

STRATHFIELD COUNCIL

COUNCIL MEETING

AGENDA

Tuesday 25 March 2025

6:30pm

Council Chambers

65 Homebush Road, Strathfield



Statement of Ethical Obligations

In accordance with clause 3.23 of the Model Code of Meeting Practice, released by the NSW Office of Local Government, Councillors are reminded of their Oath or Affirmation of Office made under section **233A of the Act and their obligations under Council's Code of Conduct to disclose and appropriately manage conflicts of interest.**

Oath or Affirmation of Office

The Oath or Affirmation is taken by each Councillor whereby they swear or declare to undertake the duties of the office of Councillor in the best interests of the people of Strathfield and Strathfield Council and that they will faithfully and impartially carry out the functions, powers, authorities and discretions vested in them under the *Local Government Act 1993* or any other Act to the best of their ability and judgment.

Conflicts of Interest

All Councillors must declare and manage any conflicts of interest they may have in matters being considered at Council **Meetings in accordance with the Council's Code of Conduct**. All declarations of conflicts of interest and how the conflict of interest was managed will be recorded in the minutes of the meeting at which the declaration was made.

Councillors attending a meeting by audio-visual link must declare and manage any conflicts of interest they may have in matters being considered at the meeting in **accordance with Council's Code of Conduct**. Where a Councillor has declared a pecuniary or significant non-pecuniary conflict of interest in a matter being discussed at the meeting, the **Councillor's audio-visual link** to the meeting will be suspended or terminated for the time during which the matter is being considered or discussed by Council, or at any time during which Council is voting on the matter.

Councillors should ensure that they are familiar with Parts 4 and 5 of the Strathfield Council Code of Conduct in relation to their obligations to declare and manage conflicts of interests.

Recording of Council Meetings

Persons in the gallery are advised that under the *Local Government Act 1993* a person may NOT tape record the proceeding of a meeting of a Council or committee without the authority of the Council or committee.

“Tape record” includes a video camera and an electronic device capable of recording speech.

Mobile phones must be turned off so as not to disrupt the meeting. Anyone, including Councillors, found using a mobile phone will be told to leave the meeting immediately and for the duration of the said meeting.

An audio recording of this meeting will be taken for minute taking purposes as authorised by the *Local Government Act 1993*.

This meeting is live streamed on Council’s website to allow the community to follow Council debates and decisions without the need to attend meetings in person. Members of the public attending or speaking at a meeting agree to have their image, voice and personal information (including name and address) recorded and publicly broadcast. Strathfield Council does not accept liability for any defamatory remarks or inappropriate comments that are made during the course of a meeting. Any part of the meeting that is held in closed session will not be streamed.

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Nil

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Nil

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MICHAEL MAMO
GENERAL MANAGER

STRATHFIELD COUNCIL

COUNCIL MEETING MINUTES

Tuesday 25 February 2025

6:30pm

Council Chambers

65 Homebush Road, Strathfield



Minutes of the Council Meeting of Strathfield Municipal Council held on 25 February 2025, in the Council Chambers, 65 Homebush Road, Strathfield.

COMMENCING: 6:30pm

PRESENT: Deputy Mayor Benjamin Cai
Councillor Matthew Blackmore
Councillor Karen Pensabene
Councillor Sandy Reddy
Councillor Rory Nosworthy
Councillor Esther Kim

STAFF: Michael Mamo, General Manager
Kristy Watts, Director Corporate and Community
Paul Reid, Director Planning and Environment
Cathy Edwards-Davis, Director Engineering and Operations
Melissa Mallos, General Counsel
Dylan Porter, Manager Planning and Place
David Vien, Acting Manager Governance and Procurement
Gina Nobrega, Governance and Corporate Support Officer
Rodney Sanjivi, Chief Financial Officer
Cathy Jones, Chief Strategy Officer

1. **MOMENT OF REFLECTION:** The Prayer was read.

2. **RECOGNITION OF TRADITIONAL CUSTODIANS:** The Recognition was read.

3. **APOLOGIES AND APPLICATION FOR LEAVE OF ABSENCE**

3.1 **Leave of Absence - Councillor Rory Nosworthy**

1/25

RESOLVED: (Nosworthy / Reddy)

That Councillor Rory Nosworthy be granted a Leave of Absence for the Ordinary Council Meeting 29 April 2025.

For the Motion: Councillors Blackmore, Pensabene, Cai, Reddy, Baladi, Nosworthy and Kim

Against the Motion: Nil

3.2 Apology received by the Mayor, Councillor John Paul Baladi.

4. DISCLOSURES OF INTEREST (NATURE OF INTEREST TO BE DISCLOSED)

Nil.

5. ACKNOWLEDGEMENTS

5.1 **National Servicemen's Day – Councillor Esther Kim**

I would like to acknowledge the **National Servicemen's Day** event which was held Lidcombe Memorial Park on 16 February 2025.

A special thanks also, to Cumberland RSL Sub-Branch President, Mr Matt Jones and his fellow veterans for their contribution and dedication.

5.2 **Saish Pongal – Councillor Rory Nosworthy**

Both myself and Councillor Sandy Reddy on 16 February 2025, attended the Saish Pongol, Makar Sankranti and LOHRI Celebration with special thanks to the President of Saish, Raj Datta, for organising the event and bringing our community together.

5.3 **St Patrick's College Graduating Students – Councillor Benjamin Cai**

I would like to acknowledge the hard work and achievements of the graduating students of St Patrick's College. This is a significant milestone and I commend their dedication, perseverance and commitment to learning. St Patrick's College has a proud tradition in economic excellence and in fostering future leaders who will contribute positively to our community.

5.4 **International Women's Day – Councillor Benjamin Cai**

I would like to acknowledge the upcoming International Women's Day. This day serves as a reminder of the important contributions, achievements and the resilience of women in all aspects of society. It is a time to celebrated progress, reflect on challenges and continue to work towards a future of equality and opportunity for all women.

5.5 **Chinese Lunar New Year – Councillor Benjamin Cai**

I would like to recognise the vibrant celebration of Chinese New Year and Lunar New Year in our community. Events such as those at the Homebush West shopping centre, our local libraries with calligraphy and other celebrations. Also the Sydney Markets showcasing the rich culture and diversity, making Strathfield

such a special place. These celebrations bring people together, foster cultural celebration and strengthen our sense of community.

5.6 Mason Park Wetlands Grant – Councillor Rory Nosworthy

I would like to acknowledge the Grant provided to us and secured by the Labor Federal Member for Reed, Sally Sitou. The grant of \$1.8 million will go toward the maintenance and upkeep of Mason Park wetlands and assist in the migratory birds that use those wetlands for half of the year before they fly off to East Asia.

6. CONFIRMATION OF MINUTES

2/25

RESOLVED: (Reddy / Pensabene)

That the minutes of the Ordinary Council Meeting meeting held on 10 December 2024, a copy of which has been furnished to each Councillor, be taken as read and confirmed as a true and correct record of that meeting and that the Chairman and General Manager be authorised to sign such minutes.

*Voting on this item was **unanimous***

7. MAYORAL MINUTE(S)

Nil

8. ITEMS BY EXCEPTION

8.1 Items By Exception

3/25

RESOLVED: (Cai / Reddy)

That in accordance with Section 13 of Council's Code of Meeting Practice the items below be dealt with by exception and that they be adopted as recommended by a single Motion:

- 10.2 Outdoor Dining Permits – Councillor Rory Nosworthy
- 10.5 Consideration of assessment of new gaming and licensed venues - Councillor Matthew Blackmore
- 10.6 Marketplace Trading – Councillor Rory Nosworthy
- 10.10 Dwelling Mix - Councillor Rory Nosworthy

-
- GMU1 Community Strategic Plan Review
- GMU2 Pictorial History of Strathfield District book
- GMU3 Delivery Program 6 Month Progress Report - July to December 2024
- GMU5 Strathfield Council Events Committee
- GMU6 Strathfield Council 140 Year Anniversary Celebrations
- CCS1 Investment Report – December 2024 and January 2025
- CCS2 Councillor Workshop 17 December 2024
- CCS3 Statistics on Calls, Complaints, Queries, Suggestions etc Received by The Council Service Desk
- CCS4 Councillor Workshop 11 February 2025
- CCS5 Current Status of Council Resolutions
- CCS8 Tenders Advertised and Awarded December 2024 and January 2025
- CCS9 Reforms to the Model Code of Meeting Practice - Submission Due 28 February 2025
- PE1 Building Compliance Fees & Charges Post Exhibition
- PE2 Draft Swimming Pool Barrier Inspection Program and Policy
- PE4 Alterations to Fees and Charges – Management of Animals
- EO1 Draft Parklet Policy – Community Feedback
- EO2 Installation of Shade Sails at Tavistock Reserve
- EO6 Bus Shelter at Pemberton Street – South of Arthur Road
- EO7 Feasibility Study of a Multi-Storey Parking Facility in Strathfield Town Centre
- 12.1 Report from Traffic Committee meeting on 17 December 2024
- 12.2 Report from Traffic Committee meeting on 18 February 2025

*Voting on this item was **unanimous***

10.2 Outdoor Dining Permits

4/25

RESOLVED ON THE NOTICE OF MOTION BY COUNCILLOR MATTHEW BLACKMORE

Moved by: (Cai / Reddy)

That a report be provided to Councillors at the April Councillor Workshop with the following information:

1. The current status of all outdoor dining permits or dining premises with outdoor dining but no permits.
2. The total revenue Council receives from outdoor dining permits.

3. The current process for dining premises to renew their permits.
4. Any opportunities to increase participation in outdoor dining.
5. Any changes that can streamline the management of outdoor dining permits to put the responsibility on Council to renew rather than business owners.

RESOLVED BY EXCEPTION

10.5 Consideration of assessment of new gaming and licensed venues

5/25

RESOLVED ON THE NOTICE OF MOTION BY COUNCILLOR MATTHEW BLACKMORE

Moved by: (Cai / Reddy)

1. Council be provided with a briefing on the assessment process new licensed venues and Gaming Machines in NSW. This includes changes brought about by NSW Government to streamline approval pathways for licenced venues.
2. Further, that a summary be provided on the impacts to community and individual safety that have occurred since the advent of the Liquor and Gaming reforms and promotion of night time economies in town centres generally.
3. Recommendations be provided as to possible initiatives that Strathfield Council might deploy to managed licenced venues within or close to our centres and villages.
4. That a report be prepared to a future Council Meeting with the pathway or capability to restrict any new approvals of Licenced Gambling & Alcohol Venues within Strathfield LGA.

RESOLVED BY EXCEPTION

10.6 Marketplace Trading

6/25

RESOLVED ON THE NOTICE OF MOTION BY COUNCILLOR RORY NOSWORTHY

Moved by: (Cai / Reddy)

That the General Manager provide a report to a Council meeting that outlines if there is opportunity to work with the Auburn Police area command to identify a secure location for online marketplace trading.

RESOLVED BY EXCEPTION

10.10 Dwelling Mix

7/25

RESOLVED ON THE NOTICE OF MOTION BY COUNCILLOR RORY NOSWORTHY

Moved by: (Cai / Reddy)

That Council include a requirement for new residential projects containing ten or more dwellings ensure a minimum number of dwellings with three bedrooms to accommodate families. This minimum should be in the range of 10-20% and consider the location for developments in relation to public transport, facilities and education.

