8 metres

Details of the trees to be retained must be included on the Construction Certificate plans.

General Tree Protection Measures

- All trees to be retained shall be protected and maintained during demolition, excavation and construction of the site.
- The tree protection measures must be undertaken in accordance *AS4970 -2009 Protection of trees on development sites*.
- Details of the tree protection measures to be implemented must be provided with the application for a Construction Certificate by a suitably qualified Arborist (AQF Level 5 or above in Arboriculture).
- The Arborist must be present on-site during the stages of construction when works are being undertaken that could impact on the tree canopy or root zone within the tree protection zone to implement the tree protection measures as required.
- Unless otherwise specified in AS 4970-2009, a protective fence consisting of 1.8 metres high, fully supported chainmesh fence shall be erected around the base of the tree. The distance of the fence from the base of each tree is to be in accordance with the TPZ listed in the table above. A layer of organic mulch 100 millimetres thick shall be placed over the protected area and no soil or fill should be placed within the protection area.

No services shall be installed within the TPZ of the tree unless approved by Council. This fence shall be kept in place during demolition, construction and also have a sign displaying 'Tree Protection Zone' attached to the fence and must also include the name and contact details of the Project Arborist.

Specific Street Tree Protection Measures

- (a) A sound protection barrier anchored firmly into the ground 1.8m in height x 2 metres clear of the base of the tree at any one point and that the fence is to extend up to the back of the kerb and to the edge of the footpath.

Excavation works near tree to be retained

- (b) Excavations around the trees to be retained on site or the adjoining properties shall be supervised by the Project Arborist to ensure that the root system will not adversely be affected.
- (c) Where the Tree Protection Zone (TPZ) of trees on site or adjoining sites become compromised by any excavation works, the Project arborist shall be consulted to establish the position of any major roots and determine the necessary measures to protect these roots. The recommendations of the Arborist shall be submitted to Council prior to any further demolition or construction works taking place.
- (d) Tree Protection Zone around the trees to be retained are not to have soil level changes or services installed in this area. Any structures proposed to be built in this area of the trees are to utilise pier and beam or cantilevered slab construction.

Details satisfying this condition shall be shown on the Construction Certificate plans.

20. Tree Removal & Replacement

Tree removal

Permission is granted for the removal of the following trees:

Tree No	Tree Species	Number of trees	Location
1	Cinnamomum camphora	1	127 Cosgrove Road
2	Cinnamomum camphora	1	127 Cosgrove Road
3	Cinnamomum camphora	1	127 Cosgrove Road
5	Cinnamomum camphora	1	127 Cosgrove Road
17	Melaleuca quinquenervia	1	127 Cosgrove Road
18	Lophostemon confertus	1	127 Cosgrove Road

General Tree Removal Requirements

All tree removal shall be carried out by a certified Tree Surgeon/Arborist to ensure that removal is undertaken in a safe manner and complies with the AS 4373-2007 - Pruning of Amenity Trees and Amenity Tree Industry Code of Practice (Safework NSW, August 1998).

21. Landscape Plans

All landscape works shall be carried out in accordance with the approved landscape plans. The landscaping shall be maintained in accordance with the approved plans in perpetuity.

22. Damage Deposit – Minor Works

In order to insure against damage to Council property the following is required:

- (a) Pay Council, before the issue of the Construction Certificate, a damage security deposit for the cost of making good any damage caused to any Council property as a result of the development: \$33,000.00
- (b) Pay Council, before the issue of the Construction Certificate, a non-refundable administration fee to enable assessment of any damage and repairs where required: \$130.00
- (c) Submit to Council, before the commencement of work, a photographic record of the condition of the Council nature strip, footpath and driveway crossing, or any area likely to be affected by the proposal.

At the completion of work Council will inspect the public works, and the damage deposit will be refunded in full upon completion of work where no damage occurs. Otherwise the amount will be either forfeited or partly refunded according to the amount of damage.

23. Site Management Plan

Major Development

A Site Management Plan must be submitted with the application for a Construction Certificate, and include the following:

- (a) location of protective site fencing;
- (b) location of site storage areas/sheds/equipment;
- (c) location of building materials for construction, e.g. stockpiles
- (d) provisions for public safety;
- (e) dust control measures;
- (f) method used to provide site access location and materials used;
- (g) details of methods of disposal of demolition materials, according to Waste Management Plan and which should be used or recycled wherever practicable;
- (h) method used to provide protective measures for tree preservation;
- (i) provisions for temporary sanitary facilities;
- (j) location and size of waste containers/skip bins, according to the Waste Management Plan and including resource recovery methods;
- (k) details of proposed sediment and erosion control measures;
- (l) method used to provide construction noise and vibration management;
- (m) construction and demolition traffic management details.

The site management measures are to be implemented prior to the commencement of any works including demolition and excavation. The site management measures are to be maintained throughout the works, to maintain reasonable levels of public health, safety and amenity. A copy of the Site Management Plan must be kept on site and is to be made available upon request.

24. **Low Reflectivity Roof**

Roofing materials must be low glare and reflectivity. Details of finished external materials including colours and texture must be provided to the Certifying Authority.

25. **Fire Safety Measures**

Prior to the issue of a construction certificate a list of the existing and proposed essential fire safety measures that are to be provided in relation to the land and any building on the land as a consequence of the building work must accompany an application for a construction certificate, which is required to be submitted to either Council or a Principal Certifier. Such list must also specify the minimum standard of performance for each essential fire safety measure included in the list. The Council or Principal Certifier will then issue a Fire Safety Schedule for the building.

26. **Structural Details**

Engineer's details prepared by a practising Structural Engineer being used to construct all reinforced concrete work, structural beams, columns & other structural members. The details are to be submitted to the Principal Certifying Authority for approval prior to construction of the specified works.

A copy shall be forwarded to Council where Council is not the Principal Certifier.

27. **Engineer's Certificate**

A certificate from a professional Engineer specialising in structural engineering certifying the structural adequacy of the existing structure, to support all proposed additional superimposed loads shall be submitted to the Certifying Authority prior to the issue of the Construction Certificate.

28. **Access for Persons with a Disability**

Access and sanitary facilities for persons with disabilities must be provided to the premises/building in accordance with the requirements of the Premises Standards, the Building Code of Australia, and AS 1428.1. Details must be submitted with the Construction Certificate Application for approval.

29. **Commonwealth Disability (Access to Premises) Standard**

The Commonwealth Disability (Access to Premises - Buildings) Standards 2010 (the Premises Standards) applies to all applications (i.e. Construction Certificate). This requires any new building, part of a building and the affected part of the existing building to comply with the Premises Standards, the Building Code of Australia and AS 1428.

30. **Geotechnical Report**

Geotechnical Reports: The applicant must submit a Geotechnical Report, prepared by a professional engineer specialising in geotechnical engineering who holds the relevant Certificate of accreditation as required under the *Building Professionals Act 2005* in relation to dilapidation reports, all site works and construction. This is to be submitted before the issue of the Construction Certificate and is to include:

- (a) Investigations certifying the stability of the site and specifying the design constraints to be placed on the foundation, any earthworks/stabilization works and any excavations.

- (b) Dilapidation Reports on the adjoining properties including, but not limited to (address) and (address) prior to any excavation of site works. The Dilapidation Report is to include assessments on, but not limited to, the dwellings at those addresses and any external paths, grounds etc. This must be submitted to the Principal Certifier and the adjoining residents as part of the application for the Construction Certificate. Adjoining residents are to be provided with the report five (5) working days prior to any works on the site.
- (c) On-site guidance by a vibration specialist during the early part of excavation.
- (d) Measures to minimise vibration damage and loss of support to other buildings. Where possible any excavation into rock is to be carried out with tools such as rock saws which reduce vibration to adjoining buildings and associated structures. Where a hydraulic hammer is to be used within 30 metres of any building (other than a path or a fence) the report shall detail the maximum size of hammer to be used and provide all reasonable recommendations to manage impacts.
- (e) Sides of the excavation are to be pierced prior to any excavation occurring to reinforce the walls of the excavation to prevent any subsidence to the required setbacks and neighbouring sites.

31. **Total Conformity with the BCA – Clause 62 and 64 EP& A Regulation 2021**

Pursuant to Clause 62 AND 64 of the [Environmental Planning and Assessment Regulation 2021](#), the existing building must be brought into total conformity with the Building Code of Australia. In this regard, construction plans that demonstrate compliance with the Building Code of Australia must be submitted to the Certifying Authority with the Construction Certificate application for approval.

Should there be any non-compliance, and an alternative method of fire protection and structural capacity is proposed, a detailed report, plans and supporting documents prepared by an appropriately accredited and qualified fire consultant having specialist qualifications in fire engineering must be submitted, justifying the non-compliances.

32. **Waste Management Plan**

A Waste Management Plan incorporating all requirements in respect of the provision of waste storage facilities, removal of all materials from the site that are the result of site clearing, extraction, and, or demolition works and the designated Waste Management Facility shall be submitted to the Certifying Authority prior to the issue of any Construction Certificate.

WMP should also indicate how waste education will be provided, in order to minimise waste disposal, contamination and to increase recycling. Educational signage is to be installed in waste rooms and commons areas.

[EPA's Better Practice Guide for Waste Management in Multi-unit Dwellings](#) and [Better Practice Guidelines for Waste Management and Recycling in Commercial and Industrial Facilities](#) should be used to inform design and waste management outcomes in new and existing development.

33. **Onsite Waste Collection**

Development for the purposes of multi-unit housing, residential flat buildings, serviced apartments, boarding houses, mixed use and commercial developments must provide onsite underground or at-grade collection of waste, which must comply with the requirements contained within Part H of Strathfield Development Control Plan 2005 (DCP 2005).

Waste servicing and collection arrangements should be clearly depicted and annotated on architectural drawings, which should indicate adequate turning circles to allow collection vehicles to enter and exit the site in a forward direction.

34. **Commercial and Industrial Waste**

Appropriate waste and recycling containers and facilities will need to be provided according to Waste Management Plan for all specific end use businesses in accordance with the waste generation rates provided at Part H of Strathfield Council DCP 2005 – Appendix B.

WMP should also provide written evidence of valid contracts for the regular collection and disposal of waste and recyclables generated on the site. The private waste contractor must confirm the frequency of the waste collections (general waste, recycling and bulky goods), and that the size and location of the storage room is suitable for the frequency of the waste collections.

The collection of commercial and industrial waste and recycling must only occur between 6.00am and 8.00pm weekdays and 9.00am and 5.00pm on weekends and public holidays, to avoid noise disruption to the surrounding area. All garbage and recyclable matter must be enclosed in the waste bins with lids completely closed at all times.

Waste education must be provided through signs in common areas indicating how to avoid, reduce, reuse and recycle waste.

Note: Refer to the EPA's [Better Practice Guidelines for Waste Management and Recycling in Commercial and Industrial Facilities](#)

35. **Contamination Site Assessment**

Prior to an accredited certifier issuing a construction certificate, a detailed site investigation and remedial action plan (if required) shall be undertaken/completed by a suitably qualified person in accordance with the relevant guidelines approved by the Office of Environment and Heritage (OEH) and in accordance with the requirements of the [Contaminated Land Management Act 1997](#).

The Assessment shall satisfy the Principal Certifier that the untested land as defined under the Statement of Environmental Effects is suitable for the proposed use.

36. **Required Design Changes**

The following changes are required to be made and shown on the Construction Certificate plans:

Landscape Plan	The landscape plan is to be amended to demonstrate compliance with section 2.10.1.13 of Part D of the DCP where council requires one (1) medium size shade tree for every eight spaces.
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PRIOR TO THE COMMENCEMENT OF WORK (INCLUDING DEMOLITION & EXCAVATION)

37. **Dial Before You Dig**

The applicant shall contact "Dial Before You Dig on 1100" to obtain a Service Diagram prior to the issuing of the Construction Certificate. The sequence number obtained from "Dial Before You Dig" shall be forwarded to Council's Engineers for their records.

38. Dilapidation Report on Public Land – Major Development Only

Prior to the commencement of works (including demolition and excavation), a dilapidation report must be prepared for the Council infrastructure adjoining the development site.

The report must include the following:

- i. Photographs showing the existing condition of the road pavement fronting the site,
- ii. Photographs showing the existing condition of the kerb and gutter fronting the site,
- iii. Photographs showing the existing condition of the footpath pavement fronting the site,
- iv. Photographs showing the existing condition of any retaining walls within the footway or road, and
- v. Closed circuit television/video inspection (in DVD format) of public stormwater drainage systems fronting, adjoining or within the site, and
- vi. The full name and signature of the structural engineer.
- vii. The Dilapidation Report must be prepared by a qualified structural engineer. The report must be provided to the Principal Certifier and a copy provided to the Council.

The Dilapidation Report must be prepared by a professional engineer. The report must be provided to the Principal Certifier and a copy provided to the Council.

The report is to be supplied in electronic format in Word or PDF. Photographs are to be in colour, digital and date stamped.

Note: Council will use this report to determine whether to refund the damage deposit after the completion of works.

39. Demolition & Asbestos

The demolition work shall comply with the provisions of Australian Standard AS2601:2001 – Demolition of Structures, NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#). The work plans required by AS2601:2001 shall be accompanied by a written statement by a suitably qualified person that the proposals contained in the work plan comply with the safety requirements of the Standard. The work plans and the safety statement shall be submitted to the Principal Certifier prior to the commencement of works.

For demolition work which involves the removal of asbestos, the asbestos removal work must be carried out by a licensed asbestos removalist who is licensed to carry out the work in accordance with the NSW [Work Health & Safety Act 2011](#) and the NSW [Work Health & Safety Regulation 2011](#) unless specified in the Act and/or Regulation that a license is not required.

All demolition work including the removal of asbestos, shall be undertaken in accordance with the [Demolition Code of Practice](#) (NSW Work Cover July 2015)

Note: Copies of the Act, Regulation and Code of Practice can be downloaded free of charge from the SafeWork NSW website: www.SafeWork.nsw.gov.au.

40. **Demolition Notification Requirements**

The following notification requirements apply to this consent:

- (a) The developer /builder must notify adjoining residents five (5) working days prior to demolition. Such notification is to be a clearly written note giving the date demolition will commence, contact details of the developer/builder, licensed asbestos demolisher and the appropriate regulatory authority. Notification is to be placed in the letterbox of every premises (including every residential flat or unit, if any) either side and immediately at the rear of the demolition site.
- (b) Five (5) working days prior to demolition, the developer/builder is to provide written notification to Council advising of the demolition date, details of the SafeWork licensed asbestos demolisher and the list of residents advised of the demolition.
- (c) On demolition sites where buildings to be demolished contain asbestos, a standard commercially manufactured sign containing the words "DANGER ASBESTOS REMOVAL IN PROGRESS" measuring not less than 400mm x 300mm is to be erected in a prominent visible position (from street frontage) on the site. The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos material has been removed from the site to an approved waste facility.

41. **Demolition Work Involving Asbestos Removal**

Work involving bonded asbestos removal work (of an area of more than 10 square metres) or friable asbestos removal work must be undertaken by a person who carries on a business of such removal work in accordance with a licence under clause 458 of the [Work Health and Safety Regulation 2011](#).

42. **Utility Arrangements**

Arrangements are to be made with utility authorities in respect to the services supplied by those authorities to the development. The cost associated with the provision or adjustment of services within the road and footway areas is to be at the applicants expense.

43. **Site Audit Report and Site Audit Statement**

Prior to the commencement of any work, other than demolition or excavation in association with the remediation of the site, a Site Audit Report and Site Audit Statement are to be submitted to Council. These documents must clearly state that the site is suitable for the proposed use.

Note: The Applicant must comply with clauses 17 'Guidelines and notices: all remediation work' and clause 4.15 'Notice of completion of remediation work' under [State Environmental Planning Policy \(Resilience and Hazards\) 2021 - NSW Legislation](#).

Note: Words and expressions used in these conditions have the same meaning as in the [Contaminated Land Management Act 1997](#).

44. **Dust Control**

Where a dust nuisance is likely to occur, suitable screens and/or barricades shall be erected during the demolition, excavation and building works. If necessary, water sprays shall be used on the site to reduce the emission of dust. Screening shall consist of a minimum 2 metres height of shade cloth or similar material secured to a chain wire fence of the like and shall be modified as required should it fail to adequately control any dust nuisance.

Major Works

The following measures must be implemented (in part or in total) to control the emission of dust:

- a) Dust screens must be erected around the perimeter of the site and be kept in good repair for the duration of the work.
- b) All dusty surfaces must be wet down and any dust created must be suppressed by means of a fine water spray. Water used for dust suppression must not be contaminated or allowed to enter the stormwater system.
- c) All stockpiles of materials that are likely to generate dust must be kept damp or covered.
- d) All stockpiles of soil or other materials shall be placed away from drainage lines, gutters or stormwater pits or inlets.
- e) All stockpiles of soil or other materials likely to generate dust or odours shall be covered.
- f) All stockpiles of contaminated soil shall be stored in a secure area and be covered if remaining more than 24 hours.

DURING CONSTRUCTION

45. Construction Management Plan

The owner/applicant is to ensure that the approved Construction Traffic management Plan is to be strictly complied with and kept on site at all times during construction works.

46. Special Conditions – Environmental Health

- a. Night construction works are avoided.
- b. All lighting should be shielded and/or directed into the compound to avoid light spill into surrounding areas.
- c. A Green and Golden Bell Frog fence is put up surrounding the whole development site and is maintained to the utmost standard as Dr White has suggested.
- d. Dust control measures must be put in place for the construction and ongoing use of the site.

47. Hours of Construction for Demolition and Building Work

Any work activity or activity associated with the development consent that requires the use of any tools (including hand tools) or any power operated plant and machinery that creates noise on or adjacent to the site shall not be performed, or permitted to be performed, except between the hours of 7.00 am to 5.00 pm, Monday to Friday and 8:00am to 1:00pm on Saturdays. No work or ancillary activity is permitted on Sundays, or Public Holidays.

Where the development involves the use of jack hammers/rock breakers and the like, or other heavy machinery, such equipment may only be used between the hours of 7:00am to 5:00pm Monday to Friday only.

Note: A penalty infringement notice may be issued for any offence.

48. Ground Levels and Retaining Walls

The ground levels of the site shall not be excavated, raised or filled, or retaining walls constructed on the allotment boundary, except where indicated on approved plans or approved by Council.

PRIOR TO THE ISSUE OF THE OCCUPATION CERTIFICATE

49. Restriction to User and Positive Covenant for On-Site Detention Facility

Prior to the issue of any Occupation Certificate, the applicant shall register a Positive Covenant and a Restriction as to User under section 88E and or section 88B of the Conveyancing Act as appropriate in favour of Council, ensuring the ongoing retention, maintenance and operation of the stormwater facility (on-site detention, pump-out, charged lines, water sensitive urban design, surface flow path, finished pavement and ground levels etc.).

Where any drainage line or service conduit is to traverse any property other than that which it serves, an appropriate easement will be required. In this case, the applicant shall register an easement no less than 1200mm wide over the proposed drainage line or service concurrently with any subdivision registration.

The wording on the 88E and or 88B Instrument is to make reference to the Council file where the Construction plans and the Work As Executed (as built), plans are held. Typical wording can be obtained from Council's Specification for the Management of Stormwater document.

50. Maintenance Schedule – On-site Stormwater Management

A Maintenance Schedule for the proposed on-site stormwater management measures is to be prepared and submitted to Council. The Maintenance Schedule shall outline the required maintenance works, how and when these will be done and who will be carrying out these maintenance works.

51. Stormwater Certification of the Constructed Drainage Works (Minor)

The constructed stormwater system shall be certified by a suitably qualified person, in accordance with Council's Stormwater Management Code, prior to the issue of any Occupation Certificate.

52. Stormwater Drainage Works – Works As Executed

Prior to the issue of the Occupation Certificate, stormwater drainage works are to be certified by a professional engineer specialising in hydraulic engineering, with Works-As-Executed drawings supplied to Council detailing:

- (a) Compliance with conditions of development consent relating to stormwater;
- (b) The structural adequacy of the On-Site Detention system (OSD);
- (c) That the works have been constructed in accordance with the approved design and will provide the detention storage volume and attenuation in accordance with the submitted calculations;
- (d) Pipe invert levels and surface levels to Australian Height Datum;
- (e) Contours indicating the direction in which water will flow over land should the capacity of the pit be exceeded in a storm event exceeding design limits.

Council's Engineering Services section must advise in writing that they are satisfied with the Works-As-Executed prior to the issue of an Occupation Certificate.

53. Allocation of Parking Spaces

Parking associated with the development is to be allocated as follows:

- (a) Retail: 389 cars, including 10 spaces for PWDs & 2 for electric vehicles
- (b) Loading/Services: 2 – catering for heavy rigid and articulated vehicles up to 19m (no B-doubles).

54. Acoustic Certification

Prior to the issue of any Occupation Certificate, a suitably qualified acoustic consultant shall certify that the operation of the premises and plant equipment shall not give rise to a sound pressure level at any affected premises that exceeds the acoustic criteria established by the Acoustic Report required by a condition of this consent. The development shall at all times comply with these noise levels post occupation.

55. Acoustic Compliance

Prior to the issue of any Occupation Certificate, a report prepared by a suitably qualified acoustic consultant must be submitted to the Principal Certifier certifying that the construction has incorporated the recommendations in the DA Acoustic Report titled Flower Power South Strathfield – 127 Cosgrove Road Strathfield South prepared by Acoustic Logic and dated 15 September 2021.

56. Acoustic Compliance – General Operation of Premises

The proposed use of the premises and the operation of all plant and equipment shall not give rise to an 'offensive noise' as defined in the [Protection of the Environment Operations Act 1997](#) (as amended) and [Regulations](#).

A suitably qualified person shall certify that the operation of the plant equipment shall not give rise to sound pressure level at any affected premises that exceeds the background LA90, 15 min noise level, measured in the absence of the noise sources under consideration by more than 5dB. The source noise level shall be assessed as an LAeq, 15 min in accordance with the [NSW Environment Protection Authority's "NSW industrial Noise Policy"](#).

Certification must be submitted to the Principal Certifier prior to the issue of any Occupation Certificate.

57. Major Development

Internal driveways and parking spaces are to be adequately paved with concrete or bitumen, or interlocking pavers to provide a dust-free surface. All car parking spaces are to be line marked in accordance with AS1742, 'Australian Standard Manual of Uniform Traffic Control Devices' and the relevant guidelines published by the RMS.

58. Requirements Prior to the Issue of the Occupation Certificate

The following shall be completed and or submitted to the Principal Certifier prior to the issue of the Occupation Certificate:

- (a) All the stormwater/drainage works shall be completed in accordance with the approved Construction Certificate plans prior to the issue of the Occupation Certificate.

- (b) The internal driveway construction works, together with the provision for all services (conduits and pipes laid) shall be completed in accordance with the approved Construction Certificate plans prior to the issue of the Occupation Certificate.
- (c) Construct any new vehicle crossings required.
- (d) Replace all redundant vehicle crossing laybacks with kerb and guttering, and replace redundant concrete with turf.
- (e) Work as Executed Plans prepared by a Chartered Professional Engineer or a Registered Surveyor when all the site engineering works are complete shall be submitted to the Principal Certifier prior to the issue of the Occupation Certificate.

59. Electricity Supply

Evidence shall be provided demonstrating that the development has been connected to the Ausgrid, if required.

OPERATIONAL CONDITIONS (ON-GOING)

60. Loading & Unloading of Vehicles

All loading and unloading of vehicles in relation to the use of the premises shall take place wholly within a dedicated loading dock/area.

61. Entering & Exiting of Vehicles

All vehicles shall enter and exit the premises in a forward direction.

62. Maximum Vehicle Size

Heavy Rigid Vehicle

The maximum size of truck using the proposed development shall be limited to Heavy Rigid Vehicle as denoted in AS2890.2-2002: Parking Facilities – Off-street commercial vehicle facilities.

63. Amenity of the Neighbourhood

The implementation of this development shall not adversely affect the amenity of the neighbourhood or interfere unreasonably with the comfort or repose of a person who is outside the premises by reason of the emission or discharge of noise, fumes, vapour, odour, steam, soot, dust, waste water, waste products, grit, oil or other harmful products.

64. Food Premises – Storage of Waste – Used Cooking Oil

Used oil shall be contained in a leak proof container and stored in a covered and bunded area prior to off-site disposal. Copies of receipts for the disposal of used cooking oil shall be kept on-site and made available to Council Officers upon request.

65. Food Premises – Adequate Waste Receptacles (Restaurants, takeaway/cafe)

Appropriate waste and recycling containers must be provided for waste generation rates of 0.3 to 0.6 square metres per 100 meals, plus up to 0.15 cubic metres of beverage containers per 100 meals. All waste and recycling containers shall be stored in the approved waste storage area that is large enough to store the required number of bins and must be adequately serviced by waste collection vehicles.

66. Food Premises – Maintenance of Food Premises

The food premises must be maintained in accordance with the [Food Act 2003](#) (as amended), [Food Regulation 2015](#) (as amended); the Food Standards Code as published by Food Standards Australia & New Zealand and Australian Standard AS 4674-2004: *Construction and fit out of food premises (as amended)*.

67. Food Premises – Garbage Odour

A waste contractor shall be engaged to remove all waste from the garbage storage area on a regular basis so that no overflow of rubbish will occur. Practical measures are also to be taken to ensure that odour emission from the garbage storage area does not cause offensive odour as defined under the provision of the [Protection of the Environment Operations Act, 1997](#) (as amended).

68. Maintenance of Landscaping

All trees and plants forming part of the landscaping must be maintained. Maintenance includes watering, weeding, removal of rubbish from tree bases, fertilizing, pest and disease control, replacement of dead or dying plants and any other operations required to maintain healthy trees, plants and turfed areas.

69. Outdoor Lighting

To avoid annoyance to the occupants of adjoining premises or glare to motorist on nearby roads, outdoor lighting must comply with *AS 4282-1997: Control of the obtrusive effects of outdoor lighting*.

70. Lighting – General Nuisance

Any lighting on the site shall be designed so as not to cause a nuisance to other residences in the area or to motorists on nearby roads and to ensure no adverse impact on the amenity of the surrounding area by light overspill or glare.

Flashing, moving or intermittent lights or signs are prohibited.

71. Activities and Storage of Goods Outside Buildings

There shall be no activities including storing or depositing of any goods or maintenance to any machinery external to the building with the exception of waste receptacles.

72. Annual Fire Safety Statement

The owner of the building premises must ensure the Council is given an annual fire safety statement in relation to each essential fire safety measure implemented in the building. The annual fire safety statement must be given:

- (a) Within 12 months after the date on which the fire safety certificate was received.

- (b) Subsequent annual fire safety statements are to be given within 12 months after the last such statement was given.
- (c) An annual fire safety statement is to be given in or to the effect of Clause 92 of the [Environmental Planning and Assessment \(Development Certification and Fire Safety\) Regulation 2021 - NSW Legislation](#).
- (d) A copy of the statement is to be given to the Commissioner of Fire & Rescue NSW, and a further copy is to be prominently displayed in the building.

73. Standing of Vehicles on Public Roads

No motor vehicles awaiting repair or under repair, or waiting delivery, shall be stored, parked, or otherwise permitted to stand in a public street. All such vehicles shall be accommodated within the premises.

74. Hours of Operation

The approved hours of operation shall be restricted to the following:

- (a) Garden Centre & Pet Shop: 7.00am to 6.00pm – 7 days a week
- (b) Fruit & Vegetable Shop: 7.00am to 9.00pm – 7 days a week

75. Fuel Efficient Vehicles and Electric Vehicle Parking Spaces

At least 15% of dedicated parking (colour marking and highly visible signage) for fuel-efficient vehicles (rated fuel efficiency of 5L/100km or 115gCO₂/km), in accordance with the ESD Report prepared by Erbas, revision 1, dated 20 December 2021.

At least two parking spaces of the dedicated parking discussed above are to be provided for electric vehicles and must be equipped with Electric Vehicle (EV) charging facilities for the use of the public for free.

The publicly accessible EV charging stations are to be equipped with fast charging capability.

OPERATIONAL REQUIREMENTS UNDER THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT 1979

76. Requirement for a Construction Certificate

The erection of a building must not commence until a Construction Certificate has been issued.

77. Appointment of a Principal Certifier

Building and/or demolition works must not commence until the applicant has:

- (a) appointed a Principal Certifier for the building work; and
- (b) if relevant, advised the PCA that the work will be undertaken as an Owner -Builder.

If the work is not going to be undertaken by an Owner - Builder, the applicant must:

- (c) appoint a Principal Contractor to undertake the building work. If residential building work (within the meaning of the [Home Building Act 1989](#)) is to be undertaken, the Principal Contractor must be a holder of a contractor licence; and
- (d) notify the Principal Certifier of the details of any such appointment; and
- (e) notify the Principal Contractor of any critical stage inspections or other inspections that are required to be carried out in respect of the building work.

78. Notification of Critical Stage Inspections

No later than two days before the building work commences, the Principal Certifier must notify:

- (a) the consent authority and the Council (if not the consent authority) of his or her appointment; and
- (b) the applicant of the critical stage inspections and other inspections that are to be carried out with respect to the building work.

79. Notice of Commencement

The applicant must give at least two days notice to the Council and the Principal Certifier of their intention to commence the erection or demolition of a building.

80. Critical Stage Inspections

The last critical stage inspection must be undertaken by the Principal Certifier. The critical stage inspections required to be carried out vary according to Building Class under the Building Code of Australia and are listed in Clause 61 of the [Environmental Planning and Assessment \(Development Certification and Fire Safety\) Regulation 2021 - NSW Legislation](#).

81. Notice to be Given Prior to Critical Stage Inspections

The principal contractor for a building site, or the owner-builder, must notify the Principal Certifier at least 48 hours before each required inspection needs to be carried out.

82. Occupation Certificate

A person must not commence occupation or use of the whole or any part of a new building unless an Occupation Certificate has been issued in relation to the building or part.

PRESCRIBED CONDITIONS

83. Clause 69 – Building Code of Australia & Home Building Act 1989

Requires all building work to be carried out in accordance with the Building Code of Australia. In the case of residential building work to which the [Home Building Act 1989](#) relates, there is a requirement for a contract of insurance to be in force before any work commences.

84. Clause 70 – Erection of Signs

Requires the erection of signs on site and outlines the details which are to be included on the sign. The sign must be displayed in a prominent position on site and include the name and contact details of the Principal Certifier and the Principal Contractor.

ADVISORY NOTES

i. **Review of Determination**

Section 8.2 of the Environmental Planning and Assessment Act confers on an applicant who is dissatisfied with the determination of the application the right to lodge an application with Council for a review of such determination. Any such review must however be completed within 6 months from its determination. Should a review be contemplated sufficient time should be allowed for Council to undertake public notification and other processes involved in the review of the determination.

Note: review provisions do not apply to Complying Development, Designated Development, State Significant Development, Integrated Development or any application determined by the Sydney East Planning Panel or the Land & Environment Court.

ii. **Appeal Rights**

Division 8.3 (Reviews and appeals) Part 8 of the Environmental Planning and Assessment Act 1979 confers on an applicant who is dissatisfied with the determination of the application a right of appeal to the Land and Environment Court of New South Wales.

iii. **Lapsing of Consent**

This consent will lapse unless the development is physically commenced within 5 years from the Date of Operation of this consent, in accordance with Section 4.53 of the Environmental Planning and Assessment Act 1979 as amended.

iv. **Access to NSW Legislations (Acts, Regulations and Planning Instruments)**

NSW legislation can be accessed free of charge at www.legislation.nsw.gov.au

v. **Long Service Levy**

The Long Service Corporation administers a scheme which provides a portable long service benefit for eligible workers in the building and construction industry in NSW. All benefits and requirements are determined by the Building and Construction Industry Long Service Payments Act 1986. More information about the scheme and the levy amount you are required to pay to satisfy a condition of your consent can be found at <http://www.longservice.nsw.gov.au>.

The required Long Service Levy payment can be direct to the Long Service Corporation via their web site <https://online.longservice.nsw.gov.au/bci/levy>. Payments can only be processed on-line for the full levy owing and where the value of work is between \$25,000 and \$6,000,000. Payments will be accepted for amounts up to \$21,000, using either MasterCard or Visa.

vi. **Disability Discrimination Act**

This application has been assessed in accordance with the [Environmental Planning and Assessment Act 1979](#). No guarantee is given that the proposal complies with the [Disability Discrimination Act 1992](#). The applicant is responsible to ensure compliance with this and other anti-discrimination legislation. The [Disability Discrimination Act 1992](#) covers disabilities not catered for in the minimum standards called up in the Building Code of Australia which refers to AS1428.1-Design for Access and Mobility.

vii. **Site Safety Fencing**

Site fencing must be erected in accordance with SafeWork Guidelines, to exclude public access to the site throughout the demolition and/or construction work, except in the case of alterations to an occupied dwelling. The fencing must be erected before the commencement of any work and maintained throughout any demolition and construction work.