RESOLVED BY EXCEPTION

GMU1 Community Strategic Plan Review

8/25

RESOLVED: (Cai / Reddy)

1. That the revised Strathfield Community Strategic Plan be notified for public exhibition for a minimum 28 day period.
2. That community feedback received be assessed and reported to a future Council meeting.

RESOLVED BY EXCEPTION

GMU2 Pictorial History of Strathfield District book

9/25

RESOLVED: (Cai / Reddy)

That Council allocates and approves expenditure of \$20,000 for the production of the Pictorial History of Strathfield District book.

RESOLVED BY EXCEPTION

GMU3 Delivery Program 6 Month Progress Report - July to December 2024

10/25

RESOLVED: (Cai / Reddy)

That the Delivery Program Progress Report for 1 July to 30 December 2024 be received and adopted.

RESOLVED BY EXCEPTION

GMU5 Strathfield Council Events Committee

11/25

RESOLVED: (Cai / Reddy)

That Councillors endorse the introduction of Event Working Groups for our major events as set out in the “Proposed Way Forward” section of this report.

RESOLVED BY EXCEPTION

GMU6 Strathfield Council 140 Year Anniversary Celebrations

12/25

RESOLVED: (Cai / Reddy)

That:

1. Council endorses a program of events and approve the required funding to celebrate Strathfield Council's 140 Year anniversary which is integrated into the Homebush Vibes event, in addition to running a ceremonial Council Meeting followed by a community performance with light refreshments in the Town Hall, an exhibition opening in the Ironbark Gallery and seniors' morning tea at the library.
2. Council set an Extraordinary Meeting on 2 June 2025 to enable a 140 Year Ceremonial meeting to take place on the actual anniversary date.

RESOLVED BY EXCEPTION

CCS1 Investment Report - December 2024 and January 2025

13/25

RESOLVED: (Cai / Reddy)

That the record of cash investments as at 31 December 2024 and 31 January 2025 be received and noted.

RESOLVED BY EXCEPTION

CCS2 Councillor Workshop 17 December 2024

14/25

RESOLVED: (Cai / Reddy)

That the report be received and noted.

RESOLVED BY EXCEPTION

CCS3 Statistics on Calls, Complaints, Queries, Suggestions etc Received by The Council Service Desk

15/25

RESOLVED: (Cai / Reddy)

That the report be received and noted.

RESOLVED BY EXCEPTION

CCS4 Councillor Workshop 11 February 2025

16/25

RESOLVED: (Cai / Reddy)

That the report be received and noted.

RESOLVED BY EXCEPTION

CCS5 Current Status of Council Resolutions

17/25

RESOLVED: (Cai / Reddy)

That the report on the status of Council Resolutions be noted.

RESOLVED BY EXCEPTION

CCS8 Tenders Advertised and Awarded December 2024 and January 2025

18/25

RESOLVED: (Cai / Reddy)

That Council tenders advertised and awarded in the months of December 2024 and January 2025 be received and noted.

RESOLVED BY EXCEPTION

CCS9 Reforms to the Model Code of Meeting Practice - Submission Due 28 February 2025

19/25

RESOLVED: (Cai / Reddy)

The Council provide the submission below in relation to the proposed changes to Local Government Model Code of Meeting Practice which is due 28 February 2025.

RESOLVED BY EXCEPTION

PE1 Building Compliance Fees & Charges Post Exhibition

20/25

RESOLVED: (Cai / Reddy)

That the proposed Fees and Charges be adopted by Council.

RESOLVED BY EXCEPTION

PE2 Draft Swimming Pool Barrier Inspection Program and Policy

21/25

RESOLVED: (Cai / Reddy)

That:

1. Council endorses the draft Swimming Pool Barrier Inspection Program and Policy for public exhibition for a period of 28 days.
2. Following public exhibition, a report be submitted to Council for its consideration.

RESOLVED BY EXCEPTION

PE4 Alterations to Fees and Charges - Management of Animals

22/25

RESOLVED: (Cai / Reddy)

1. That Council endorse the proposed amendments to fees and charges for the Management of Animals to be placed on public exhibition for twenty-eight (28) days, in accordance with section 610F of the *Local Government Act 1993* – Public Notice of Fees.
2. That Council note a further report will be provided to:
 - outline any submissions made during the public exhibition period; and
 - seek Council's determination of fees to be adopted

RESOLVED BY EXCEPTION

EO1 Draft Parklet Policy - Community Feedback

23/25

RESOLVED: (Cai / Reddy)

That

1. Council endorses the recommendations as outlined under 'responses to submissions' in this report.
2. Council adopts the Parklet Policy once these amendments have been undertaken.

RESOLVED BY EXCEPTION

EO2 Installation of Shade Sails at Tavistock Reserve

24/25

RESOLVED: (Cai / Reddy)

That

1. Council endorses placing the proposal on public exhibition to gather community feedback.
2. Council supports the installation of shade sails at Tavistock Reserve in Homebush West, subject to community support.

RESOLVED BY EXCEPTION

EO6 Bus Shelter at Pemberton Street - south of Arthur Road

25/25

RESOLVED: (Cai / Reddy)

That Council does not install a bus shelter at the bus stop on Pemberton Street, at Arthur Street (ID 2135140) at this time.

RESOLVED BY EXCEPTION

EO7 Feasibility Study of a Multi-Storey Parking Facility in Strathfield Town Centre

26/25

RESOLVED: (Cai / Reddy)

That:

1. A multi-storey parking facility is not currently considered viable at the Strathfield Town Centre due to site constraints and adverse traffic impacts on the town centre.
2. The Land and Property Strategy and the Strathfield Town Centre Masterplan both give consideration to traffic and parking management within the Strathfield town centre.

RESOLVED BY EXCEPTION

12.1 Report from Traffic Committee meeting on 17 December 2024

27/25

RESOLVED: (Cai / Reddy)

That the minutes of the Traffic Committee meeting held on 17 December 2024 be noted and the recommendations (if any) be adopted.

RESOLVED BY EXCEPTION

12.2 Report from Traffic Committee Meeting on 18 February 2025

28/25

RESOLVED: (Cai / Reddy)

That the Minutes of the Traffic Committee Meeting held on 18 February 2025 be noted and the recommendations be adopted.

RESOLVED BY EXCEPTION

9. PUBLIC FORUM

9.1 LEP and Tree Removal / Public Liability - Mr Peter Dobrijevic

Mr Peter Dobrijevic addressed the Meeting.

Mr Dobrijevic spoke about the Local Environmental Plan (LEP) in relation to tree removal and public liability.

9.2 Several Topics - Ms Joy Mulvey

Ms Joy Mulvey addressed the meeting. Ms Mulvey spoke on the following matters:

1. Culturally appropriate education on Waste Management.
2. Stray cats and their impact on our community.
3. Policing the enforcement of No Smoking Zones.

10. NOTICES OF MOTION

10.1 Corner Block and Dual Frontage Basement Controls

RECOMMENDATION

That as part of the updates our planning team are currently undertaking that in relation to Corner Block Basement Controls consideration is given to the following:

- Changes required to not allow a rear or side entry driveway for Basement Parking on Corner Blocks or Dual Frontage Blocks.

MOTION

That as part of the updates our planning team are currently undertaking that in relation to Corner Block Basement Controls consideration is given to the following:

- Changes required to not allow a rear or side entry driveway for Basement Parking on Corner Blocks or Dual Frontage Blocks.
- In situations where it removes a significant section of the property's backyard.

29/25

RESOLVED ON THE NOTICE OF MOTION BY COUNCILLOR MATTHEW BLACKMORE

Moved by: (Blackmore / Reddy)

That as part of the updates our planning team are currently undertaking that in relation to Corner Block Basement Controls consideration is given to the following:

- Changes required to not allow a rear or side entry driveway for Basement Parking on Corner Blocks or Dual Frontage Blocks.
- In situations where it removes a significant section of the property's backyard.

*Voting on this item was **unanimous***

10.3 Litter in the Local Area

30/25

RESOLVED ON THE NOTICE OF MOTION BY COUNCILLOR RORY NOSWORTHY

Moved by: (Nosworthy / Pensabene)

That Council applies for Grant funding under NSW Government's Litter Prevention Grants Program, Intake 5, opening 17 February 2025.

*Voting on this item was **unanimous***

10.4 Cessation of non-essential future Council events

31/25

RESOLVED ON THE NOTICE OF MOTION BY COUNCILLOR MATTHEW BLACKMORE

Moved by: (Blackmore / Pensabene)

1. That a report be provided to a future Council Workshop and Meeting which outlines options to reduce funding and hosting any future events that are not essential or not located in either Strathfield Town Centre, Homebush Village and Homebush West Shops for the duration of this Council Term till September 2028.

2. This does not apply to any civic events such as Anzac Day, Citizenship Ceremonies or Remembrance Day.

For the Motion: Councillors Blackmore, Cai and Reddy

Against the Motion: Councillors Pensabene, Nosworthy and Kim

*The Deputy Mayor used his Casting Vote For and declared the Motion **carried**.*

10.7 Cessation timeframe of the Strathfield Connector Bus

32/25

RESOLVED ON THE NOTICE OF MOTION BY COUNCILLOR MATTHEW BLACKMORE

Moved by: (Blackmore / Reddy)

1. The Connector Bus Service cease to operate before the End of April 2025.
2. That a report be presented to a future Council meeting on the estimated savings from ceasing to provide the Connector Bus Service as well as the estimate income to be received from the sale of the existing fleet of buses.
3. The same report, also provide information on the annual costs involved for Council to maintain one community bus which can be used or hired by Local Community Organisations, Churches, Schools etc.

For the Motion: Councillors Blackmore, Cai, Kim, Reddy

Against the Motion: Councillors Pensabene, Nosworthy

*The Deputy Mayor declared the motion **carried***

10.8 Establishment of the Strathfield Community and Business Excellence Awards

33/25

RESOLVED ON THE NOTICE OF MOTION BY COUNCILLOR BENJAMIN CAI

Moved by: (Cai / Reddy)

That:

1. A report be provided to the March 2025 Councillor Workshop which outlines how Council may introduce an expanded Awards initiative for Strathfield Council, which considers the introduction of the below items and considers how this initiative may be drafted into the 2025-2026 Annual Budget.
 - a. Expansion of the current awards program to include, but not be limited to, the following

categories:

1. Business Excellence Awards (e.g., Innovation, Customer Service, Sustainability)
 2. Community Service Awards
 3. Arts and Cultural Contribution Awards
 4. Sports and Recreation Awards
 5. Environmental Sustainability Awards.
- b. Development of a framework for nominations, including input from the community, and set clear criteria for each award category.
 - c. Hosting of an annual awards ceremony to present these honors, providing a platform to celebrate and promote community spirit and engagement.
 - d. Allocation of appropriate funding and resources for the awards program and ceremony in the upcoming budget cycle.