A demolition licence and/or a high risk work license may be required from SafeWork NSW (see www.SafeWork.nsw.gov.au).

viii. **Food Premises**

Information on Australian Standards can be obtained from www.standards.com.au

Guidelines and Food Safety Standards may be obtained by contacting the Food Standards Australia New Zealand Authority at foodstandards.gov.au or the NSW Food Authority on 1300 552 406, email: contact@foodauthority.nsw.gov.au or by visiting the website www.foodauthority.nsw.gov.au

Notification of Food Business under Section 100 of the [Food Act 2003](#) requires the proprietor of a food business to give written notice, in the approved form, before conducting a food business. Penalties apply for failure to comply.

ix. **Noise**

Council will generally enforce noise related conditions in accordance with the *Noise Guide for Local Government* (<http://www.environment.nsw.gov.au/noise/nglg.htm>) and the *Industrial Noise Guidelines* (<http://www.environment.nsw.gov.au/noise/industrial.htm>) publish by the Department of Environment and Conservation. Other state government authorities also regulate the [Protection of the Environment Operations Act 1997](#).

Useful links relating to Noise:

- (a) Community Justice Centres—free mediation service provided by the NSW Government (www.cjc.nsw.gov.au).
- (b) Department of Environment and Conservation NSW, Noise Policy Section web page (www.environment.nsw.gov.au/noise).
- (c) New South Wales Government Legislation home page for access to all NSW legislation, including the *Protection of the Environment Operations Act 1997* and the Protection of the Environment Noise Control Regulation 2000 (www.legislation.nsw.gov.au).
- (d) Australian Acoustical Society—professional society of noise-related professionals (www.acoustics.asn.au/index.php).

(e) Association of Australian Acoustical Consultants—professional society of noise related professionals (www.aaac.org.au).

(f) Department of Gaming and Racing - (www.dgr.nsw.gov.au).

x. **Acoustical Engineer Contacts & Reference Material**

Further information including lists of Acoustic Engineers can be obtained from:

(a) Australian Acoustical Society—professional society of noise-related professionals (www.acoustics.asn.au)

(b) Association of Australian Acoustical Consultants—professional society of noise related professionals (www.aaac.org.au)

(c) NSW Industrial Noise Policy – Office of Environment & Heritage (www.environment.nsw.gov.au)

xi. **Electricity Supply**

This development may need a connection to the Ausgrid network which may require the network to be extended or its capacity augmented. You are advised to contact Ausgrid on 13 13 65 or www.ausgrid.com.au (Business and Commercial Services) for further details and information on lodging your application to connect to the network.

ATTACHMENTS

1. [1.⬇](#) DA2022.68- 0 Cosgrove Road Strathfield South-Amended Architecturals

2. [2.⬇](#) DA2022.68- 0 Cosgrove Road St-Landscape Plans Rev H

DEVELOPMENT APPLICATION

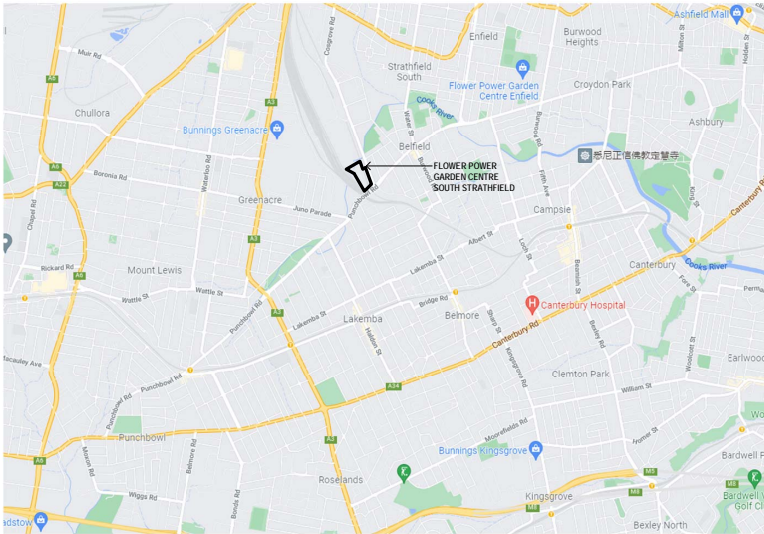
All dimensions to be checked on site, written dimensions only to be used. Do not scale from drawings. Copyright of the design shown herein is retained by the Architect. Written authority is required for any reproduction.

FLOWER POWER GARDEN CENTRE

DEVELOPMENT APPLICATION

FLOWER POWER SOUTH STRATHFIELD

Sheet Number	Sheet Name
A00.01	TITLE SHEET, LOCATION PLAN & DRAWING LIST
A00.02	SITE ANALYSIS
A01.01	EXISTING & DEMOLITION SITE PLAN - ROOF/AERIAL
A01.02	PROPOSED SITE PLAN - ROOF/AERIAL
A02.01	PROPOSED FLOOR PLAN - UNDERCROFT
A02.02	PROPOSED FLOOR PLAN - PARKING & BUILDING
A02.03	PROPOSED ROOF PLAN
A02.04	ROOF PLAN - OUTDOOR NURSERY
A02.20	3D AERIALS
A02.21	3D PERSPECTIVE
A09.01	PROPOSED BUILDING ELEVATIONS
A11.01	PROPOSED BUILDING SECTIONS
A11.02	PROPOSED BUILDING SECTIONS
A11.03	DETAIL SECTIONS
A13.01	PROPOSED MATERIAL AND FINISHES
A100.10	CFA & CAR PARKING ANALYSIS
A100.20	SIGNAGE PLAN
A100.30	SOLAR STUDY
A100.50	DA COMPARISON - SITE PLAN



LOCATION MAP - 127 Cosgrove Road South Strathfield NSW 2135



SITE AERIAL - 127 Cosgrove Road South Strathfield NSW 2135



FLOWER POWER SOUTH STRATHFIELD
127 COSGROVE ROAD SOUTH STRATHFIELD NSW 2135

ISSUE	DATE	DESCRIPTION
P2	18/10/2021	PRELIMINARY ISSUE
A	18/11/2021	DA APPROVAL
B	14/03/2022	DA APPROVAL

TITLE SHEET, LOCATION PLAN & DRAWING LIST

A00.01

DA - B
@ A1
@ A3



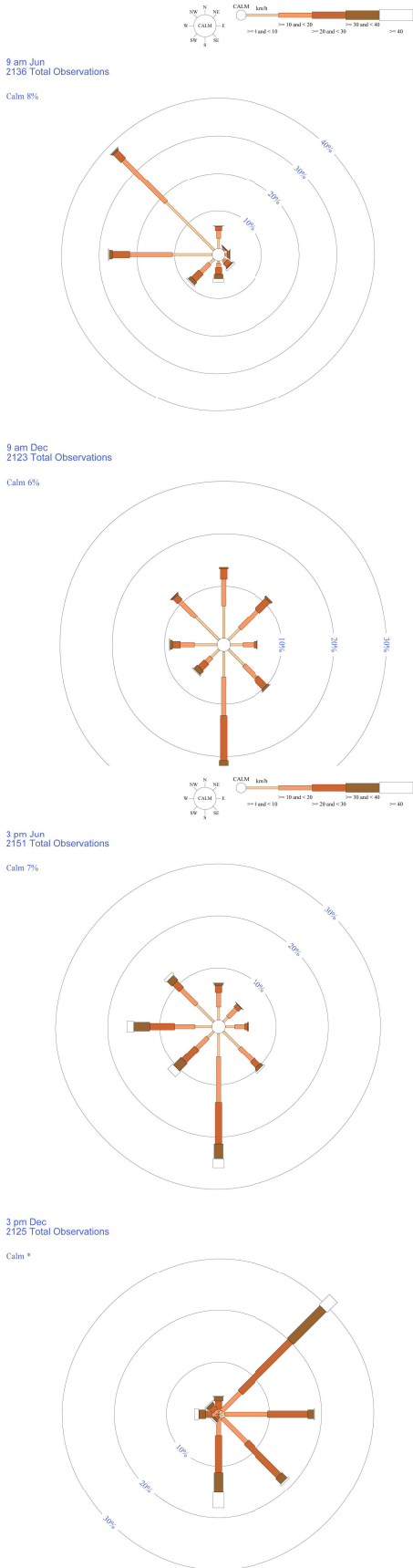
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DEVELOPMENT APPLICATION

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ROSE OF WIND DIRECTION VERSUS WIND SPEEK IN KM/H (01 APR 1939 TO 30 SEP 2010)
READINGS TAKEN FROM CLOSEST WEATHER STATION AT SYDNEY AIRPORT AMO - http://www.bom.gov.au/climate/averages/tables/cw_066037.shtml



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127 COSGROVE ROAD SOUTH STRATHFIELD NSW 2135

ISSUE	DATE	DESCRIPTION
P1	07/10/2021	PRELIMINARY ISSUE
P2	18/10/2021	PRELIMINARY ISSUE
A	18/11/2021	DA APPROVAL

SITE ANALYSIS

A00.02

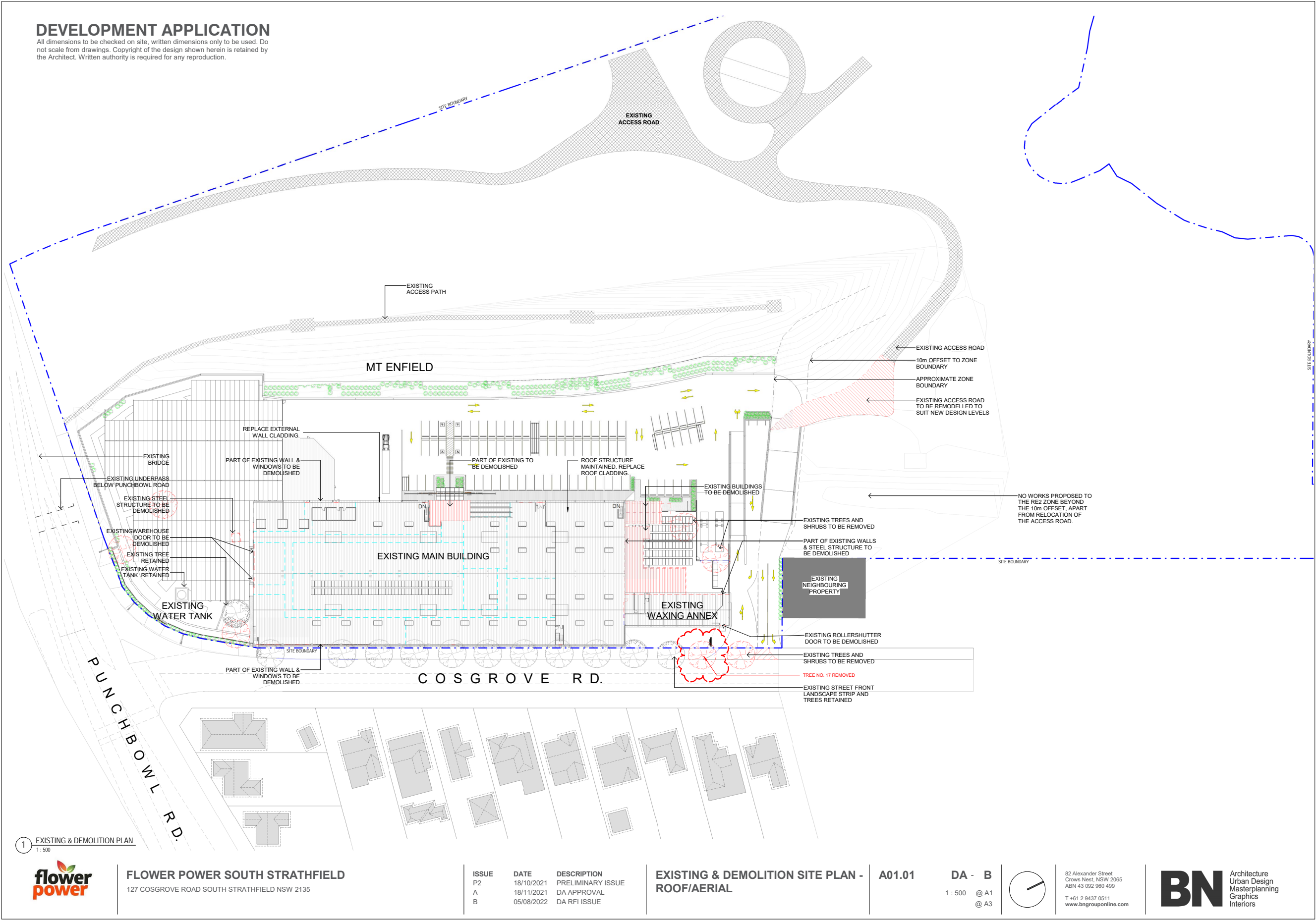
DA - A

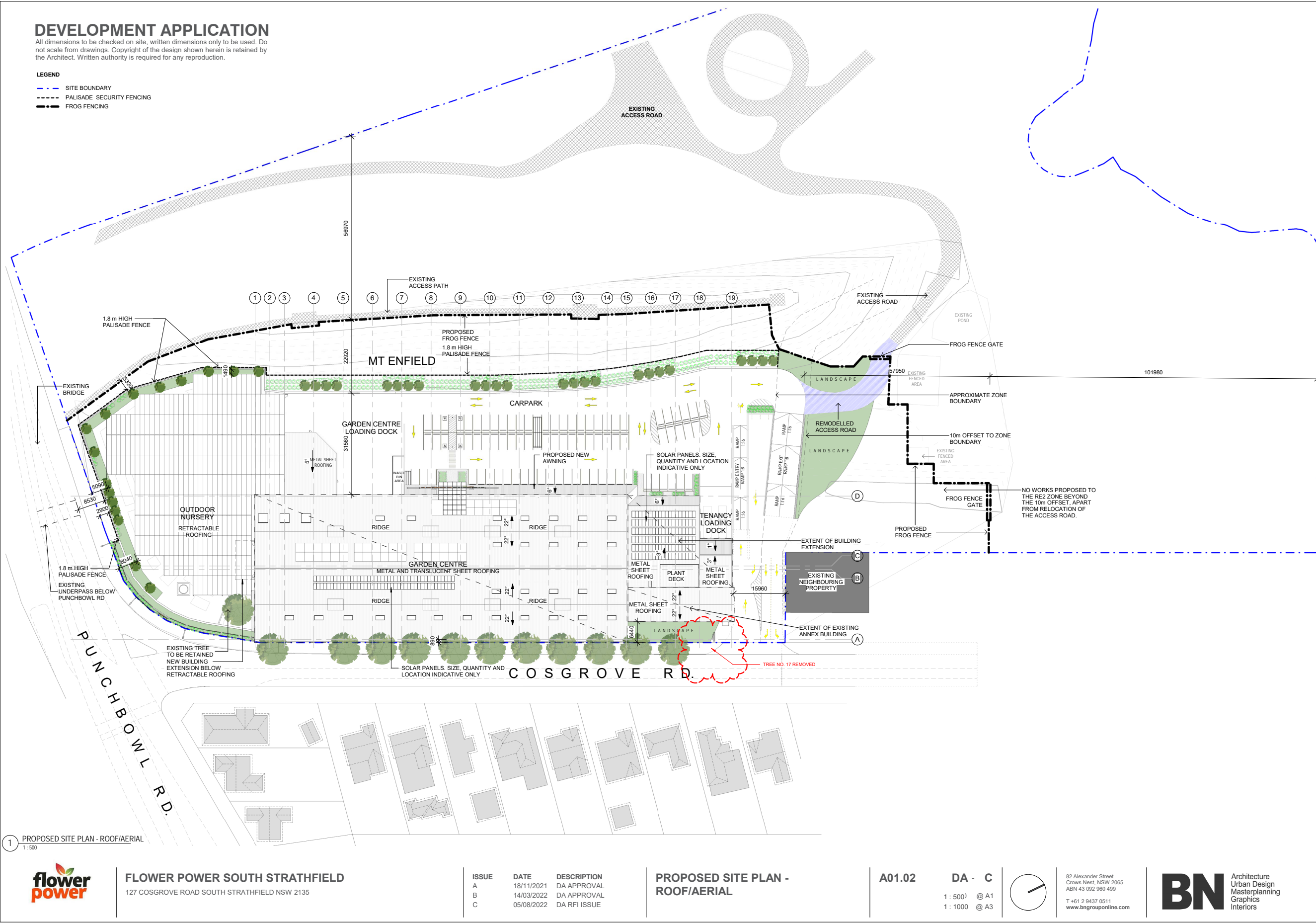
As indicated @ A1 @ A3



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P4	02/11/21	FOR REVIEW
A	18/11/2021	DA APPROVAL
B	05/08/2022	DA RFI ISSUE

A02.01

DA - B

1 : 300 @ A1
1 : 600 @ A3

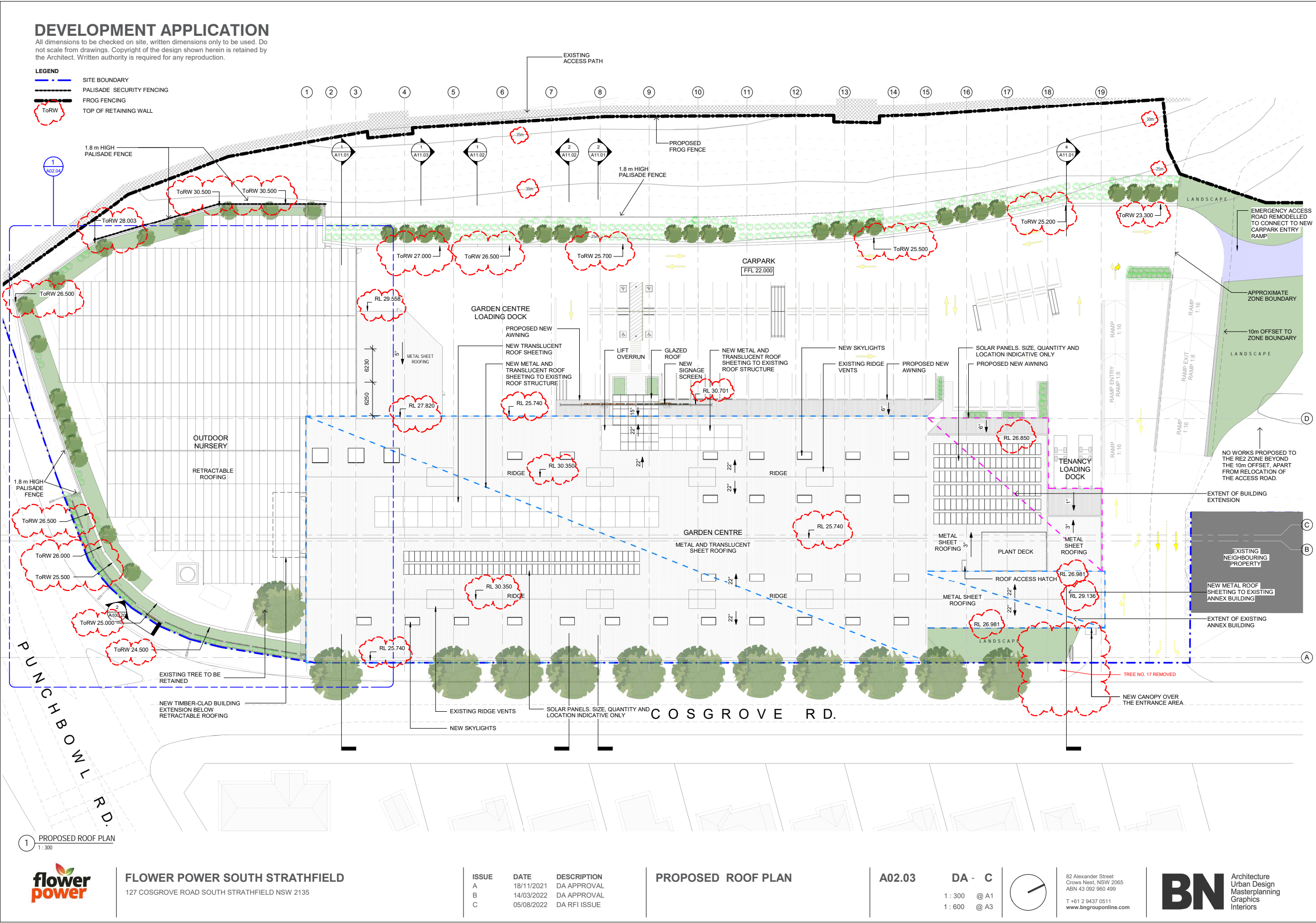


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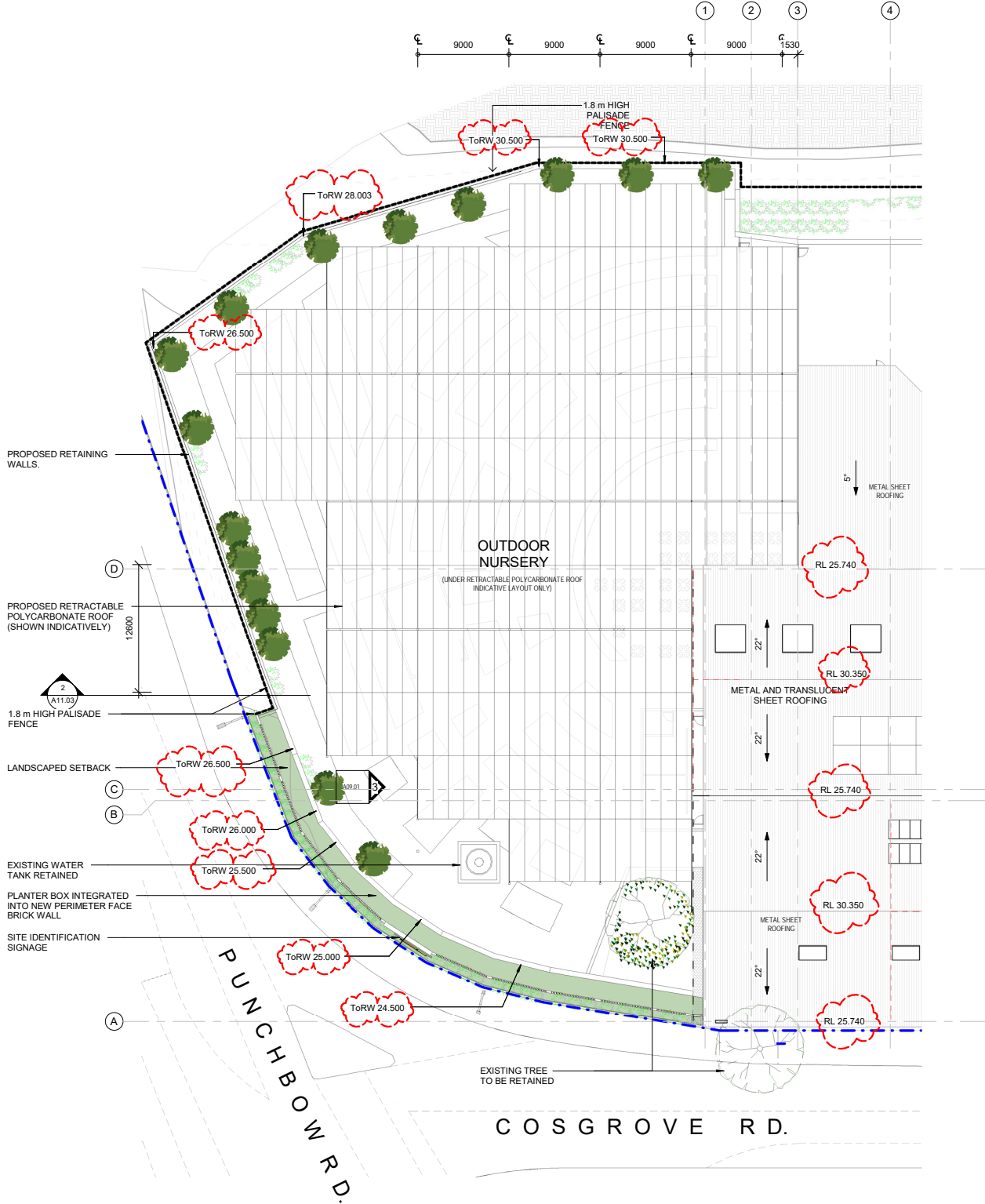






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EXAMPLE OF PROPOSED RETRACTABLE POLYCARBONATE ROOFING TO OUTDOOR NURSERY

1 ROOF PLAN - OUTDOOR NURSERY
1:250



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ISSUE	DATE	DESCRIPTION
A	18/11/2021	DA APPROVAL
B	14/03/2022	DA APPROVAL
C	05/08/2022	DA RFI ISSUE

ROOF PLAN - OUTDOOR NURSERY

A02.04

DA - C

1:250 @ A1
1:500 @ A3

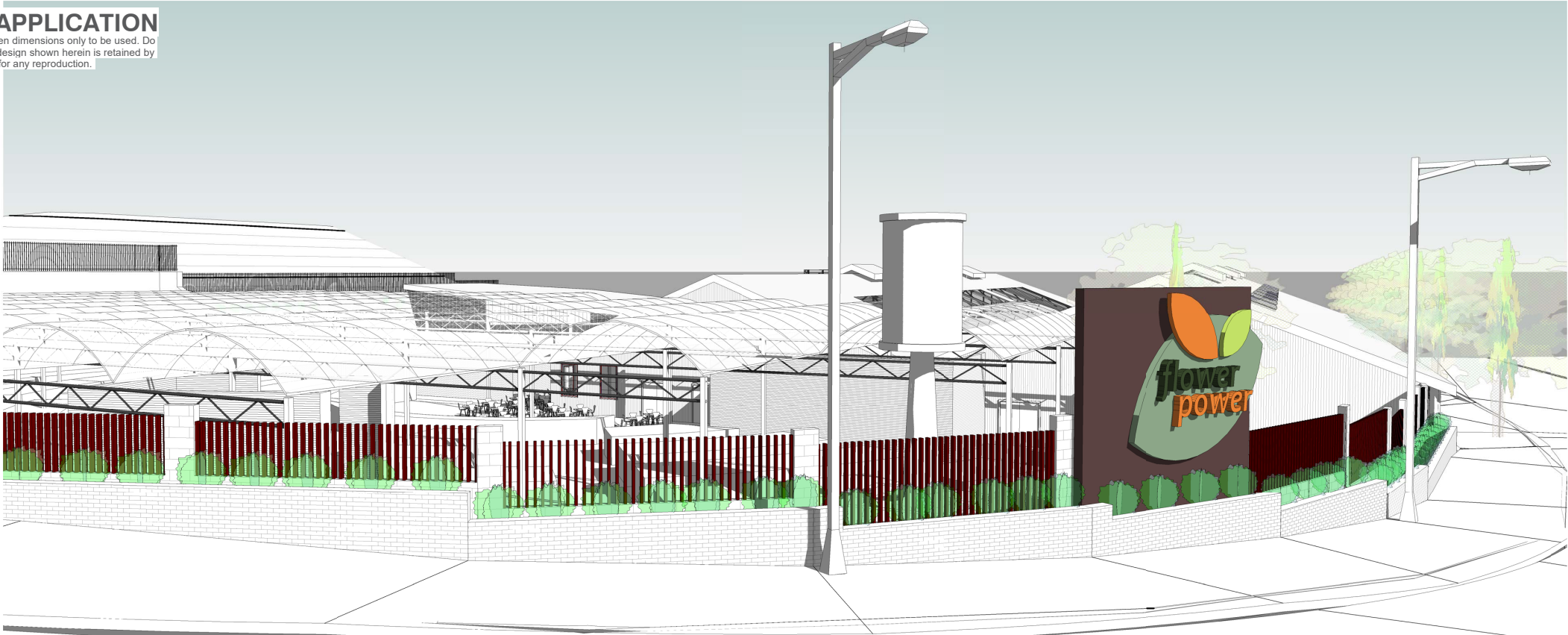


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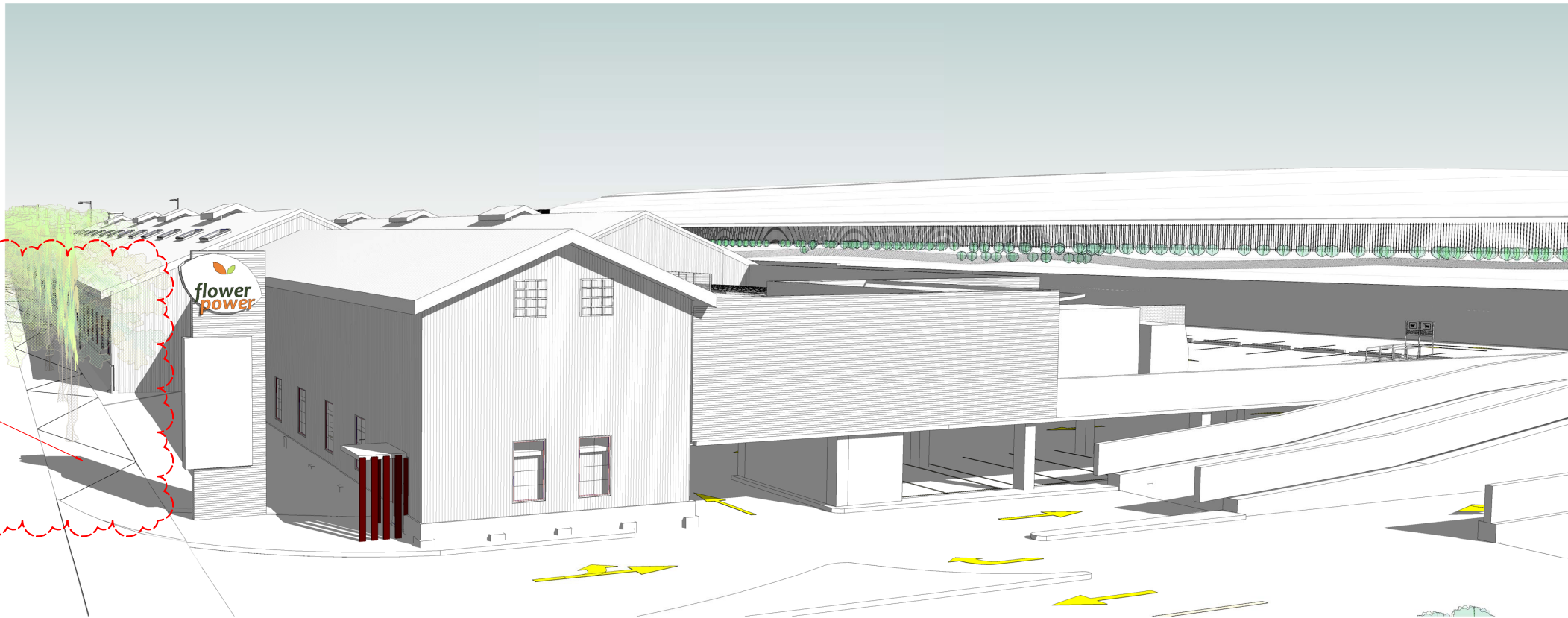
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1 3D View 1