For the Motion: Councillors Cai, Reddy and Kim

Against the Motion: Councillors Blackmore, Pensabene and Nosworthy

*The Deputy Mayor used his Casting Vote For and declared the Motion **carried***

10.9 Council Response to Safeguard Our Community

34/25

RESOLVED ON THE NOTICE OF MOTION BY COUNCILLOR BENJAMIN CAI

Moved by: (Cai / Reddy)

1. A report be prepared for a future workshop and Council meeting that:
 - a. Outlines where council currently provides education and awareness around the impacts of discrimination within our communities
 - b. Outlines opportunities to provide education and awareness around the impacts of discrimination and any potential partnership opportunities (i.e. law enforcement, schools, and community organisations)
 - c. Where Council can further promote programs and initiatives that educate residents about diversity and inclusion.
2. A report be prepared for a future workshop and Council meeting that reviews Council's current Community Safety Strategy, in relation to the following:
 - a. Engagement with culturally and religiously diverse groups to ensure their concerns are heard

and addressed

- b. Exploring the feasibility of increased security measures in public spaces, particularly during religious or cultural events
- c. Support for the implementation of educational campaigns, events, or workshops in partnership with local organisations to combat discrimination
- d. Commits to ongoing collaboration with other levels of government, advocacy groups, and community leaders to ensure a coordinated response to discrimination within the community.

*Voting on this item was **unanimous***

11. REPORTS TO COUNCIL

GMU4 Sister City Visit to Gapyeong, South Korea

35/25

RESOLVED: (Reddy / Cai)

1. That Council approve for Councillors, the General Manager and required support people, as determined by the General Manager, to attend the 2025 Sister City Visit to Gapyeong County and that Councillors wishing to attend confirm their attendance in writing to the General Manager by **5:00 PM on Friday 7 March 2025**.
2. That Council approves the budget required for the visit to be included in the Q2 Budget review for expenses associated with the visit.

For the Motion: Councillors Cai, Reddy and Kim

Against the Motion: Councillors Blackmore, Pensabene and Nosworthy

*The Deputy Mayor used his Casting Vote For and declared the Motion **carried***

CCS6 Conclusion of Mayoral Minute 07/24

36/25

RESOLVED: (Reddy / Kim)

That:

1. Council acknowledges the information provided to Councillors in response to Mayoral Minute 07/24 satisfies its intended purpose and formally resolves to conclude the matter.

2. Council approves the preparation of the Draft Revenue Policy for the 2025–2026 rating year, based on the ordinary rate path and the proposed adjustment to the rate distribution as outlined in Section 2 of this report.
3. Council endorses the proposed strategy outlined in Section 3 of this report to identify budgetary savings to be transferred to an Asset Infrastructure Renewal Reserve for reallocation towards future infrastructure renewal projects.

For the Motion: Councillors Cai, Reddy and Kim

Against the Motion: Councillors Blackmore, Pensabene and Nosworthy

*The Deputy Mayor used his Casting Vote For and declared the Motion **carried***

CCS7 Quarterly Budget Review Statement (QBRs) for the Quarter Ended 31 December 2024

RECOMMENDATION

That the Quarterly Budget Review Statement and associated budget adjustments for the quarter ended 31 December 2024 be approved and adopted.

MOTION: (Nosworthy / Pensabene)

That the Quarterly Budget Review Statement and associated budget adjustments for the quarter ended 31 December 2024 be approved and adopted.

- \$25,000 to be reduced to \$15,000 to the Hudson Park Dog event.

For the Motion: Councillors Pensabene and Nosworthy

Against the Motion: Councillors Blackmore, Cai, Reddy and Kim

*The Deputy Mayor declare the Motion **lost***

ALTERNATE MOTION: (Reddy / Cai)

That the Quarterly Budget Review Statement and associated budget adjustments for the quarter ended 31 December 2024 be approved and adopted.

- \$25,000 to be reduced to \$1,000 to the Hudson Park Dog event.

The Alternate Motion was put.

For the Motion: Councillors Blackmore, Cai and Reddy

Against the Motion: Councillors Pensabene, Nosworthy and Kim

The Deputy Mayor used his Casting Vote For and declared the Alternate Motion as the Motion

37/25

RESOLVED: (Reddy / Cai)

That the Quarterly Budget Review Statement and associated budget adjustments for the quarter ended 31 December 2024 be approved and adopted.

- \$25,000 to be reduced to \$1,000 to the Hudson Park Dog event.

For the Motion: Councillors Blackmore, Cai and Reddy

Against the Motion: Councillors Pensabene, Nosworthy and Kim

*The Deputy Mayor used his Casting Vote For and declared the Motion **carried***

Councillor Karen Pensabene left the meeting, the time being 7:41 PM

Councillor Karen Pensabene returned to the meeting, the time being 7:45 PM

CCS10 2025 National General Assembly Conference Delegates and Motions

38/25

RESOLVED: (Reddy / Pensabene)

That:

1. Councillors determine its representation at the 2025 National General Assembly of Local Government at the Council Meeting, as follows:
 - a. All Councillors may attend provided they provide the General Manager a confirmation of attendance in writing by 5pm Friday 7 March 2025.
2. **That Councillors elect the Mayor or the Mayor's delegate as the voting delegate for the 2025 National General Assembly at the Council Meeting on 25 February 2025.**

For the Motion: Councillors Cai, Reddy and Kim

Against the Motion: Councillors Blackmore, Pensabene and Nosworthy

*The Deputy Mayor used his Casting Vote For and declared the Motion **carried***

PE3 Draft Planning Proposal - Additional and Diverse Housing Planning Proposal – Implementation of Medium Density Housing Strategy

39/25

RESOLVED: (Blackmore / Reddy)

1. That Council forward *Planning Proposal – Additional and Diverse Housing Planning Proposal* (Attachment 1) to the Department of Planning, Housing and Infrastructure for a Gateway Determination under Section 3.34 of the *Environmental Planning and Assessment Act 1979*.
2. That the Acting Director – Planning & Environment be authorised to make minor editorial amendments to the Planning Proposal as required throughout the reporting process.
3. That Council endorse for public exhibition the Planning Proposal in accordance with the terms of the Gateway Determination issued by the Department of Planning, Housing and Infrastructure in accordance with the *Strathfield Council Community Engagement Strategy*.
4. That Council endorse the proposed minimum lots size controls for Dual Occupancy development and that these be confirmed to the Department of Planning, Housing and Infrastructure as the required lot size controls for dual occupancy permitted via complying development certification.

Voting on this item was unanimous

EO3 Feasibility of Establishing a Dog Off-Leash Area near Long Street

40/25

RESOLVED: (Cai / Reddy)

That:

1. Council gives consideration to funding a dog off-leash area and landscaping in Humphries Reserve, between Noble Avenue and MacArthur Avenue, as part of a future capital works program.
2. Should funding be made available for this project, Council seek approval from Sydney Water for a dog-off leash area in Humphries Reserve.

For the Motion: Councillor Cai

Against the Motion: Councillors Blackmore, Pensabene, Reddy, Nosworthy and Kim

*The Deputy Mayor declared the Motion **lost***

Councillor Rory Nosworthy left the meeting, the time being 8:05 PM

Councillor Rory Nosworthy returned to the meeting, the time being 8:07 PM

EO4 Draft Plaques, Memorials and Statues Policy

41/25

RESOLVED: (Pensabene / Reddy)

That:

1. Council endorses the draft Plaques, Memorials and Statues Policy to be placed on public exhibition for a period of 28 days.
2. Should Council receive negligible feedback, that Council delegate for the General Manager to finalise the Plaques, Memorials and Statues Policy.

*Voting on this item was **unanimous***

EO5 Automated External Defibrillators in Strathfield

RECOMMENDATION

That the report be received and noted.

MOTION

1. That the report be received and noted.
2. That a briefing be presented to Council on Heart of the Nation hosting a community information session for the Strathfield LGA. The briefing to also consider Council funding for external AED's in each of our town centres, (Strathfield Town Centre, Homebush Village and Homebush West).
3. That as part of the briefing, consideration be given to placing new AED units in outside locations.

42/25

RESOLVED: (Blackmore / Reddy)

1. That the report be received and noted.

2. That a briefing be presented to Council on Heart of the Nation hosting a community information session for the Strathfield LGA. The briefing to also consider Council funding for external AED's in each of our town centres, (Strathfield Town Centre, Homebush Village and Homebush West).
3. That as part of the briefing, consideration be given to placing new AED units in outside locations.

*Voting on this item was **unanimous***

12. REPORTS FROM COMMITTEES

Note: All Reports from Committees were dealt with by Exception (resolution 3/25)

13. QUESTION WITH NOTICE

Nil.

14. MATTERS OF URGENCY

Nil.

15. CONFIDENTIAL MATTERS

EO1 Land and Property Strategy - Confidential Report

Closed Session

43/25

RESOLVED: (Cai / Pensabene)

That in accordance with Section 10A (2) (c) of the *Local Government Act 1993* this matter will be considered in Closed Session as it contains information that would, if disclosed, confer a commercial advantage on a person with who the Council is conducting (or proposes to conduct) business.

*Voting on this item was **unanimous***

The meeting moved into Closed Session, the time being 8:21pm.

Councillor Matthew Blackmore left the meeting, the time being 8:22 PM

Councillor Matthew Blackmore returned to the meeting, the time being 8:25 PM

Open Session

44/25

RESOLVED: (Cai / Pensabene)

That Council moves into Open Session.

*Voting on this item was **unanimous***

The meeting moved into Open Session, the time being 8:43pm.

EO7 Land and Property Strategy

RECOMMENDATION: (Reddy / Pensabene)

That Council endorses the recommendations and prioritisation for the key sites as recommended in the attached confidential report.

45/25

RESOLVED: (Pensabene / Reddy)

That Council notes the report and defers the item for further discussion at a stand-alone Councillor Workshop.

*Voting on this item was **unanimous***

16. CONCLUSION OF THE MEETING

THERE BEING NO FURTHER BUSINESS THE MEETING CLOSED AT 8:45PM.

The foregoing Minutes were confirmed at the meeting of the Council of the Municipality of Strathfield on 25 March 2025.

Chairman_____

General Manager_____

7.1 MAYORAL MINUTE 01/25 - 2025 FEDERAL ELECTION CAMPAIGN

AUTHOR: John-Paul Baladi, Mayor

I MOVE:

That Council:

1. Supports the national federal election funding priorities identified by the Australian Local Government Association (ALGA); and
2. Supports and participates in the Put Our Communities First federal election campaign; and
3. Writes to the local federal member(s) of Parliament, all known election candidates in local federal electorates and the President of the Australian Local Government Association expressing support for **ALGA's federal election funding priorities**.

Background

The next Federal Election must be held by 17 May 2025.

Working in conjunction with its member state and territory associations, the Australian Local Government Association (ALGA) has developed a framework and resources for a national advocacy campaign that will run in the lead up to this election.

Based around the tagline of “Put Our Communities First”, the goal is to secure additional federal funding that will support every council to play a bigger role delivering local solutions to national priorities.

All Australian councils have been asked to participate in this campaign to ensure a coordinated approach that will deliver the best possible outcomes.

Discussion

The Put Our Communities First campaign will advocate for new federal funding to be distributed to all councils on a formula-basis, **similar to the Commonwealth's Roads to Recovery Program, or the previous Local Roads and Community Infrastructure Program.**

This will ensure that every council and community benefits, and support local decision making based on local needs.

ALGA has developed free campaign resources that can be adapted and used by all councils to ensure a consistent and effective approach.