2 3D View 2



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3D AERIALS

A02.20

DA - B

@ A1
@ A3

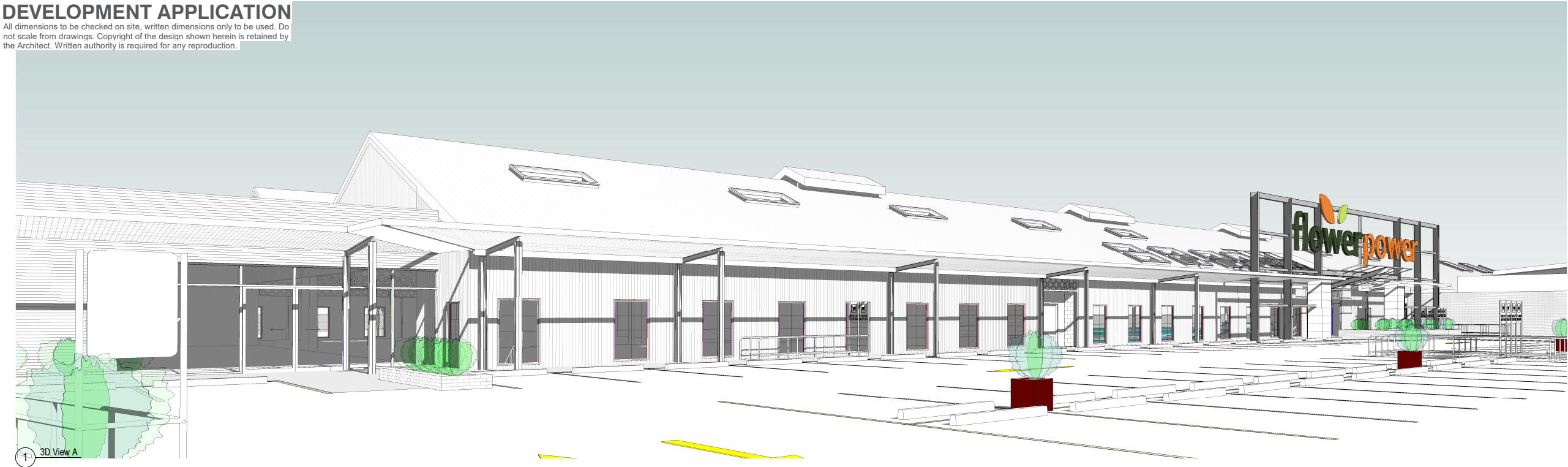


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1 3D View A



2 3D View B



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3D PERSPECTIVE

A02.21

DA - A

@ A1
@ A3

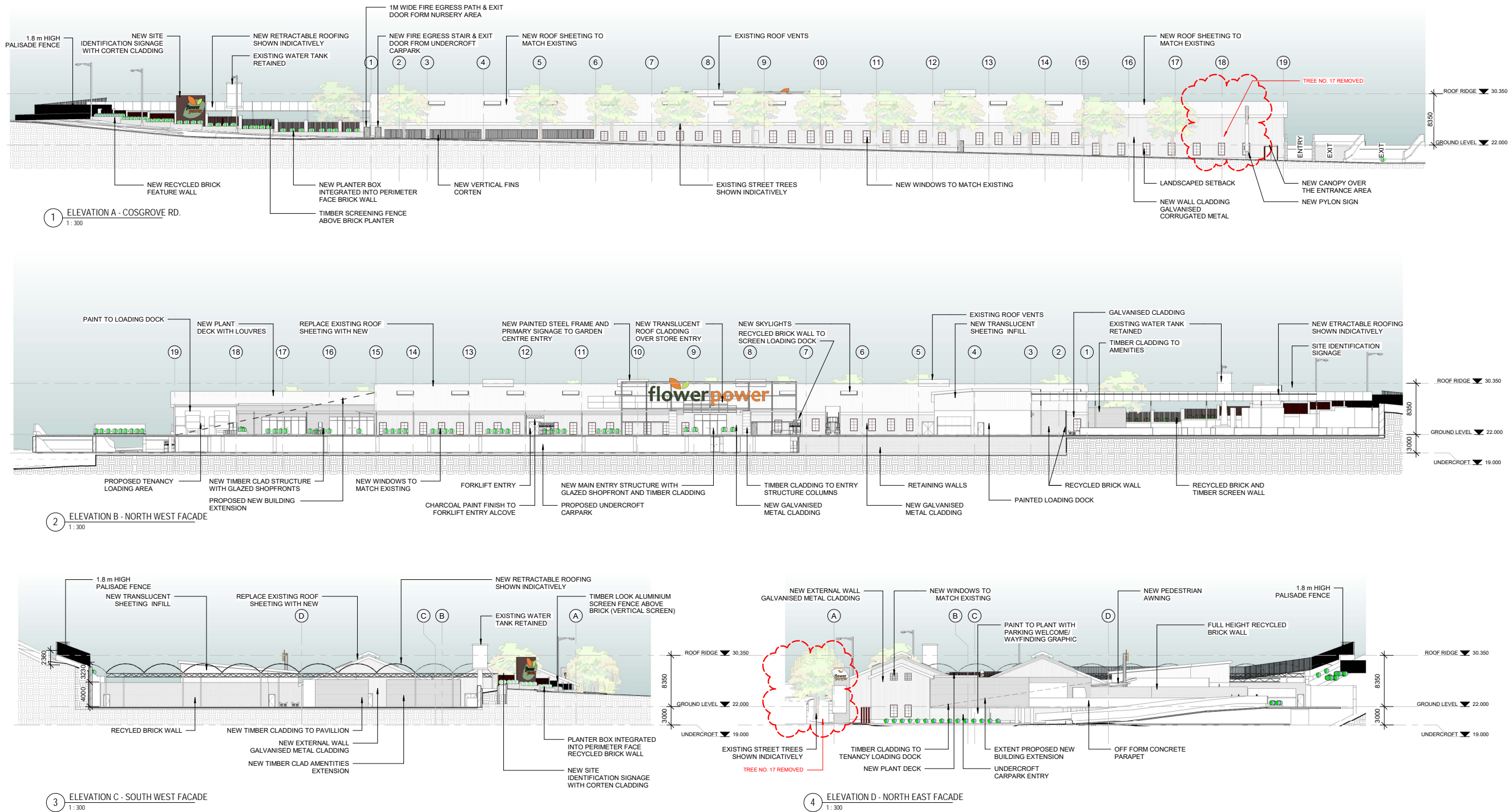


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PROPOSED BUILDING ELEVATIONS

A09.01

DA - B

1:300 @ A1
@ A3



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A	18/11/2021	DA APPROVAL
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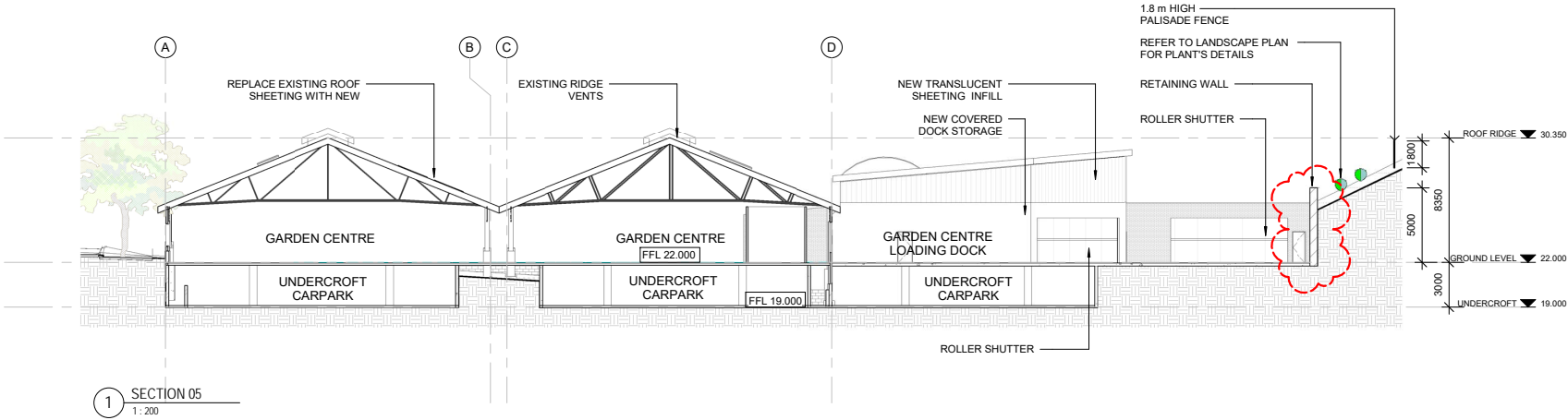
A11.01



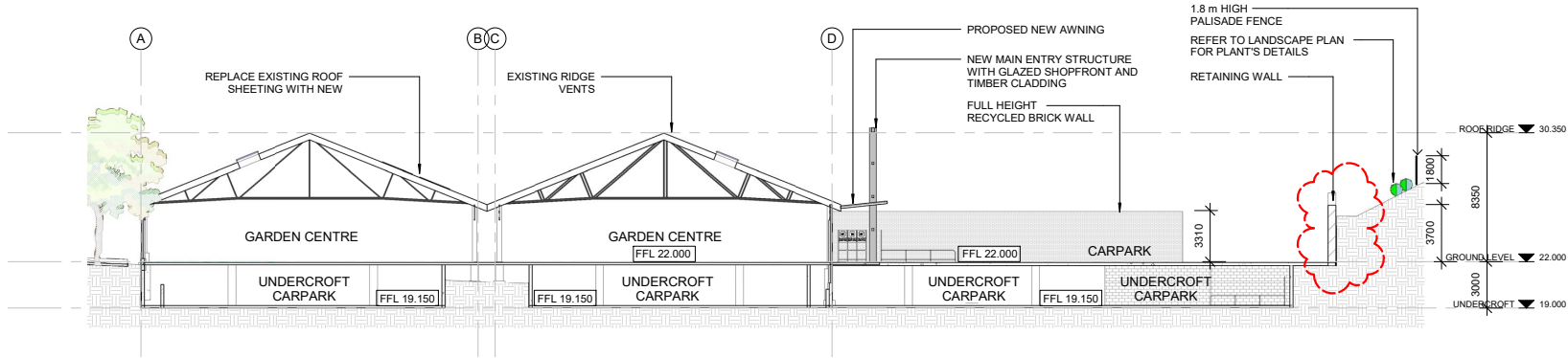
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1 SECTION 05
1:200



2 SECTION 06
1:200



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ISSUE	DATE	DESCRIPTION
P2	18/10/2021	PRELIMINARY ISSUE
A	18/11/2021	DA APPROVAL
B	05/08/2022	DA RFI ISSUE

PROPOSED BUILDING SECTIONS

A11.02

DA - B

1:200 @ A1
1:400 @ A3

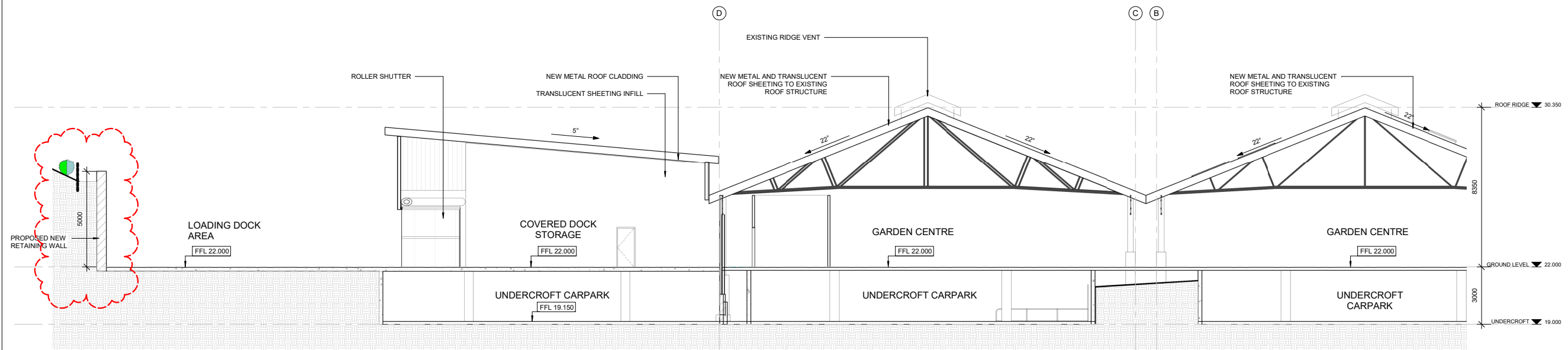


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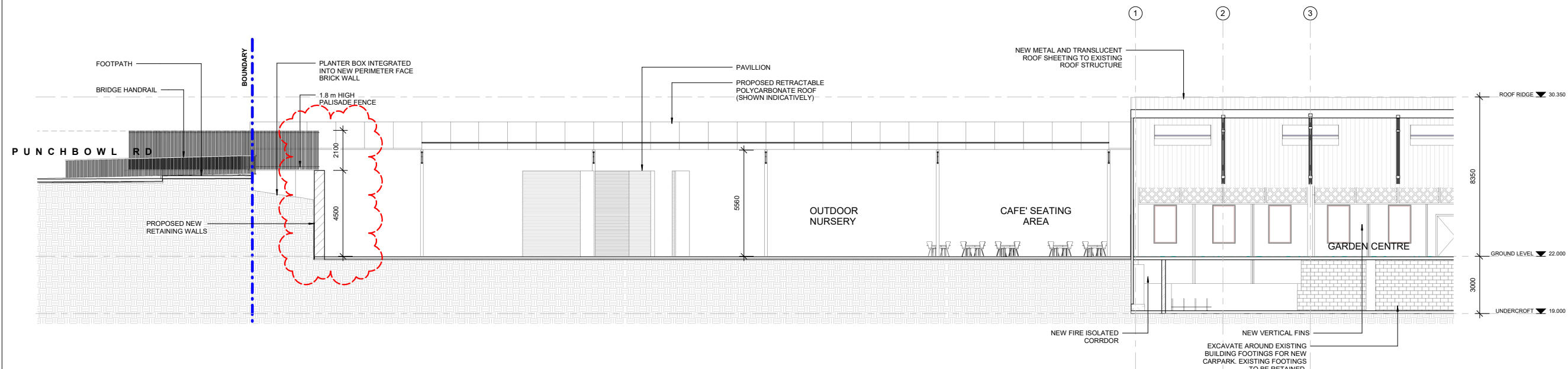
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1 SECTION 01 - LOADING STORAGE
1:100



2 SECTION 02 - NURSERY
1:100



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ISSUE	DATE	DESCRIPTION
P2	18/10/2021	PRELIMINARY ISSUE
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DETAIL SECTIONS

A11.03

DA - B

1:100 @ A1
1:200 @ A3

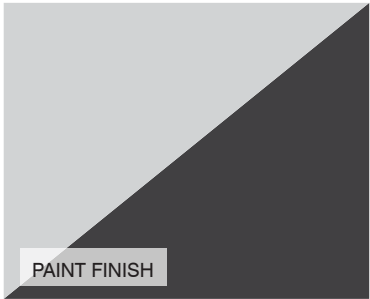
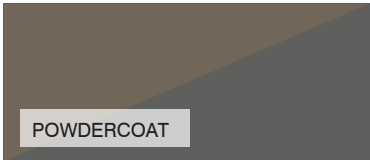


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ISSUE	DATE	DESCRIPTION
P1	07/10/2021	PRELIMINARY ISSUE
A	18/11/2021	DA APPROVAL

PROPOSED MATERIAL AND FINISHES A70.01

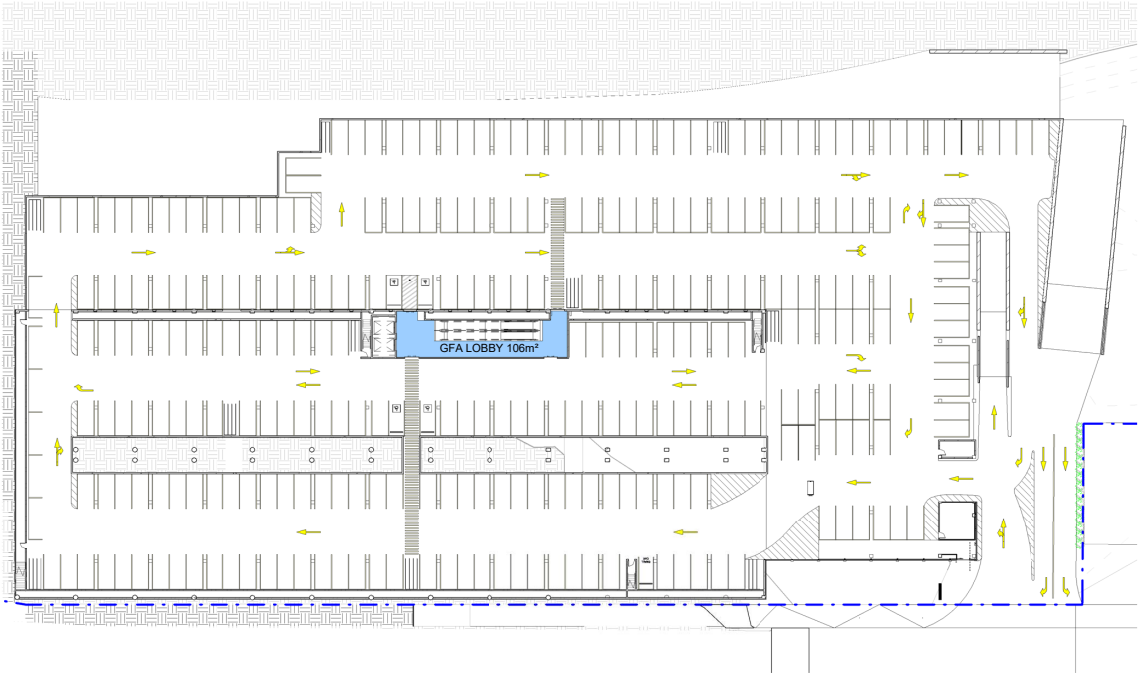
DA - A
@ A1
@ A3

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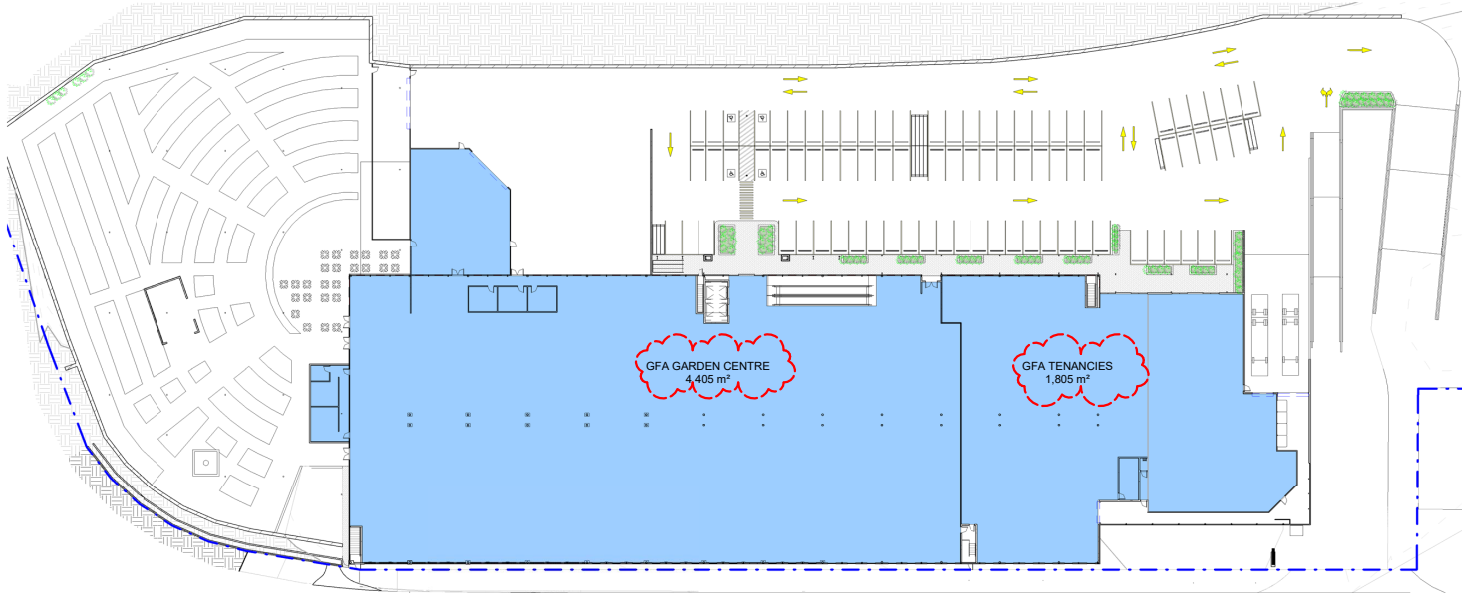


DEVELOPMENT APPLICATION

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1 PROPOSED SITE PLAN - UNDERCROFT LEVEL - GFA STUDY
1:500



2 PROPOSED SITE PLAN - GROUND FLOOR LEVEL - GFA STUDY
1:500

LEGEND

- SITE BOUNDARY
- GROSS FLOOR AREA

GFA COUNT

GARDEN CENTRE	=	4,405 m²
TENANCY	=	1,805 m²
UNDERCROFT	=	106 m²

TOTAL GFA = 6,316 m²

FSR CALCULATION

TOTAL GROUND FLOOR GFA	=	6,210 m²
TOTAL UNDERCROFT GFA	=	106 m²
GRAND TOTAL GFA	=	6,316 m²
SITE AREA	=	63,710 m²

PROPOSED FSR = 0.1 : 1

CAR PARKING

UNDERCROFT	=	300
GROUND FLOOR	=	83
STANDARD SPACES	=	375
ACCESSIBLE SPACES	=	8
TOTAL SPACES	=	383

NOTE:
REFER TRAFFIC ENGINEER'S REPORT FOR CAR PARK NUMBER COMPLIANCE & SERVICE VEHICLE SWEEP PATHS

METHOD OF MEASUREMENT

GROSS FLOOR AREA (GFA)
REF: STRATHFIELD LEP 2012

GROSS FLOOR AREA MEANS THE SUM OF THE FLOOR AREA OF EACH FLOOR OF A BUILDING MEASURED FROM THE INTERNAL FACE OF EXTERNAL WALLS, OR FROM THE INTERNAL FACE OF WALLS SEPARATING THE BUILDING FROM ANY OTHER BUILDING, MEASURED AT A HEIGHT OF 1.4 METRES ABOVE THE FLOOR, AND INCLUDES—

- (A) THE AREA OF A MEZZANINE, AND
- (B) HABITABLE ROOMS IN A BASEMENT OR AN ATTIC, AND
- (C) ANY SHOP, AUDITORIUM, CINEMA, AND THE LIKE, IN A BASEMENT OR ATTIC, BUT EXCLUDES—
- (D) ANY AREA FOR COMMON VERTICAL CIRCULATION, SUCH AS LIFTS AND STAIRS, AND
- (E) ANY BASEMENT—
- (F) STORAGE, AND
- (G) VEHICULAR ACCESS, LOADING AREAS, GARBAGE AND SERVICES, AND
- (H) PLANT ROOMS, LIFT TOWERS AND OTHER AREAS USED EXCLUSIVELY FOR MECHANICAL SERVICES OR DUCTING, AND
- (I) CAR PARKING TO MEET ANY REQUIREMENTS OF THE CONSENT AUTHORITY (INCLUDING ACCESS TO THAT CAR PARKING), AND
- (J) ANY SPACE USED FOR THE LOADING OR UNLOADING OF GOODS (INCLUDING ACCESS TO IT), AND
- (K) TERRACES AND BALCONIES WITH OUTER WALLS LESS THAN 1.4 METRES HIGH, AND
- (L) VOIDS ABOVE A FLOOR AT THE LEVEL OF A STOREY OR STOREY ABOVE.



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ISSUE	DATE	DESCRIPTION
P3	02/11/21	FOR REVIEW
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GFA & CAR PARKING ANALYSIS

A100.10

DA - B

As indicated @ A1 @ A3

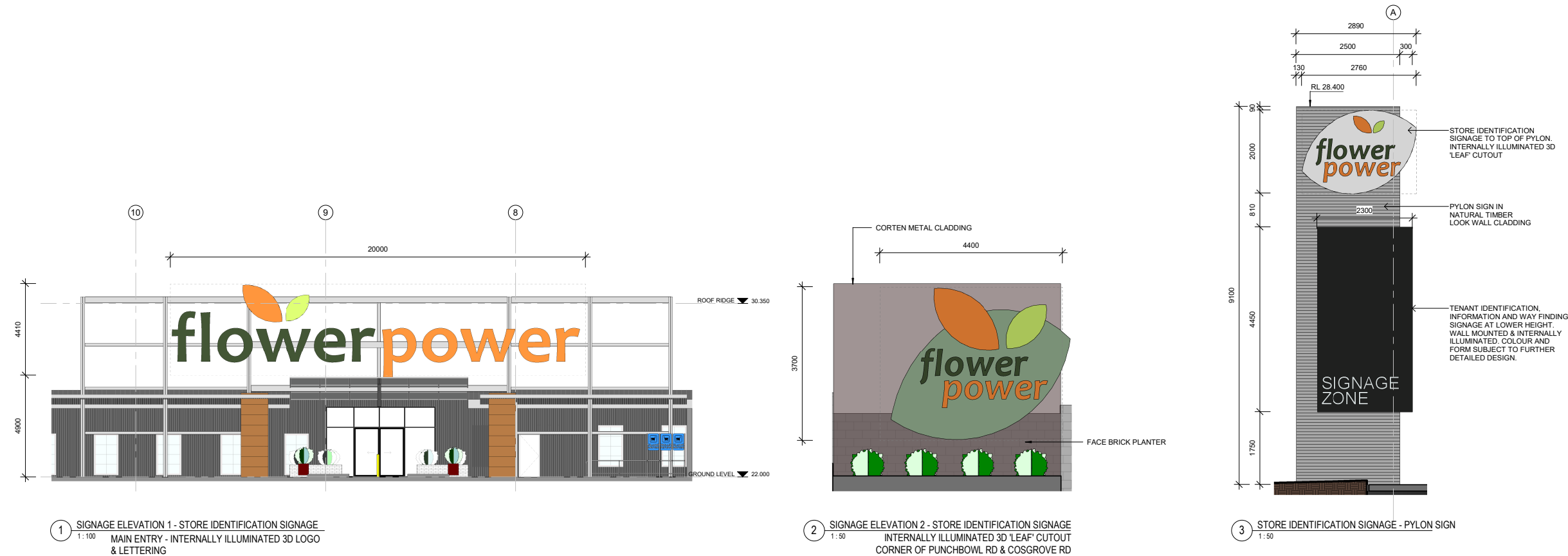


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ISSUE	DATE	DESCRIPTION
P1	07/10/2021	PRELIMINARY ISSUE
P2	18/10/2021	PRELIMINARY ISSUE
A	18/11/2021	DA APPROVAL

SIGNAGE PLAN

A100.20 DA - A
As indicated @ A1
@ A3

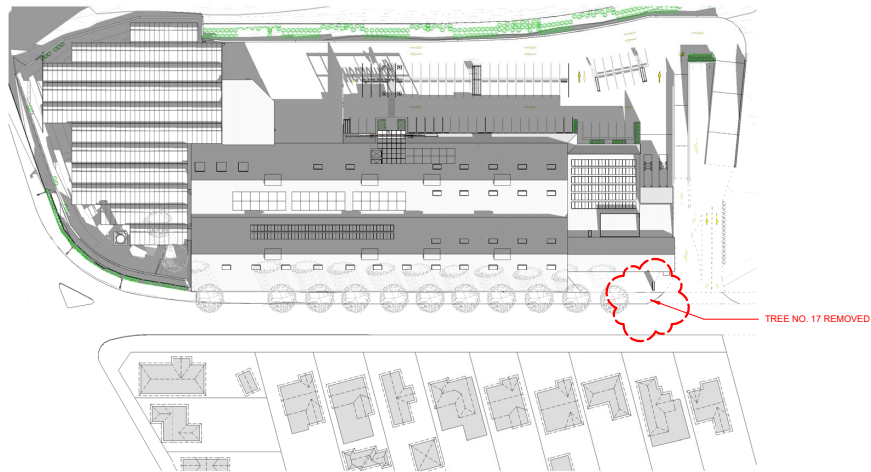


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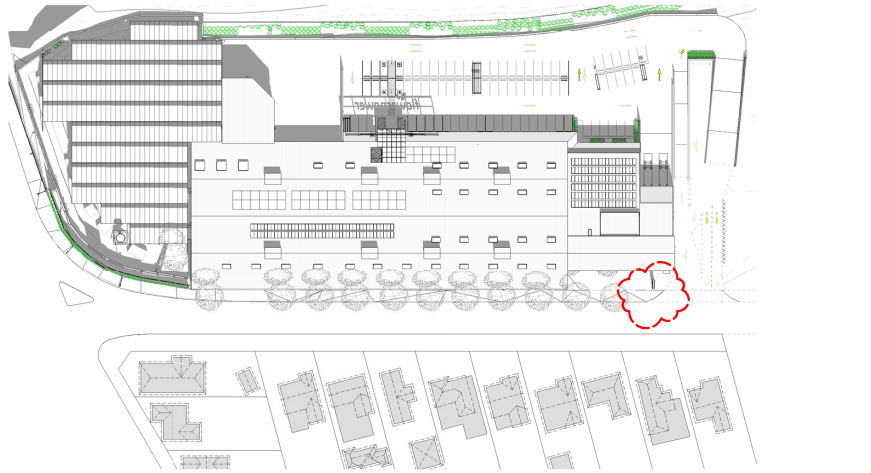
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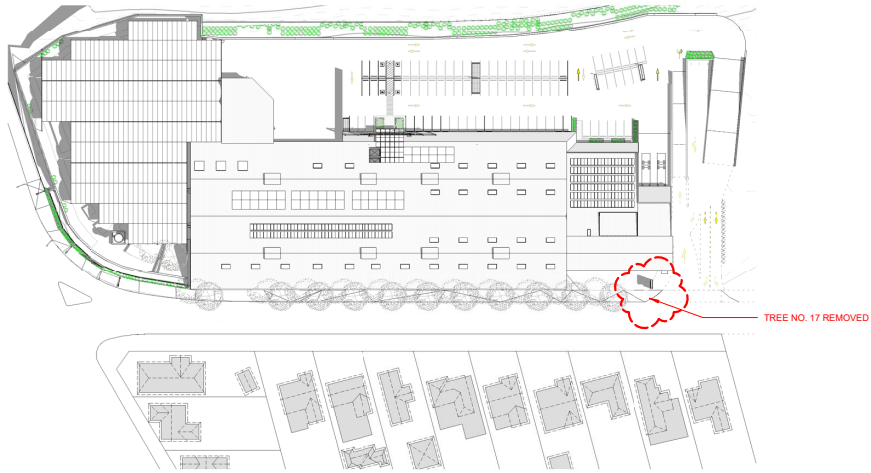
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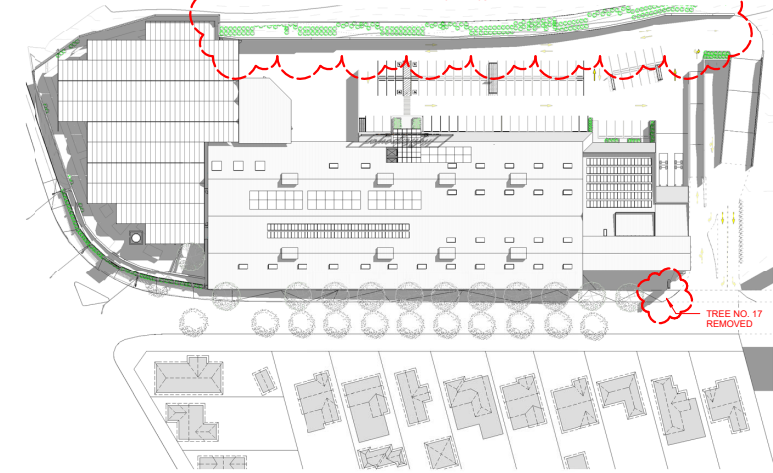
1 WINTER SOLSTICE - 9AM
1:1000



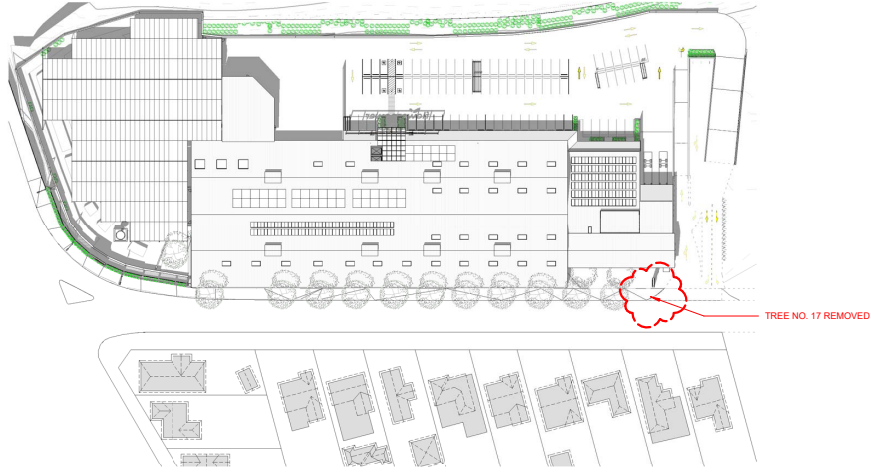
2 WINTER SOLSTICE - 12AM
1:1000



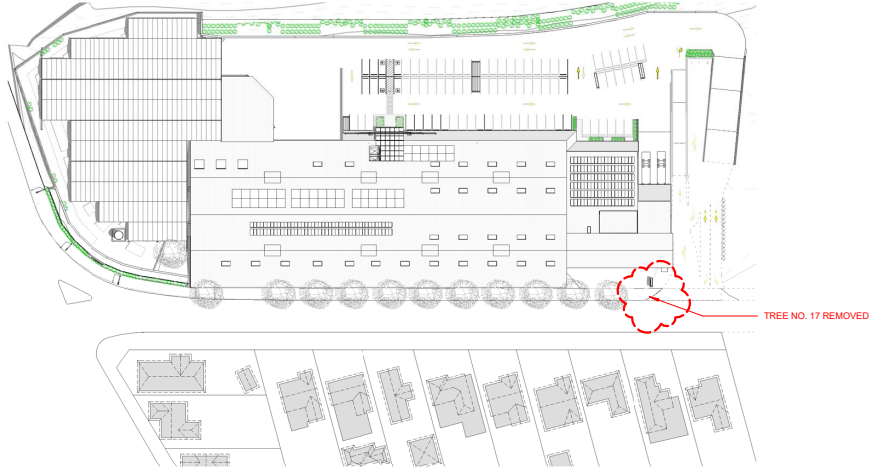
3 WINTER SOLSTICE - 3PM
1:1000



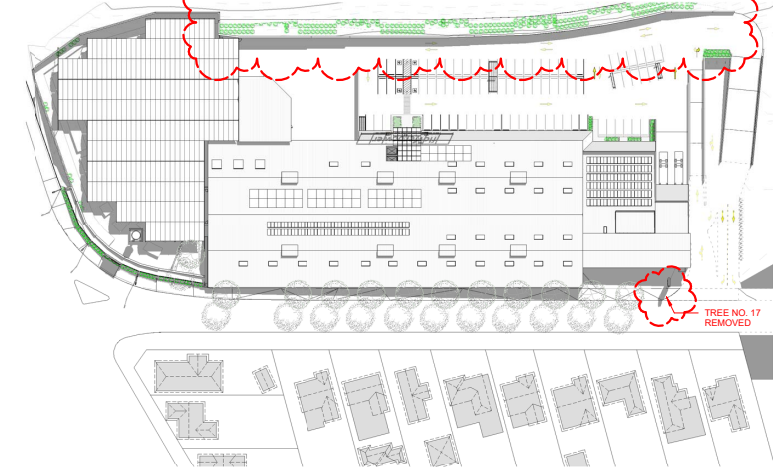
4 EQUINOX - 9AM
1:1000



5 EQUINOX - 12PM
1:1000



6 EQUINOX - 3PM
1:1000



7 SUMMER SOLSTICE - 9AM
1:1000



8 SUMMER SOLSTICE - 12PM
1:1000



9 SUMMER SOLSTICE - 3PM
1:1000



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ISSUE	DATE	DESCRIPTION
P2	18/10/2021	PRELIMINARY ISSUE
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SOLAR STUDY