Participating in a national advocacy campaign does not preclude this council from advocating on additional local needs and issues, but it will strengthen the national campaign and support all 537 Australian local governments.

The five national funding priorities have been determined by the ALGA Board – comprised of representatives from each of Australia's state and territory local government associations – and align with key national priorities.

These five funding priorities are:

- \$1.1 billion per year for enabling infrastructure to unlock housing supply
- \$500 million per year for community infrastructure
- \$600 million per year for safer local roads
- \$900 million per year for increased local government emergency management capability and capacity, and
- \$400 million per year for climate change adaptation.

Further information on each of these priorities is listed below.

Housing enabling infrastructure

A lack of funding for enabling infrastructure – including roads, and water and sewerage treatment connections and facilities – is a significant barrier to increasing housing supply across the country.

Research from [Equity Economics](#) found that 40 per cent of local governments have cut back on new infrastructure developments because of inadequate enabling infrastructure funding.

This research also shows that achieving the National Housing Accord's housing targets would incur an additional \$5.7 billion funding shortfall on top of infrastructure funding gaps already being felt by councils and their communities.

A five year, \$1.1 billion per annum program would fund the infrastructure that is essential to new housing developments, and Australia reaching its housing targets.

Community Infrastructure

ALGA's [2024 National State of the Assets report](#) indicates that \$8.3 billion worth of local government buildings and \$2.9 billion worth of parks and recreation facilities are in poor condition and need attention.

Introduced in 2020, the Local Roads and Community Infrastructure Program supported all councils to build, maintain and upgrade local facilities, with \$3.25 billion allocated on a formula basis.

This program had a significant impact, driving an almost \$1 billion improvement in the condition of local government buildings and facilities; and a \$500 million per year replacement fund would support all councils to build, upgrade and revitalise the community infrastructure all Australians rely on.

Safer Roads

Councils manage more than 75% of Australia's roads by length, and tragically more than half of all fatal road crashes in Australia occur on these roads.

In 2023 the Australian Government announced that it would double Roads to Recovery funding over the forward estimates, providing councils with an additional \$500 million per year.

However, recent independent research by the [Grattan Institute](#) highlighted a \$1 billion local government road maintenance funding shortfall, meaning there is still a significant funding gap.

Providing local government with \$600 million per year tied to road safety programs and infrastructure upgrades would support all councils to play a more effective role addressing Australia's unacceptable road toll.

Climate adaptation

Local governments are at the forefront of grappling with climate impacts as both asset managers and land use decision makers.

However, funding and support from other levels of government has failed to keep pace, placing an inequitable burden on councils and communities to fund this work locally.

A \$400 million per year local government climate adaptation fund would enable all councils to implement place-based approaches to adaptation, delivering local solutions to this national challenge.

Emergency management

Fires, floods and cyclones currently cost Australia [\\$38 billion per year, and this is predicted to rise to \\$73 billion by 2060](#).

Australian councils play a key role preparing for, responding to and recovering from natural disasters, but **aren't effectively funded to carry out these duties**.

The Government's \$200 million per year Disaster Ready Fund is significantly oversubscribed, especially considering the scale and cost of disaster mitigation projects.

Numerous national reviews – including the [Colvin Review](#) and [Royal Commission into Natural Disaster Arrangements](#) – have identified the need for a significant uplift in local government emergency management capability and capacity.

A \$900 million per year fund would support all councils to better prepare their communities before natural disasters, and more effectively carry out the emergency management responsibilities that have been delegated to them.

RECOMMENDATION

That Council:

1. Supports the national federal election funding priorities identified by the Australian Local Government Association (ALGA); and
2. Supports and participates in the Put Our Communities First federal election campaign; and
3. Writes to the local federal member(s) of Parliament, all known election candidates in local federal electorates and the President of the Australian Local Government Association expressing support for **ALGA's federal election funding priorities**.

ATTACHMENTS

1. [Federal Election 2025 Letter - Strathfield Council](#)



65 Homebush Road, Strathfield NSW 2135
PO Box 120, Strathfield NSW 2135 | P 02 9748 9999
E council@strathfield.nsw.gov.au | www.strathfield.nsw.gov.au | ABN 52 719 940 263

25 March 2025

Mayor John-Paul Baladi
Strathfield Council
65 Homebush Road
Strathfield
NSW
2135

Dear NAME

Put our communities first this federal election

I am writing to seek your commitment to put our communities first this federal election by supporting increased funding to Australia's 537 local governments.

As the closest government to communities, Councils can play a meaningful role delivering local solutions to national priorities, but need sustainable long-term funding.

Unfortunately, local government's share of national taxation has consistently declined over the past thirty years, as its responsibilities have continued to expand.

Strathfield Council supports the federal election funding priorities for councils identified by the Australian Local Government Association, which are:

- \$1.1 billion per year for enabling infrastructure to unlock housing supply
- \$500 million per year for community infrastructure
- \$600 million per year for safer local roads
- \$900 million per year for increased local government emergency management capability and capacity, and
- \$400 million per year for climate adaptation.

Importantly, these new federal funding programs should be distributed across all Councils, on a formula-basis, similar to the way Financial Assistance Grants and Roads to Recovery funding have been provided for many years.

This would ensure that every Australian community benefits, and Councils can deliver place-based initiatives that meet their local needs.

For more information, please visit www.putourcommunitiesfirst.com.au.

I would be pleased to meet with you to further discuss this request, and the importance of increasing federal support for our Council and community.



65 Homebush Road, Strathfield NSW 2135
PO Box 120, Strathfield NSW 2135 | P 02 9748 9999
E council@strathfield.nsw.gov.au | www.strathfield.nsw.gov.au | ABN 52 719 940 263

Yours sincerely,

Mayor John-Paul Baladi

10.1 NOTICE OF MOTION SUBMITTED BY COUNCILLOR BLACKMORE

SUBJECT: RETURN TO TRADITIONAL PODIUM CARPARKS FOR MULTI-DWELLING APARTMENTS

I MOVE:

That a report be prepared for the April Ordinary Council Meeting investigating the following:

1. Exclusion of above ground car parking in FSR calculation.
2. Benefits of having a natural ventilation instead of mechanical ventilation.
3. Cost savings for not needing to have hydraulic pumps and other necessary infrastructure that is required in a basement development.
4. The process to change this development condition.

Council Officer Note

Presently, there are no provisions which exclude podium car parking from residential flat buildings within the Strathfield DCP controls. Guidance is offered in terms of the design and appearance of such structures to ensure that there is an acceptable public domain outcomes and the negative impact of dead or inactive frontages is minimised.

Car parking for the purposes of meeting a planning instrument requirement is already excluded from the definition of gross floor area within the Strathfield Local Environment Plan.

It is accepted that there will be cost differences between basement car parking and above ground car parking. Use of natural versus mechanical ventilation is a detailed design consideration and not a matter that we are able to provide comment.

There are no particular changes necessary to current DCP controls to allow podium car parking as it is currently not restricted.

RECOMMENDATION

That a report be prepared for the April Ordinary Council meeting investigating the following:

1. Exclusion of above ground car parking in FSR calculation.
2. Benefits of having a natural ventilation instead of mechanical ventilation.
3. Cost savings for not needing to have hydraulic pumps and other necessary infrastructure that is required in a basement development.
4. The process to change this development condition.

ATTACHMENTS

There are no attachments for this report.

10.2 NOTICE OF MOTION SUBMITTED BY COUNCILLOR BLACKMORE

SUBJECT: LOCAL SPORTING CLUB ENERGY BILL RELIEF

I MOVE:

That a report be prepared for the May 2025 Ordinary Council Meeting in relation to:

- Current financial year energy related costs to our local sporting clubs
- Previous financial year energy related costs to our local sporting clubs
- Any services/activities can be cut to give financial relief to our local sporting clubs in relation to energy related costs
- The cost to Council to provide the energy related services vs the fees charged to the local sporting clubs for energy related expenses

Rationale

The public is personally feeling the increasing cost of energy related expenses as are our local sporting clubs

RECOMMENDATION

That a report be prepared for the May 2025 Ordinary Council Meeting in relation to:

- Current financial year energy related costs to our local sporting clubs
- Previous financial year energy related costs to our local sporting clubs
- Any services/activities can be cut to give financial relief to our local sporting clubs in relation to energy related costs
- The cost to Council to provide the energy related services vs the fees charged to the local sporting clubs for energy related expenses

ATTACHMENTS

There are no attachments for this report.

10.3 NOTICE OF MOTION SUBMITTED BY COUNCILLOR PENSABENE

SUBJECT: SAFETY BARRIERS

I MOVE:

That Council report to the next Council Meeting the cost of a safety fence being installed on the Beresford Roadside of Inveresk Park.

Rationale

Residents have seen children running on the road to collect their balls that have rolled on to the road. A safety fence would stop the balls rolling onto the road.

RECOMMENDATION

That Council report to the next Council Meeting the cost of a safety fence being installed on the Beresford Roadside of Inveresk Park.

ATTACHMENTS

There are no attachments for this report.

10.4 NOTICE OF MOTION SUBMITTED BY COUNCILLOR PENSABENE

SUBJECT: PEDESTRIAN CROSSING

I MOVE:

That Council report to the Traffic Committee the cost and feasibility of installing a pedestrian crossing at the corner of Inveresk Park and Beresford Road.

Rationale

Residents have noticed that cars come around the corner very quickly and there is a blind spot for children. Children and parents cross here from school and Little Zak's Childcare nearby due to angled parking.

RECOMMENDATION

That Council report to the Traffic Committee the cost and feasibility of installing a pedestrian crossing at the corner of Inveresk Park and Beresford Road.

ATTACHMENTS

There are no attachments for this report.

10.5 NOTICE OF MOTION SUBMITTED BY COUNCILLOR NOSWORTHY
SUBJECT: TRANSPARENCY FOR INTERNATIONAL AND LONG DISTANCE TRAVEL

I MOVE:

That Councillors whilst travelling on Council funded trips are required to keep and submit to the Council Meeting following their travel, a travel diary. This diary would follow the requirements that the Australian Taxation Office uses for small businesses claiming tax deductions for travel based expenses.

Rationale

Councillors are assigned \$5,000 for conferences and seminars per year. This year we add \$7,000 per Councillor for the Sister City trip. This should cover business hours, 9am-5pm and any after hours networking events.

If every Councillor makes use of their allocation, that's \$84,000 of ratepayers money this year. What value do ratepayers receive, what new motions or solutions for Strathfield were gained by the LGNSW conference last year?

ATO business travel diaries require the following information to be maintained It requires:

- The nature of each business activity
- The date and approximate time the business activity began
- How long the business activity lasted
- The name and place where you engaged in the business activity

RECOMMENDATION

That Councillors whilst travelling on Council funded trips are required to keep and submit to the Council Meeting following their travel, a travel diary. This diary would follow the requirements that the Australian Taxation Office uses for small businesses claiming tax deductions for travel based expenses.

ATTACHMENTS

There are no attachments for this report.

10.6 NOTICE OF MOTION SUBMITTED BY COUNCILLOR NOSWORTHY

SUBJECT: REDUCE COUNCILLOR EXPENSES

I MOVE:

That Council remove the following claimable expenses from the Councillor Expenses and Facilities Policy:

- ICT Devices (\$3,000 per year)
- ICT expenses (\$1,500 per year)
- Communication expenses (\$220 per month)
- Mayors' car (estimated maximum yearly expense up to \$10,000)

Rationale

Councillors are provided a phone and iPad to complete all Council based digital work, both include 5G sims cards allowing widespread internet usage. Considering this, there is no ongoing need for added ICT costs above the existing provision.

Our Council area is only 14 sq km, with the greatest distance between either end about 6km. Councillors can already claim transport expenses in cases of long distance travel to conferences. Strathfield Local Government Area is renowned for its public transport connections which the Mayor and Councillors can use to traverse one of the smallest Councils in the state.

RECOMMENDATION

That Council remove the following claimable expenses from the Councillor Expenses and Facilities Policy:

- ICT Devices (\$3,000 per year)
- ICT expenses (\$1,500 per year)
- Communication expenses (\$220 per month)
- Mayors' car (estimated maximum yearly expense up to \$10,000)

ATTACHMENTS

There are no attachments for this report.

10.7 NOTICE OF MOTION SUBMITTED BY COUNCILLOR NOSWORTHY
SUBJECT: LIGHTING ON THE CRESCENT BETWEEN KESSELL AVENUE AND HAMPSTEAD ROAD

I MOVE:

That the Council presents a report to a future Councillor Workshop on options and costings of an increase to lighting along The Crescent between Kessell Avenue and Hampstead Road, Homebush West.

RECOMMENDATION

That the Council presents a report to a future Councillor Workshop on options and costings of an increase to lighting along The Crescent between Kessell Avenue and Hampstead Road, Homebush West.

ATTACHMENTS

There are no attachments for this report.

10.8 NOTICE OF RESCISSION SUBMITTED BY COUNCILLORS PENSABENE, BLACKMORE
AND NOSWORTHY

SUBJECT: SISTER CITY VISIT TO GAPYEONG, SOUTH KOREA

MOVED:

We hereby rescind Resolution 35/25 – Item GMU4 Sister City Visit to Gapyeong, South Korea from the Ordinary Council Meeting February 2025:

35/25

RESOLVED: (Reddy / Cai)

1. *That Council approve for Councillors, the General Manager and required support people, as determined by the General Manager, to attend the 2025 Sister City Visit to Gapyeong County and that Councillors wishing to attend confirm their attendance in writing to the General Manager by 5:00 PM on Friday 7 March 2025.*
2. *That Council approves the budget required for the visit to be included in the Q2 Budget review for expenses associated with the visit.*

If the above Notice of Rescission is carried, we move Alternate Motion:

MOTION:

1. That the Mayor, General Manager and an interpreter attend the Sister City visit to Gapyeong, South Korea.
2. That the budget be set to \$15,000.

RECOMMENDATION

We hereby rescind Resolution 35/25 – Item GMU4 Sister City Visit to Gapyeong, South Korea from the Ordinary Council Meeting February 2025:

35/25

RESOLVED: (Reddy / Cai)

1. *That Council approve for Councillors, the General Manager and required support people, as determined by the General Manager, to attend the 2025 Sister City Visit to Gapyeong County and that Councillors wishing to attend confirm their attendance in writing to the General Manager by 5:00 PM on Friday 7 March 2025.*
2. *That Council approves the budget required for the visit to be included in the Q2 Budget review for expenses associated with the visit.*

If the above Notice of Rescission is carried, we move Alternate Motion:

MOTION:

1. That the Mayor, General Manager and an interpreter attend the Sister City visit to Gapyeong, South Korea.
2. That the budget be set to \$15,000.

ATTACHMENTS

There are no attachments for this report.

GMU1 POWELLS CREEK CORRIDOR LAND - PLAN OF MANAGEMENT
AUTHOR: Cathy Jones, Chief Strategy Officer
APPROVER: Michael Mamo, General Manager

RECOMMENDATION

1. That draft Powells Creek Corridor Lands Plan of Management be adopted.
2. That Transport for NSW be notified of the adoption of the Plan.

PURPOSE OF REPORT

At the Ordinary Council Meeting 10 December 2024, Council resolved:

307/24

RESOLVED: (Reddy / Pensabene)

- 1. Council endorses the draft Powells Creek Corridor Lands Plan of Management to be placed on public exhibition for a minimum 42-day period.*
- 2. A public hearing concerning categorisation of community land at 20 Parramatta Road (Homebush Open Space) be held.*
- 3. A report on community feedback and the public hearing be reported to a subsequent Council.*

This report has been prepared in response to this resolution.

REPORT

At the meeting of 10 December 2024, Council resolved to place the draft Powells Creek Corridor Lands Plan of Management (PoM) on public exhibition. The plan was formerly known as the Ismay Reserve Plan of Management (2020) but has been renamed to reflect that the plan covers multiple parks and open space areas. The major changes to the plan involve inclusion of land dedicated by Transport for NSW public recreation in accordance with the conditions of a deed of agreement and the inclusion of new community land at 20 Parramatta Road Homebush. As this land is not categorised under the *Local Government Act 1993*, Council was required to hold a public hearing to consider community representations.

The draft Plan of Management for community land in the Powells Creek Corridor was publicly exhibited from 12 December 2024 to 28 February 2025. Copies of the draft PoM were notified on Council's 'Have Your Say' engagement site, in Council's E-News and posted on social media throughout the period of exhibition. The draft plan was exhibited on Council's HaveYourSay website and attracted a total of 1,473 visitors and 173 downloads of the draft plan. A total of 7 submissions were received online.

The public hearing regarding categorisation of land for 20 Parramatta Road was held on 12 February 2025. The public hearing was notified via eNews and Council website. Following receipt of the final hearing report from the independent Chair, the public hearing report was published on Council's website.

The public hearing for the categorisation of land at 20 Parramatta Road Homebush was held on 12 February 2025. The Chairman's report concluded that:

Having reviewed the exhibition material, including the draft Plan of Management I find that it is appropriate to categorise 20 Parramatta Road Homebush which is owned by Council as "park". The category reflects its ongoing use. The absence of community response to the exhibition of the proposed categorisation as "park" indicates that there is community acceptance of that category as being appropriate for 20 Parramatta Road Homebush. The adoption of amendments to the Powells Creek Corridor Lands Plan of Management will assist to ensure that 20 Parramatta Road Homebush is used and managed in accordance with its Plan of Management.

Many of the submissions were supportive of the Powells Creek corridor parks. Comments included 'its perfect and safe for our kids', 'It is a wonderful addition to the community.....provides a cared for and well-maintained arena for recreational activities and fostering social connection'.

The majority of the land in the corridor is categorised as 'Park', except for the land on which buildings are currently erected near Pomeroy Street which is categorised as 'General Community Use'. These categorisations are consistent with the definitions in the *Local Government Act 1993* and *Local Government (General) Regulation 2021*.

Some of the comments supported the permissible uses of land, which is set out in the Plan of Management:

- "I believe this move to classify this land as a park is a sensible one. It will enable and mandate the maintenance and care of the environment and facilities in the way it deserves."
- "I support the classification of Ismay Reserve as a Park, on the grounds that greater care and maintenance will be mandated for the space that had provided so much for the community."

Some comments concerned features and facilities of the parklands:

- A community garden should be included in the plan of management. In response, the Plan of Management permits community gardening on community land categorised as 'Park', which applies to large portions of the land covered by the Plan. However, the decision to install a community garden is outside the scope of this Plan.
- The parks should, contain more basketball courts and the futsal court should be turned into a basketball court. In response, the PoM permits active and passive recreation and the development of courts. Council is currently preparing a Recreation and Wellness Strategy which is assessing current recreation facilities and future needs.
- Wider paths should be built beside the entire length of Powell's Creek corridor. In response, this is outside the scope of the Plan of Management. However, it is noted that the pathways through most of the parkland are fairly wide and permit multiple uses eg pedestrian, cycle etc.
- Lighting needs to be improved. In response, this is outside of the scope of the Plan of Management. However, it is noted the main pathway through the corridor parks contains night lighting.

These comments have been referred to the Engineering and Operations Department, which is responsible for the Recreation and Wellness Strategy and operational management of parks for further consideration.

FINANCIAL IMPLICATIONS

No financial implications.

ATTACHMENTS

1. [↓](#) Draft Powells Creek Corridor Lands Plan of Management
2. [↓](#) Public Hearing Report 20 Parramatta Road Homebush February 2025

POWELLS CREEK CORRIDOR LAND PLAN OF MANAGEMENT



DRAFT DECEMBER 2024

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DRAFT

1. Introduction

1.1 Title

This plan is titled the Powell's Creek Corridor Land Plan of Management.

This plan was formerly the Ismay Reserve Plan of Management (PoM) which was last adopted in 2020. This plan has been revised. The changes to this plan are substantial and therefore the plan is renamed to more accurately describe the multiple parks and open space covered by this PoM. The draft plan was reviewed by Transport for NSW and approved for public exhibition in November 2024

This PoM was publicly exhibited from xx to xx 2024. The revised plan was adopted on xx.

This PoM has been prepared by Strathfield Council and provides direction as to the use and management of community land, either owned or under the care of Strathfield Council. PoM's are required in accordance with Section 3.23 of the *Crown Land Management Act 2016* and Section 36 of the *Local Government Act 1993*.

This plan of management applies to land located adjacent and near Powells Creek Homebush. This includes land adjacent to Powells Creek, from Parramatta Road to Pomeroy Street, and land running along the M4/Westconnex from Powells Creek at the east to Short Street at the west. This site includes a number of smaller parks and reserves including Arnotts Reserve, Pomeroy Reserve and Allen Street Reserve. The location map of these parks is set out in Figure 1.

The community buildings located in Powells Creek Corridor Land are included in the Community Facilities Plan of Management (2020).

Map 1 - Powells Creek Corridor Lands location map



Map 2 – Powells Creek Corridor Street Map



1.2 Purpose of this Plan of Management

The *Local Government Act 1993* and amendments to the *Crown Land Management Act 2016* require all public land including Crown Reserves, owned or managed by Council, to be classified as either 'community' land or 'operational' land. Land classified as 'community' land must be managed and used in accordance with an adopted Plan of Management. The land described in this Plan of Management is classified as community land.

Plans of Management are developed by Council in consultation with the community. A Plan of Management describes the features of the community land and outlines how the land may be managed and used, consistent with land categorisations, core objectives and zoning, to provide a transparent and co-ordinated approach to public land management.

The purpose of this Plan of Management is to:

- contribute to the strategic goals and vision as set out in the Strathfield Community Strategic Plan
- ensure compliance with the *Local Government Act 1993* and relevant legislation and guidelines
- provide clarity regarding use and access to the community land as described in this plan.

1.3 Contents of this Plan of Management

This Plan of Management is divided into the following sections, as outlined in Table 2.