A100.30

DA - B

1:1000 @ A1
1:2000 @ A3

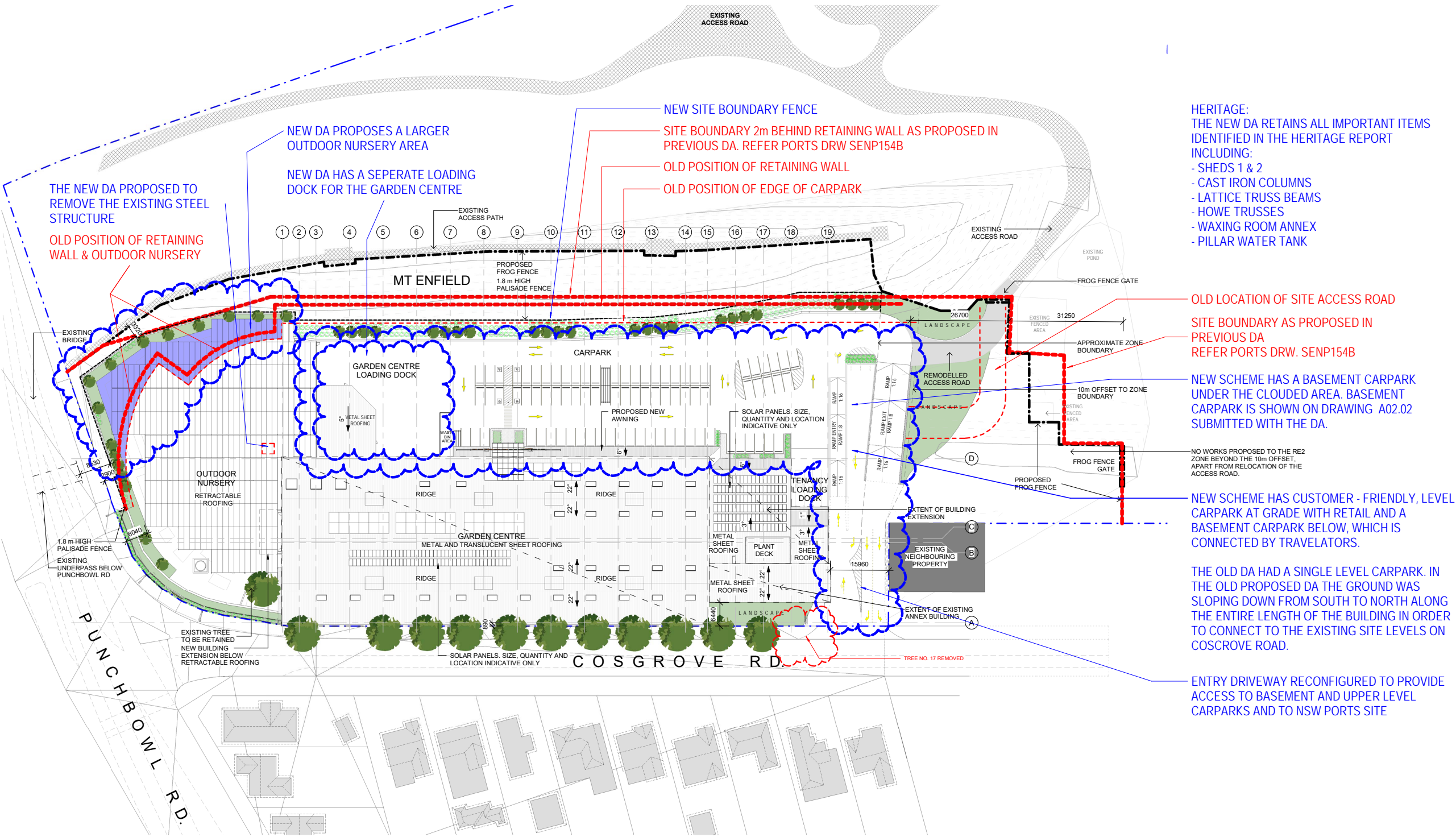


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HERITAGE:
THE NEW DA RETAINS ALL IMPORTANT ITEMS IDENTIFIED IN THE HERITAGE REPORT INCLUDING:
- SHEDS 1 & 2
- CAST IRON COLUMNS
- LATTICE TRUSS BEAMS
- HOWE TRUSSES
- WAXING ROOM ANNEX
- PILLAR WATER TANK

OLD LOCATION OF SITE ACCESS ROAD
SITE BOUNDARY AS PROPOSED IN PREVIOUS DA
REFER PORTS DRW. SENP154B

NEW SCHEME HAS A BASEMENT CARPARK UNDER THE CLOUDED AREA. BASEMENT CARPARK IS SHOWN ON DRAWING A02.02 SUBMITTED WITH THE DA.

NO WORKS PROPOSED TO THE RE2 ZONE BEYOND THE 10m OFFSET, APART FROM RELOCATION OF THE ACCESS ROAD.

NEW SCHEME HAS CUSTOMER - FRIENDLY, LEVEL CARPARK AT GRADE WITH RETAIL AND A BASEMENT CARPARK BELOW, WHICH IS CONNECTED BY TRAVELATORS.

THE OLD DA HAD A SINGLE LEVEL CARPARK. IN THE OLD PROPOSED DA THE GROUND WAS SLOPING DOWN FROM SOUTH TO NORTH ALONG THE ENTIRE LENGTH OF THE BUILDING IN ORDER TO CONNECT TO THE EXISTING SITE LEVELS ON COSCROVE ROAD.

ENTRY DRIVEWAY RECONFIGURED TO PROVIDE ACCESS TO BASEMENT AND UPPER LEVEL CARPARKS AND TO NSW PORTS SITE

1 DA COMPARISON - PROPOSED SITE PLAN - ROOF/AERIAL
1:500



FLOWER POWER SOUTH STRATHFIELD
127 COSGROVE ROAD SOUTH STRATHFIELD NSW 2135

ISSUE	DATE	DESCRIPTION
A	02/02/2022	DA APPROVAL
B	14/03/2022	DA APPROVAL
C	05/08/2022	DA RFI ISSUE

DA COMPARISON - SITE PLAN

A100.50

DA - C

1:500 @ A1 @ A3



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Garden Centre and Hardware & Building Supplies, ENDFIELD

127 COSGROVE ROAD SOUTH
STRATHFIELD NSW

LANDSCAPE PLAN

23 August 2022 Rev H

SITEDESIGN
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E: julian@sdstudios.com.au

Plant List						
ID	Botanical Name	Common Name	Scheduled Size	Mature Height	Mature Spread	Qty
Trees						
A-pal	Acer palmatum Senkaki	Coral Bark Maple	100L	4 - 8m	2.0 - 3.5m	3
Cer-si	Cercis siliquastrum	Judas Tree	75L	5 -12m	5m	7
EReti	Elaeocarpus reticulatus	Blueberry Ash	45L	8m	3m	24
Mag-so	Magnolia soulangeana	saucer magnolia	45L	0.5 - 7m	0.5 - 7m	3
Mag-st	Magnolia stellata	Star Magnolia	45L	6m	4m	16
PCali-c	Pyrus calleryana 'Capital'	Capital Flowering Pear	45L	9 - 15m	2.0 - 3.5m	31
Shrubs						
Cal-end	Callistemon endeavour	Endeavour Bottlebrush	200mm	2 - 5m	2.0 - 3.5m	13
cor-fr	Cordyline fruticosa	li plant	200mm	0.8 - 2m	1m	94
cor-re	Cordyline 'Red Sensation'	red sensation	200mm	0.8 - 2m	1m	50
Gar-aug-fl	Gardenia augusta 'Florida'	Gardenia	200mm	1m	1m	110
Phi-xan	Philodendron 'Xanadu'	Winterbom Philodendron	150mm	0.9 - 1.5m	0.9 - 1.2m	28
pho-ro	Photinia robusta	Photinia	200mm	0.8 - 2m	1m	81
Rap-ind-op	Raphiolepis indica 'oriental pearl'	Indian Hawthorn	300mm	0.45 - 0.6m	1.2 - 2.0m	28
Vib-odo	Viburnum odoratissimum	Viburnum	200mm	1500mm hedged	1000mm hedged	170
Ground Covers						
aca-co	Acacia cognata	Limelight Acacia	150mm	0.1 - 0.6m	0.5-1m	322
Art-cir	Arthropodium cirratum	renga lily	150mm	0.6 - 0.9m	0.3 - 0.6m	277
bae-vi	Baeckea virgata nana	Dwarf Heath Myrtle	150mm	0.8-1.5m	1-3m	329
ber-ac	Bergenia x schmidtii	Bergenia	150mm	0.5m	0.5	40
cas-o'	Casuarina 'Cousin It'	Casuarina "Cousin It"	150mm	0.0 - 0.3m	1.2 - 2.0m	162
Myo-par	Myoporum parvifolium	Yareena Creeping Boobiala	150mm	0.45 - 0.6m	0.3m	299
san-stu	Sansevieria stuckyi	Mother in-laws Tongue	200mm	0.75 - 0.9m	0.6 - 0.9m	56
Tra-jas	Trachelospermum jasminoides	Star Jasmine	150mm	3 - 5m	3.5 - 6m	38
vio-he	Viola hederacea	Native Violet	150mm	0.1m	0.8m	111
Grasses						
Aga-afi	Agapanthus africanus	African Lily	150mm	0.6 - 0.9m	0.3 - 0.6m	70
Cli-min	Clivia miniata	Bush Lily	150mm	0.45 - 0.6m	0.3 - 0.6m	627
Dor-exc	Doranthus excelsa	Gymea Lily	200mm	1-2m	2-4m	299
lom-hy	Lomandra hystrix	Green mat-rush	150mm	0.5m	0.6m	1475
lom-ta	Lomandra 'Tanika'	Fine-leaved mat rush	150mm	0.5m	0.6m	1488

LANDSCAPE MAINTENANCE

THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL AREAS OF THE CONTRACT DURING THE PROGRESS OF THE WORKS. THE CONTRACTOR SHALL COMMENCE AND FULLY IMPLEMENT THE SHORT-TERM MAINTENANCE AND ESTABLISHMENT AFTER PRACTICAL COMPLETION HAS BEEN CONFIRMED.

SITE CONTROL: REPORT TO THE PRINCIPAL'S DESIGNATED REPRESENTATIVE ON ARRIVING AT AND BEFORE LEAVING THE SITE.

PLANT ESTABLISHMENT PERIOD: THE PERIOD BETWEEN THE DATE OF PRACTICAL COMPLETION AND THE DATE OF FINAL COMPLETION.

MAINTENANCE/ ESTABLISHMENT PERIOD: 12 MONTHS.

PLANT ESTABLISHMENT: MAINTAIN THE CONTRACT AREA DURING THE PLANT ESTABLISHMENT PERIOD. ENSURE THE GENERAL APPEARANCE AND PRESENTATION OF THE LANDSCAPE AND THE QUALITY OF PLANT MATERIAL AT DATE OF PRACTICAL COMPLETION IS MAINTAINED FOR THE FULL PLANTING ESTABLISHMENT PERIOD.

EXISTING PLANT MATERIAL: MAINTAIN EXISTING PLANTING WITHIN THE LANDSCAPE CONTRACT AREA AS SPECIFIED FOR NEW PLANTING.

REPLACEMENTS: REPLACE FAILED, DEAD AND/OR DAMAGED PLANTS AT MINIMUM 3 WEEK INTERVALS AS NECESSARY THROUGHOUT THE FULL PLANT ESTABLISHMENT PERIOD.

REPORTING: SUBMIT REGULAR REPORTS BY THE LAST FRIDAY OF EACH MONTH SUMMARISING THE GENERAL STATUS OF WORKS. INCLUDE A MAINTENANCE SCHEDULE, A LOG BOOK OF MAINTENANCE ACTIVITY, SOIL TEST RESULTS AS REQUIRED FOR ANY FERTILISING PROGRAMS, AND PLANT REPLACEMENT REQUIREMENTS.

WATER RESTRICTIONS: COORDINATE THE WATER SUPPLY AND CONFIRM THE WATERING REGIME AGAINST RELEVANT GOVERNMENT LEGISLATION AND RESTRICTIONS AT THE TIME.

STAKES AND TIES: REMOVE AT THE END OF THE PLANTING ESTABLISHMENT PERIOD.

TEMPORARY FENCES: REMOVE TEMPORARY PROTECTIVE FENCES AT THE END OF THE PLANTING ESTABLISHMENT PERIOD.

COMPLIANCE: PLANT ESTABLISHMENT SHALL BE DEEMED COMPLETE, SUBJECT TO THE FOLLOWING:

- * REPAIRS TO PLANTING MEDIA COMPLETED.
- * PESTS, DISEASE, OR NUTRIENT DEFICIENCIES OR TOXICITIES ARE NOT EVIDENT.
- * MULCHED SURFACES HAVE BEEN MAINTAINED IN A WEED FREE AND TIDY CONDITION AND TO THE SPECIFIED DEPTH.
- * VEGETATION IS ESTABLISHED AND WELL FORMED.
- * PLANTS HAVE HEALTHY ROOT SYSTEMS.
- * VEGETATION IS NOT RESTRICTING ESSENTIAL SIGHT LINES AND SIGNAGE.
- * COLLECTION AND REMOVAL OF LITTER COMPLETED.
- * REMOVAL OF MULCH FROM DRAINAGE AND ACCESS AREAS COMPLETED.
- * ALL DEFECTS NOTIFICATIONS HAVE BEEN CLOSED OUT.

DRIP IRRIGATION PERFORMANCE SPECIFICATION

All Garden Beds and Planter Boxes are to be provided with a drip irrigation system and two taps with removebale water keys, connected to a pump and the rainwater tank.

Design, supply and install a permanent, fully automated drip irrigation system. The system is to cover all new garden areas to the extent shown on the drawings. Water is to be delivered via sub surface drippers and/or drip lines. The system is to be capable of supplying 32mm of water/week over all irrigated areas. It is to be designed to operate for a minimum of 10 years. All lines are to be buried below the finished ground level. Pits are to be set on a 200mm deep bed of gravel. Pit covers are to be level with the soil surface. Avoid seepage onto pavement, buildings or other structures. Include plumbing connection to main, main valve and backflow prevention. Central controller/programmer to be located in a lockable box in nominated location to be approved prior to installation. A dedicated GPO is to be provided for the controller to be plugged into. All work is to be approved by the local regulatory authority. Prepare as installed drawings and commission the system.

The Contractor is to submit documents of the design and specification for the irrigation system for approval prior to commencement of work. Equipment is to comply with AS 2698.1 & as 2698.3.

Connect to pumps connect to the rainwater tanks.



FOR DEVELOPMENT APPLICATION ONLY

AMENDMENTS -		
ISSUE	DATE	COMMENT
A/8	23.08.22	ISSUE FOR APPROVAL
A/7	29.11.21	ISSUE FOR APPROVAL
A/6	05.11.21	ISSUE FOR APPROVAL
A/5	01.11.21	ISSUE FOR APPROVAL
A/4	27.10.17	ISSUE FOR APPROVAL
A/3	31.07.17	ISSUE FOR APPROVAL

NOTES

GENERAL NOTES

All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Authorities Regulations and all other relevant Authorities concerned. All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs and footings, r.c. and steel beams & columns, wind bracing to AS 1170 and AS4555, anchor rods or bolts, tie downs, felings etc., driveway slabs and drainage to Council's satisfaction. All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1684. All work to be carried out in a professional and workman- shiplike manner according to the plans and specification.