Table 2 – Structure of this Plan of Management

Section	What does it include?
1. Introduction	Title, land covered by plan, purpose, contents and review of the plan
2. About the Strathfield LGA	Recognition of traditional custodians, Strathfield LGA snapshot, trends, community vision, legislative and policy framework, and references.
3. Land – category, classification, use and access	Site description, land use/history, land categories and classifications, maps, use of land and structures, environmental features and heritage.
4. Land Uses	Permissible uses and development, scale and intensity of use, authorisation of leases, licences and short term uses.
5. Management of the land	Objectives, performance targets, means and manner for assessment of performance

1.4. Change and Review of Plan of Management

This Plan of Management will require regular review in order to align with community values and changing community needs, and to reflect changes in Council priorities. The performance of this Plan of Management will be reviewed on a regular basis to ensure the use of land and structures is well maintained and consistent with Council's strategic objectives and community values.

Strategic reviews of this Plan of Management will be required where there is significant change to legislation, land ownership/management or proposed land use. Regular reviews should occur at five (5) year intervals.

1.5 Version History

The Ismay Reserve Plan of Management (PoM) was adopted by Council resolution on 1 December 2020 following public exhibition from 30 September to 11 December 2020.

The PoM (2020) was substantially reviewed in 2024 to incorporate new land acquired by Strathfield Council at 20 Parramatta Road Homebush and land owned by Transport for NSW dedicated for public recreation under section 159 of the Roads Act. The PoM also identifies the parks located adjacent to Powells Creek and restores their official and gazetted names including Allen Street Reserve, Arnotts Reserve and Ismay Reserve (the original site). To more accurately describe these changes and the multiple lands included in the plan, the title of the Plan has been changed to Powells Creek Corridor Land Plan of Management.

2. About the Strathfield Local Government Area

2.1 Recognition of Traditional Custodians

Strathfield Council acknowledges the Wangal people, the traditional Custodians of the lands on which the Strathfield area is located. We pay respect to Elders past, present and emerging.

2.2 Snapshot of Strathfield Local Government Area (LGA)

The Strathfield Local Government Area (LGA) is well known for transport connections, educational opportunities, attractive streetscapes, parks, heritage and buildings. The Strathfield LGA is centrally located in Sydney's Inner West, approximately 10.5 kilometres from the Sydney CBD and half way between Parramatta and the Sydney CBD. The LGA includes the suburbs of Strathfield (postcode 2135), Strathfield South (2136), Homebush (2140), Homebush West (2140) and part of Greenacre (2190). Sydney Markets (postcode 2129) is also located within Strathfield LGA.

Strathfield LGA is well known for its extensive green open spaces and high quality recreational facilities, which enhance the liveability, amenity and sustainability of the local area. The Strathfield LGA has a total area of approximately 1390 ha (13.9km²) with 104 ha of the total area being public open space (2018 estimates). There is currently 9.06 ha of remnant bushland in the LGA and about 6 ha is under Council management.

The estimated residential LGA population is 47,824 residents (2023 ABS ERP) but is projected to grow in density and population. The growing population and accompanying building density will continue to increase demand for access to and usage of available open space and community facilities. Therefore, management of community land is of critical important to current and future communities.

Open spaces range from regional and district sporting grounds to smaller local parks and reserves. Significant parks with major sporting facilities include Airey Park, Bressington Park, Bark Huts Reserve, Begnell Field, Cooke Park, Hudson Park, Mason Park and Strathfield Park. Many local biodiversity conservation and habitat connectivity priority areas, including flora and fauna assets, are located within Strathfield LGA's parks and reserves. A number of connected parks and open spaces form the Cooks River Foreshore open space network, an important local and regional habitat corridor and pedestrian and cycle transport connection.

Strathfield LGA also provides community facilities including meeting rooms, halls and community centres which are accessible for sporting, community, recreation, social and other purposes. Many of these facilities are located on community land and are included in this PoM.

2.3 Strathfield LGA community and recreational trends

Some of the challenges facing the Strathfield LGA include increasing and competing demands for public open space and community facilities. Strathfield Council is strongly focused on identifying and meeting the current and future needs of the Strathfield community in a sustainable manner.

Recent community engagement and analysis of social and recreational trends indicate increasing participation in recreation, sporting and leisure activities such as organised team sports, walking, cycling, running, aerobic fitness and dog walking. There is increased demand for access to community and recreation facilities, outdoor and indoor.

Priorities for Council involve increasing the capacity of local community facilities, parks and sportsgrounds, developing new community and recreational facilities as required and ensuring equity of access to land and facilities, to meet changing and diverse needs.

2.4 Community Vision and Key Strategic Directions

The community vision describes the community's aspirations for the future of the Strathfield Local Government Area by 2035:

"Located in the heart of Greater Sydney, Strathfield is highly connected to transport, education and employment. It's culturally diverse and socially cohesive community is proud of its heritage and residential character, safe neighbourhoods, leafy environments and parklands. Strathfield is a place that embraces learning, culture, productivity and opportunity."

Strathfield 2035 is the community strategic plan (CSP) for the Strathfield Local Government Area until 2035. The plan was developed following extensive community engagement and is divided into the key themes of Connectivity, Community Wellbeing, Celebrating Culture and Place, Liveable Neighbourhoods and Responsible Leadership. The following themes, goals and strategies are relevant to this Plan of Management.

This plan is aligned with the Strathfield Local Strategic Planning Statement (LSPS) which defines the long term vision for land use and infrastructure provisions within the Strathfield LGA and supports place within the Greater Sydney and District planning frameworks. This plan of management aligns with the LSPS Priority P13 'Biodiversity and ecological health and resiliency is conserved, restored and enhanced' and Priority P15 'Quality Open Spaces and thriving green corridors offset the impacts of growth across the LGA' and action plan A93 to review and prepare new plans of management.

2.5 Legislative and Policy Framework

The following legislation and policies provide a framework for the preparation of this Plan of Management.

Local Government Act 1993 (NSW) (LG Act) requires the preparation of Plans of Management (POMs) for Council owned land, and requires all community land to be categorised.

Environmental Planning and Assessment Act 1979 (NSW) (EP&A Act) is the principal planning legislation for NSW, that provides a framework for the environmental planning and assessment of development proposals and preparation of environmental planning instruments (including the Local Environmental Plan or LEP).

Crown Lands Management Act 2016 (NSW) (CLM Act) governs the planning, management and use of Crown land, including provisions to reserve or dedicate lands for a prescribed public purpose and for leasing and licensing. Crown land under Council management requires classification and categorisations under the LG Act and preparation of Plans of Management.

Biodiversity Conservation Act 2016 (NSW) (BC Act) requires that Councils consider the impact on threatened species, populations and communities in fulfilling their statutory responsibilities under the EP&A Act for development approvals. It also covers management of threatened species and communities on Council owned lands.

Environment Protection and Biodiversity Conservation Act 1999 (Commonwealth) (EPBC Act) provides a national scheme for environmental protection and biodiversity conservation, and incorporates referral mechanisms and environmental impact assessment processes for projects of national significance.

Companion Animal Act 1998 (NSW) requires the identification and registration of companion animals (e.g. cats and dogs) and sets out the duties and responsibilities in relation to management of animals and specific areas of land.

Local Land Services Act 2013 (NSW) provides a framework to ensure the proper management of natural resources in the social, economic and environmental interests of the State. Strathfield is part of the Greater Sydney Local Land Services (GSLLS), which provides guidance on matters such as community engagement, biosecurity and weeds.

Roads Act 1993 (NSW) allows any land owned by TfNSW by agreement to be placed under the control of Council. Whilst the land is under the control of Council, the land is a public reserve within the meaning of the Local Government Act 1993 (NSW).

Also relevant are:

- Protection of the Environment Operations Act 1997 (NSW)
- Water Management Act 2000 (NSW)

- Disability Inclusion Act 2014 (NSW)
- Biosecurity Act 2015 (NSW)
- Fisheries Management Act 1994 (NSW)
- Rural Fires Act 1997 (NSW)
- National Parks and Wildlife Act 1974 (NSW)

Related Strathfield Council policies and plans

- Strathfield Biodiversity Conservation Strategy and Action Plan 2020-2030
- Strathfield 2035 Community Strategic Plan (CSP)
- Strathfield Local Environmental Plan 2012 and Development Control Plans 2005
- Strathfield Local Strategic Planning Statement (LSPS) 2020
- Disability Inclusion Plan 2020-2024

2.5 References

Eco Logical Australia and Strathfield Council, 2019, *Strathfield Biodiversity Strategy 2020-2030*

Insight Ecology, 2017, *The Fauna of Strathfield (Local Government Area)*

Jones, Cathy., 2019, *Parks and Reserves*, viewed at <https://strathfieldheritage.org/parks-and-reserves>

Near Maps – Strathfield LGA, 2023 at <https://www.nearmap.com/au/en>

Strathfield Council, *Local Environmental Plan 2012*

Strathfield Council, 2022, *Community Strategic Plan – Strathfield 2030*

Strathfield Council, 2023, *Geographical Information System (GIS) Data*

3. Land – category, classification, use and access

3.1 Description of Powells Creek Corridor Lands

The Powell's Creek Corridor is made up of land located close to Powells Creek in Homebush that combined forms a large corridor of connected open space. These lands offer a wide range of open space and recreational facilities and also support active transport. The Bay to Bay shared pathway that runs from Botany Bay to Sydney Olympic Park through these lands.

There are a series of parks located adjacent to the west bank of Powell's Creek in Homebush, which includes Ismay Reserve, Allen Street Reserve and Arnotts Reserve. These lands join the Parramatta Road at its south and Pomeroy Street at its north. The M4/Westconnex roadway runs above these lands. The roadway concrete pylons and the Powells Creek on-ramp are located within Arnotts Reserve. Additional park land at 20 Parramatta Road, opposite Arnotts Reserve, has recently been acquired by Strathfield Council.

Expansion of the Westconnex Motorway during 2017 to 2019 resulted in acquisition and demolition of mainly residential buildings in Allen Street, Ismay Ave, Underwood Road and Short Street. The residue of land, after construction completion, is located north of the motorway and was dedicated in 2024 as a public reserve by Transport for NSW (TfNSW) subject to a deed of agreement with Strathfield Council under section 159 of the Roads Act.

3.2 Land ownership

While Strathfield Council is largely responsible for the day to day management of this land in this PoM, there are multiple owners of land in this corridor, including Strathfield Council, Sydney Water, Transport for NSW and Planning Ministerial Corporation. Land ownership details are set out in the descriptions of each site in Section 4.

3.3 Transport for NSW land

A Deed of Agreement was signed between Transport for NSW (TfNSW) and Strathfield Council in April 2024 under section 159 of the Roads Act. Under the Deed, TfNSW remains the owner (with their rights set out in the Deed) of the lands dedicated as a public reserve and under the care, control and maintenance of Strathfield Council. The land ("Land") owned by TfNSW is identified as Lot, DP, street address and identified by maps in this Plan. Descriptions of specific land are detailed in Section 4 of this Plan such as "Short Street Open Space".

Section 37 of LG Act requires that plans of management for community land that is not owned by Council must identify the owner of the land and whether the land is subject to conditions eg estate, covenant or conditions imposed by the owner.