NOTE

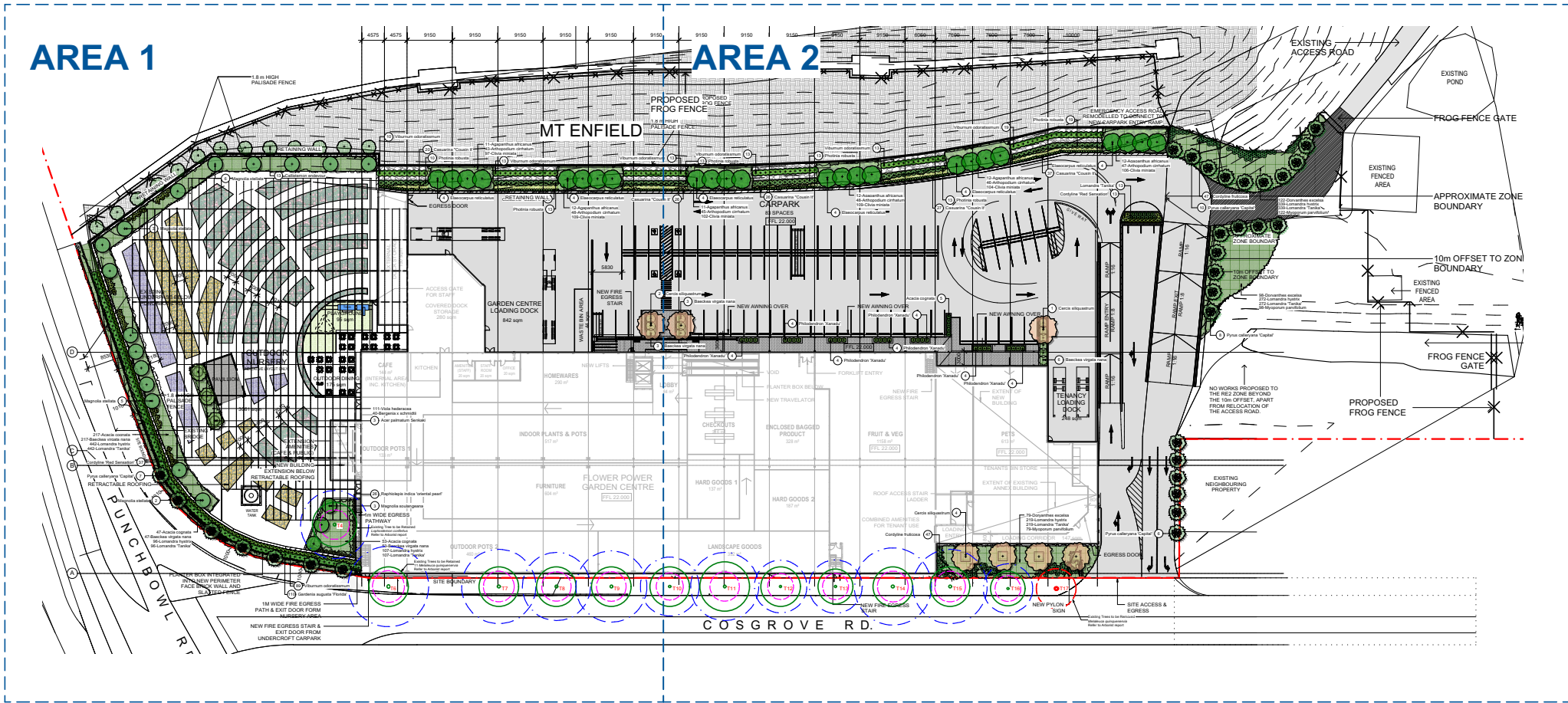
Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.

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Page
LP01

LEGEND :

BOUNDARY As Selected Paver
Building Area Retaining Wall

creating gardens to live in and enjoy



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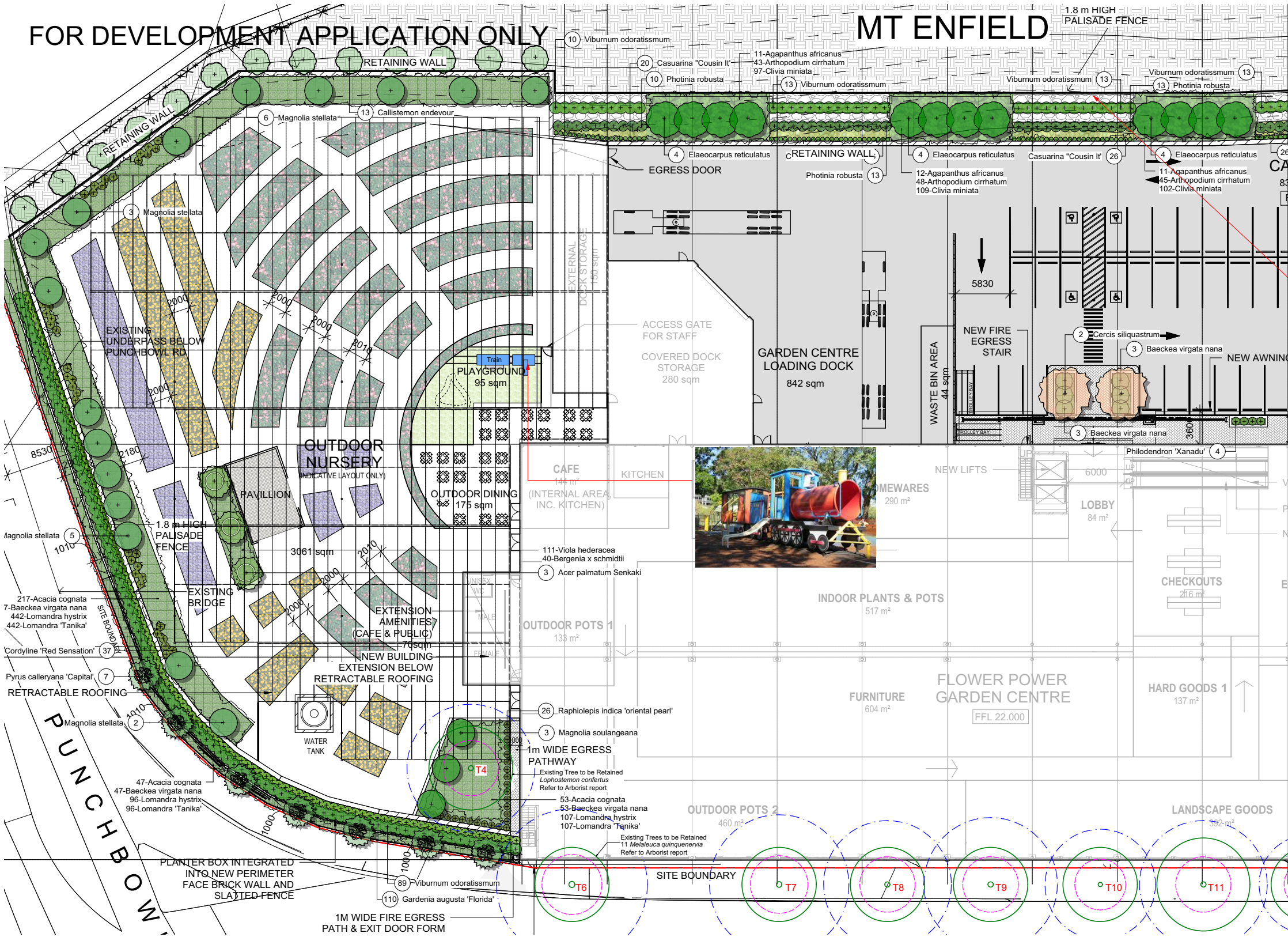
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Project	Garden Centre & Hardware & Building Supplies, ENDFIELD		
Address	127 COSGROVE ROAD STRATHFIELD NSW	Revision	A/8
Drawing Title	SITE LANDSCAPE PLAN		
Date	23.08.22	Scale	1:500 @A1
		Drawing No.	15-830

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MT ENFIELD



AMENDMENTS -

ISSUE	DATE	COMMENT
A/8	23.08.22	ISSUE FOR APPROVAL
A/7	28.11.21	ISSUE FOR APPROVAL
A/6	05.11.21	ISSUE FOR APPROVAL
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GABION RETAINING WALLS

EXISTING TREE LEGEND

- EXISTING TREES TO BE RETAINED
- TREES TO BE REMOVED
- SRZ
- TPZ

Page
LP01

LEGEND :

- BOUNDARY
- Building Area
- As Selected Paver
- Retaining Wall
- creating gardens to live in and enjoy



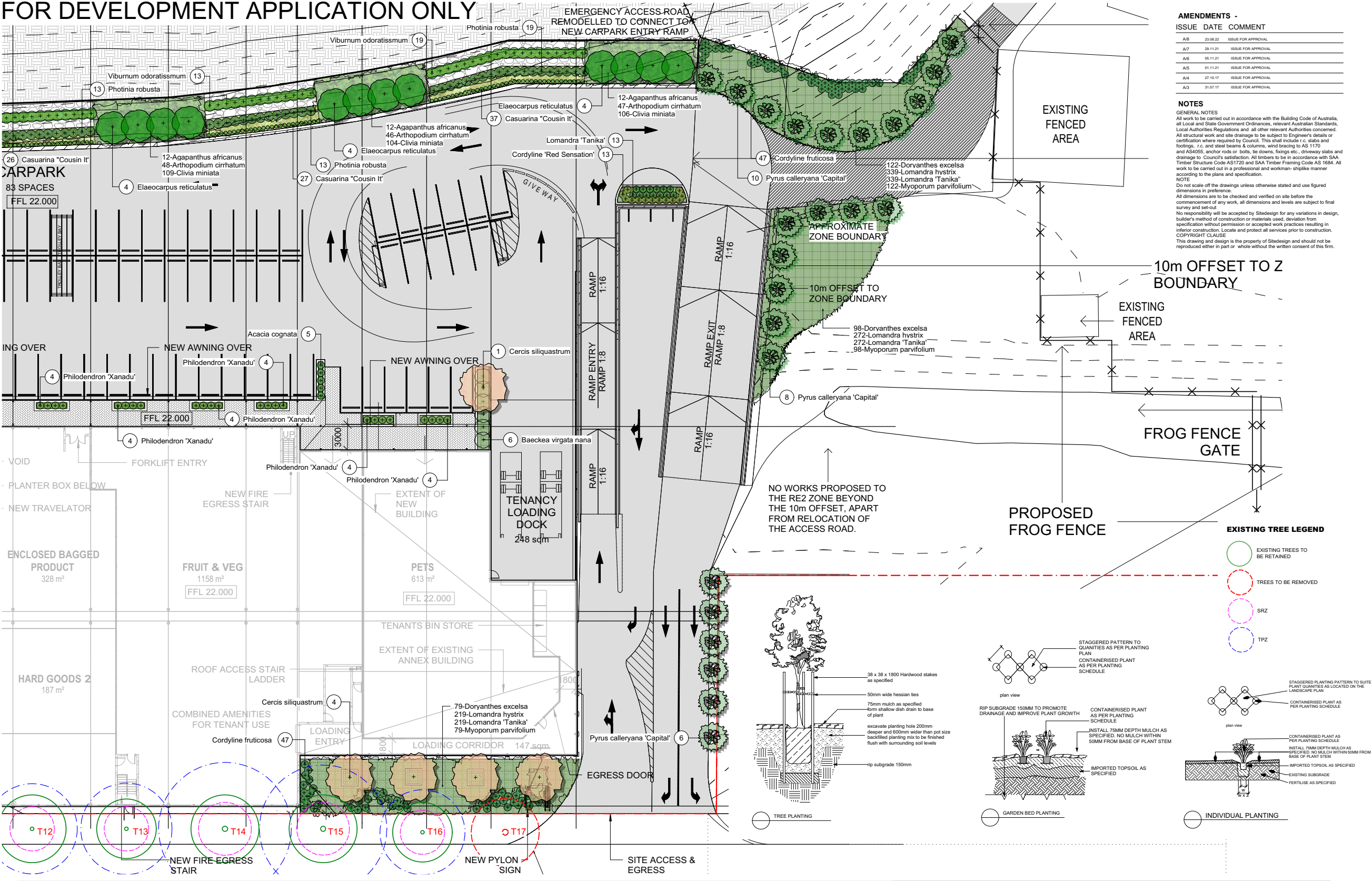
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Address	127 COSGROVE ROAD STRATHFIELD NSW	Revision	A/8
Drawing Title	SITE LANDSCAPE PLAN		
Date	23.08.22	Scale	1:200 @A1
		Drawing No.	15-830

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LEGEND :

- BOUNDARY
- As Selected Paver
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Sansevieria stuckyi
Elephant Tusks
(Planted on Planter Box)



Trachelospermum jasminoides on Wire

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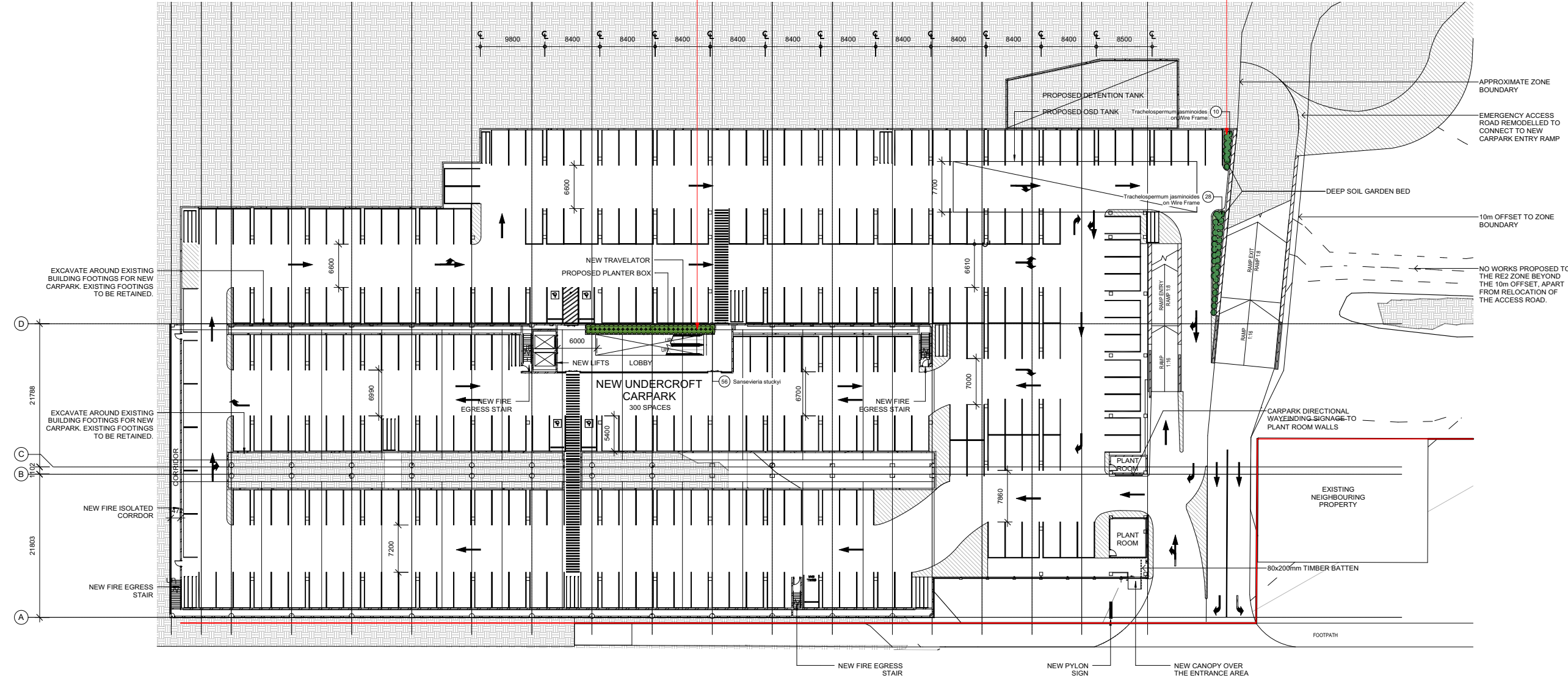
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LEGEND :

--- BOUNDARY [Pattern] As Selected Paver

[Pattern] Building Area [Pattern] Retaining Wall

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Date	23.08.22	Scale	1:300 @A1
		Drawing No.	15-830