The key conditions of the Deed that relate to this PoM include:

- The Land is used for a public reserve (Clause 3.1 Deed of Agreement)

- The Land is classified as community land (Clause 3.2 Deed of Agreement)
- That Council prepare a draft plan or plans for the management of the Land (Clause 3.3 Deed of Agreement)
- TfNSW retains its rights as land owner and they (and other Authorities with jurisdiction over the land) retain rights of access to exercise their statutory functions and powers. This also includes access by the Motorway Concessionaire to discharge their obligations (Clause 2.8 and 3.3 Deed of Agreement)
- TfNSW may grant third party access (such as Authorities with jurisdiction or the Motorway) to the land which can include creating easements or granting other licences or rights over the land and outlined in the table 8 below . TfNSW requires Council's written consent (which must not be unreasonably withheld or delayed) to the granting of any other licence or right over the Land not listed in Schedule 2 of the Deed of Agreement (Clause 2.8 Deed of Agreement).
- Works relating to maintenance activities as defined under clause 8.1 of the Deed of Agreement do not require the written consent of TfNSW. All other Council works require the written consent of TfNSW (Clause 7 Deed of Agreement).
- Obtain agreement from TfNSW for sub-licencing agreements for terms greater than five year in aggregate (Clause 2.6 Deed of Agreement).
- If required by TfNSW, Council may expressly authorise dedication of all or part of the TfNSW land as a public road pursuant to section 10 of the Roads Act or for roadworks of a minor character in respect of an existing road as contemplated by section 47F of the LGA (Clause 3.3 Deed of Agreement).
- If notice of termination is provided from TfNSW to Council, or vice versa, the PoM will cease to apply to the land. If there is a compulsory acquisition of the land, the amount of compensation Council is entitled to is nil. (Clause 13.3 and 13.5 Deed of Agreement).

These conditions have been incorporated in relevant sections of this PoM.

Council is to erect signage on the public reserve indicating that the land is owned by TfNSW and placed under the care, control and maintenance of Council.

3.4 Land prior use and history

The Wangal Aboriginal people inhabited what is currently known as the Strathfield Local Government Area (LGA) for thousands of years prior to European settlement in the 18th century. The Wangal people held a deep connection to the land and landscape of the Strathfield area and utilised the natural resources of the area, living off the land and local waterways through fishing, hunting, and gathering. By the late-1800s, much of the land and landscape in Strathfield was cleared for development of housing, roads and railways to facilitate growing populations. Increasing urbanisation resulted in many Wangal people moving away from their land in the Strathfield area.

The majority of the land in the Powells Creek Corridor was granted to Thomas Rose in 1798 by a Crown Land grant. The land transferred to Edward Powell (whom Powells Creek is named) and then sold to his son-in-law James Underwood (who Underwood Road is named) in 1823. Underwood owned significant

lands in the Homebush district on both sides of the railway line, which were surveyed and subdivided c.1878-1880.

The land north of the western railway line (including Homebush Station) was subdivided c.1880 and created the street layouts which are largely still in place. Streets such as Underwood Road, Powell Street, Wentworth Road and Creek Street (now Pomeroy Street) were laid out at this time.

Homebush Council, which included land north of the rail line and bordered at east by Powell's Creek, was incorporated in 1906. The first Sands Directory in 1908 notes development on Underwood Road and Pomeroy Street, mainly houses. Streets including Short Street, Ismay Avenue and Allen Street were created in the 1920s through further subdivision. Residential development commenced in the late 1920s in these streets.

In the early 1930s Powells Creek was concreted as a stormwater canal and the natural boundaries of the river were altered and straightened. As land abutting Powells Creek were prone to flooding, it remained undeveloped, though early market gardens were established near the Creek, which was later dedicated as open space. This linear land corridor contains sites owned by Strathfield Council, Sydney Water and Ministerial Planning Corporation (NSW Government Agencies).

The land on which Allen Street Reserve is located was transferred by the Cumberland County Council to Strathfield Council in 1957 for a public park and recreation area.

Two community facilities were built at 26-28 Pomeroy Street in Ismay Reserve. The former Homebush Bowling Club was built in 1963 and Shapiro industries c.1964. The former Club building is not currently in use and the former Shapiro Industries building is used by Mens's Shed.

Part of Arnotts Reserve and 20 Parramatta Road are located on the 1799 Thomas Rowley land grant, which totalled 750 acres and includes parts of current day Burwood and Strathfield. By 1928, the land on which Arnotts Reserve is built was owned by biscuit manufacturer William Arnotts, who operated a biscuit factory on the eastern side of Powells Creek. The Reserve was connected to the factory by a bridge and the land used for staff recreation which included a lawn bowling club. Ownership of the land was transferred to Strathfield Council in 2015. 20 Parramatta Rd which is opposite Arnotts Reserve on Parramatta Rd, was acquired in 2022.

The M4 Motorway was completed in 1982, which involved the acquisition on many homes and realignment of streets such as Short Street. A further widening of the M4 (called the Westconnex) occurred in 2018-2019, which again required additional acquisition of properties on Ismay Avenue and Allen Street including the Strathfield Council Scout Hall at 53 Ismay Avenue. The residue land left over from the road widening has been dedicated as a public reserve by Transport for NSW. Together with the open space abutting Powells Creek, a large open space corridor was formed¹.

¹ Jones, C, 2019, Parks and Reserves

The aerial historic photographs indicate changes in land use over time, which includes building of the M4 in 1982 (later widened as Westconnex in 2019), demolition of houses for road widening but also for open space and revegetation, especially near the Creek and boundaries of the open space.

Image 1 - Historical photographs of Powells Creek Corridor land



Aerial photograph (1947). Indicating Parramatta Road to Pomeroy Street, prior to the building of the M4 Motorway



Aerial photograph (1997) – Parramatta Road to Allen Street. Indicates the construction of the M4 Motorway.



Aerial photograph (2009).
© Near Maps



Aerial photograph (2019).
© Near Maps

3.5 Categories and classifications of community Land

The management of community land is governed by the categorisation of the land, and the core objectives of the relevant category of community land. The core objectives for each category are set out in the *Local Government Act 1993*. The guidelines and core objectives for relevant categories are set out in Table 3.

Table 1 – Guidelines for and core objectives of community land

Category	Guidelines ²	Core objectives ³
Park	<i>Regulation cl.104</i> Land which is, or proposed to be, improved by landscaping, gardens or the provision of non-sporting equipment and facilities, and for uses which are mainly passive or active recreational, social, educational and cultural pursuits that not unduly intrude on the peaceful enjoyment of the land by others.	<i>Category Park – (Section 36G)</i> <ul style="list-style-type: none"> encourage, promote and facilitate recreational, cultural, social and educational pastimes and activities. provide for passive recreational activities or pastimes and for the casual playing of games. improve the land in such a way as to promote and facilitate its use to achieve the other core objectives for its management.
General Community Use	<i>Regulation cl.106</i> Land that may be made available for use of any purpose for which community land may be used, whether by the public at large or by specific sections of the public	<i>Category General Community Use - (Section 36I)</i> <ul style="list-style-type: none"> to promote, encourage and provide for the use of the land, and to provide facilities on the land, to meet the current and future needs of the local community and of the wider public: <ul style="list-style-type: none"> in relation to public recreation and the physical, cultural, social and intellectual welfare or development of individual members of the public. in relation to purposes for which a lease, licence or other estate may be granted in respect of the land (other than the provision of public utilities and works associated with or ancillary to public utilities).

² *Local Government General Regulation 2021*

³ *Local Government Act 1993*

Council must manage community land in according to these core objectives. Any activities or uses of the land should be consistent with the core objectives for that category of land. Additional objectives which support the above core objectives are included in Section 5 Management of the land.

3.6 Use of the land and structures at date of adoption of the plan

Powell's Creek Corridor provides a wide range of sporting, recreational and community facilities within a corridor of open space. It is situated on the Bay to Bay walk/cycleway which links suburbs, homes, shops, parks, schools and workplaces.

The majority of land in the corridor is categorised as a Park under section 36G of the LG Act. The land is used for active and passive recreation and leisure purposes.

A number of community facilities are located in Ismay Reserve and this land on which they are sited is categorised as General Community Use.

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3.7 Environmental Features

Powell's Creek Corridor Lands contain individually planted trees and clusters of trees and shrubs planted in the centre of the park abutting Powells Creek.

There is mature and recent local vegetation connectivity along Powells Creek corridor to Homebush Bay and plantings in landscaped, sheltered and visually separated park spaces including Brush Box (*Lophostemon confertus*), feature Canary Island Date Palms (*Phoenix canariensis*), Native Fig Trees (*Ficus macrophylla*), *Eucalyptus spp*, *Casuarina spp*, *Acacia spp*, *Grevillea spp*. There have been sightings of Pacific Black Duck and Chestnut Teal as well as Rainbow and Musk Lorikeets⁴.

When the M4/Westconnex Motorway was expanded, land acquired and cleared for the road widening. New plantings have been made on the residue land.

3.8 Heritage

There are no statutory heritage listings associated with these lands

⁴ Strathfield Fauna Study 2017

4. Park and Open Space descriptions

Arnotts Reserve

Ownership and purpose

This land described below is owned by Strathfield Council and Transport for NSW. Upon publication in the Gazette, the land owned by TfNSW is a public reserve within the meaning of the LG Act. A deed of agreement was entered into between Strathfield Council and Transport for NSW under section 159 of the Roads Act 1993. It is referred to as Site 4 in the Deed of Agreement (2024). TfNSW rights as owner of the Land are set out the Section 3.3 (a)(ii)A-C).

Table 2 - Land ownership of Arnotts Reserve

Land Parcel	Address	Owner	Zoning (LEP 2012)	Land Classification	Land Categorisation
Lot 50 DPI267254	15 Parramatta Road Homebush	Strathfield Council	RE1 - Public Recreation	Community	Park
Part Lot 5 DPI5561 Part Lot 5A DPI5561	6-10 Allen Street Homebush	Transport for NSW	R3 - Medium Density Residential	Community	Park
Part Lot 4A DPI5561 Part 13 DP711389	+70 & 78 Ismay Ave Homebush	Transport for NSW	R3 - Medium Density Residential	Community	Park

+ 78 Ismay Avenue is located on both sides of the M4/WestConnex. Parts of Arnotts Reserve are located under the M4/Westconnex.

Map 3 - Arnotts Reserve Ownership Map



Land classification and categorisation

Under this Plan of Management, land owned by TfNSW will be managed as community land as defined by the Local Government Act 1993 and categorised as Park under section 36G of the LG Act. The core guidelines and objectives are set out in Table 3.



Map 4 - Arnotts Reserve Land Categorisation Map

Description and features of land

Arnotts Reserve is located in the suburb of Homebush. Arnotts Reserve is bounded by Parramatta Road (south), Allen Street and Ismay Avenue (north) and Powells Creek (east). The park name of Arnotts

Reserve was gazetted on 11 July 2015. The size of the park has been expanded with inclusion of land owned by Transport for NSW in 2024 that faces Allen Street and Ismay Avenue.

Arnotts Reserve contains open grassed areas, trees and landscaped gardens, outdoor fitness equipment, children's playground, shade structure, drinking fountain, and shelter, seating, lighting and footpath, BBQ and picnic shelters, fencing, futsal court, pathways, lighting, toilet block, outdoor table tennis tables and murals. There are pedestrian and cycle linkages via Bay to Bay shared pathway.

The M4/Westconnex roadway runs above Arnotts Reserve. The roadway concrete pylons and the Powells Creek on-ramp are located within Arnotts Reserve.

Permissible land use, development and maintenance

Under the Deed of Agreement, Strathfield Council is responsible for care, control and maintenance of the land. Works relating to maintenance activities as defined under section 8.1 of the Deed of Agreement do not require the written consent of TfNSW. All other Council works require the written consent of TfNSW.

Permissible land uses for the Park categorisation as set in Table 6 apply to this land. The land owned by TfNSW which is placed in the care, control and maintenance of Strathfield Council have the following conditions:

- If required by TfNSW, Council expressly authorises the dedication of all or part of the Land as contemplated by section 47F of the LG Act as a public road pursuant to section 10 of the Roads Act 1993 or for roadworks of a minor character in respect of an existing road.
- TfNSW may grant third party access (such as Authorities with jurisdiction or the Motorway) to the land which can include creating easements or granting other licences or rights over the land listed in Schedule 2 of the Deed of Agreement. TfNSW requires Council's written consent (which must not be unreasonably withheld or delayed) to the granting of any other licence or right over the Land not listed in Schedule 2 of the Deed of Agreement.
- Permissible development on land categorised as Park is set out in Table 6. Development requires written consent of TfNSW.

Authorisation of leases, licences or other estates

Strathfield Council may not dispose of or deal with any interest in the Land (including lodging a caveat on the title to the Land). It may not assign, novate or otherwise transfer any of its rights or obligations under the Deed. It may not sub-licence or grant any right to use or occupy the Land to any person for a term of greater than 5 years in aggregate without consent of TfNSW.

Photographs

*Outdoor Fitness Equipment**Outdoor Fitness Equipment**Bike Rack**Dedication of Arnotts Reserve 2015**Playground**Shelter, BBQ & Seating**Mirelle Art on pylons under M4**Mirelle Art on pylons under M4*



Seating



Grove of Fig Trees (Ficus macrophylla)



Futsal Court



Outdoor Table Tennis Table

Allen Street Reserve

Ownership and purpose

This land described below is owned by Strathfield Council.

Table 3 Allen Street Reserve land ownership

Land Parcel	Address	Owner	Zoning (LEP 2012)	Land Classification	Land Categorisation
Lot C DP448981	Allen Street Homebush	Strathfield Council	RE1 - Public Recreation	Community	Park

Description and features of land

Allen Street Reserve is located on Allen Street Homebush. It is bounded by Powells Creek (east), Allen Street (south) and borders Ismay Reserve (north).

The park name of Allen Street Reserve was gazetted on 1 November 2002.

Allen Street Reserve contains an off-leash area, open space and a section of the Bay to Bay shared pathway, which provides pedestrian and cycle linkages.

Land classification and categorisation

Allen Street Reserve is categorised as a Park.



Map 5 - Allen Street Reserve Land Categorisation Map

Photographs of Allen Street Reserve

Allen Street Reserve, Allen Street, Homebush



Allen Street Reserve off-leash area

Homebush Open Space

Ownership and purpose

This land described below is owned by Strathfield Council.

Table 4 Homebush Open Space land ownership

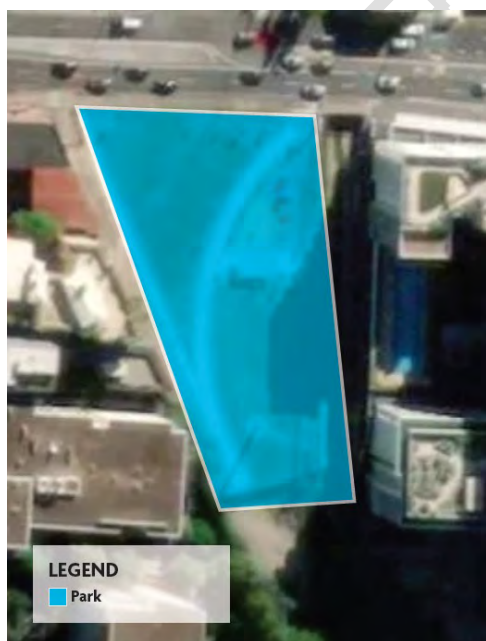
Land Parcel	Address	Owner	Zoning (LEP 2012)	Land Classification	Land Categorisation
Lot 1 DP 814227	20 Parramatta Road	Strathfield Council	RE1 - Public Recreation	Community	Park

Description and features of land

Homebush Open Space is located at 20 Parramatta Road Homebush and bounded by Powells Creek (east). It is a small park acquired by Council in 2022. The park contains a children's playground, shelter and seating, water bubbler, paving, landscaping and bike racks. It also contains a number of easements and Ausgrid infrastructure.

Land classification and categorisation

Homebush Open Space is categorised as a Park.



Map 6 - Homebush Open Space Land Categorisation Map

Photographs

Homebush Open Space at 20 Parramatta Road Homebush



Entry to Homebush Open Space at 20 Parramatta Road Homebush



Childrens Playground at Homebush Open Space



Shade and seating at Homebush Open Space

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Ismay Reserve

Ownership and purpose

This land described below is owned by Strathfield Council, Ministerial Planning Corporation and Sydney Water.

Table 5 Ismay Reserve Land Ownership

Land Parcel	Address	Owner	Zoning (LEP 2012)	Land Classification	Land Categorisation
Lot 4 DP 184706	32 Ismay Avenue	Sydney Water	REI - Public Recreation	Community	Park
Lot 1 DP 954851	32 Ismay Avenue	Strathfield Council	REI - Public Recreation	Community	Park
Lot 2 DP 128782	32 Ismay Avenue	Strathfield Council	REI - Public Recreation	Community	Park
Lot B DP 448981	32 Ismay Avenue	Ministerial Planning Corporation	REI - Public Recreation	Community	Park
Lot 2 DP 726732	32 Ismay Avenue	Ministerial Planning Corporation	REI - Public Recreation	Community	Park
Lot A DP 448981	32 Ismay Avenue	Ministerial Planning Corporation	REI - Public Recreation	Community	Park
Lot 1 DP126555	26-28 Pomeroy Street	Strathfield Council	REI - Public Recreation	Community	Park & Community General Use (buildings)

Map 7 Ownership map of Ismay Reserve



Land classification and categorisation

Ismay Reserve is categorised as a “Park” and “General Community Use”. “General Community Use” applies to the area containing two buildings. “Park” applies to the residue of the Reserve.



Map 8 - Ismay Reserve Land Categorisation Map

Description and features of land

Ismay Reserve is located at north on Pomeroy Street and is addressed 26-28 Pomeroy Street. The park runs adjacent to Powells Creek at its eastern boundary and northern boundary is bordered by Allen Street Reserve. There is a walkway from Ismay Avenue into the Reserve at 32 Ismay Avenue (Lot 1 DPI28782). The park name of Ismay Reserve was gazetted on 1 November 2002.

Description and features of land

Ismay Reserve provides open space for recreation and gardens. The park contains open grassed areas, open space for informal recreation, drinking fountain, shelter, seating, lighting and footpath, BBQ and picnic shelters, fencing, and pathway lighting.

Two buildings are located at 26-28 Pomeroy Street Homebush. These comprise of the former Homebush Bowling Club, the former Shapiro Industries Building (currently used by Men's Shed, a local community organisation). A carpark is located at the rear of the buildings. The former Homebush Bowling Club is current vacant.

Ismay Reserve contains a section of the Bay to Bay shared pathway. The Hamilton Street Bridge contains a shared pedestrian and cycle pathway. The western entry to the bridge is located in Ismay Reserve.

Photographs

View of Ismay Reserve facing south featuring the former Bowling Club



Ismay Reserve pathway and trees



Strathfield Mens Shed, Pomeroy Street Homebush



Hamilton Street Bridge (western entry from Ismay Reserve)

Short Street Open Space

Ownership and purpose

This land located on Short Street and Underwood Road is fully owned by Transport for NSW. Upon publication in the Gazette, the land owned by TfNSW is a public reserve within the meaning of the LG Act. A deed of agreement was entered into between Strathfield Council and Transport for NSW under Section 159 of the Roads Act. It is referred to as Site 1 in the Deed of Agreement (2024). TfNSW rights as owner of the Land are set out the Section 3.3 (a)(ii)A-C).

Table 6 - Short Street Open Space land ownership

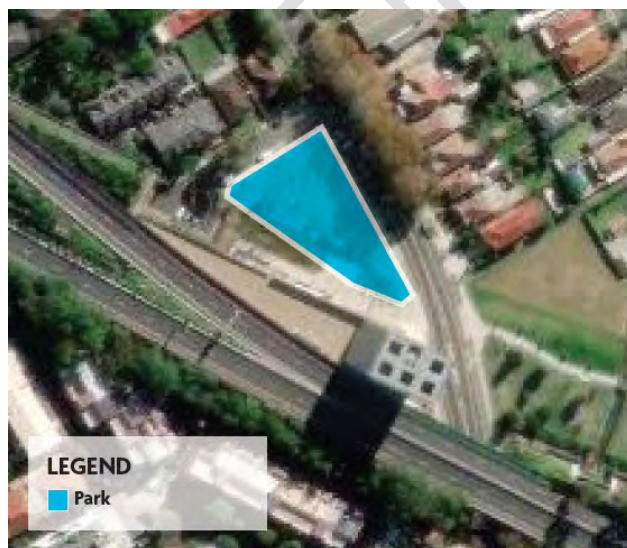
Land Parcel	Address	Owner	Zoning (LEP 2012)	Land Classification	Land Categorisation
Lot 20 DP1031702 Lot 9 DP958678	2 and part 4-6 Short Street Homebush	Transport for NSW	R3 - Medium Density Residential	Community Land	Park

Description and features of land

The Short Street Open Space is located north of the M4/Westconnex and faces Short Street and Underwood Road. The land includes open grassed areas, trees and landscaping.

Land classification and categorisation

Under this Plan of Management, land owned by TfNSW will be managed as community land as defined by the Local Government Act 1993 and categorised as Park under section 36G of the LG Act. The core guidelines and objectives are set out in Table 3.



Map 9 Land categorisation map Short Street Open Space

Permissible land use, development and maintenance

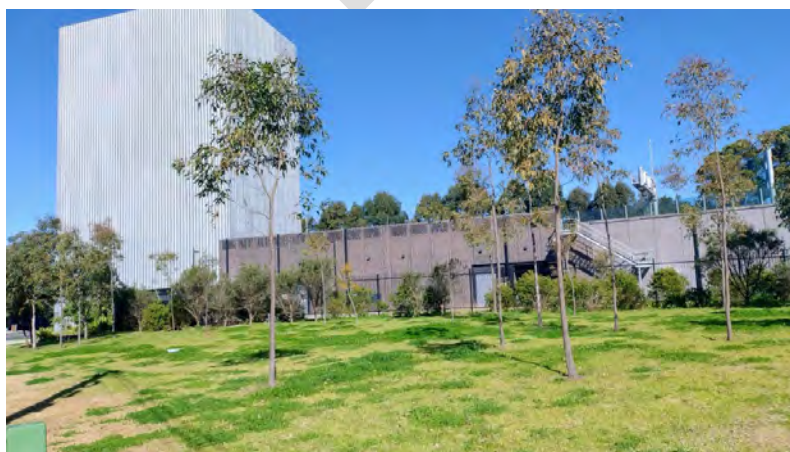
Under the Deed of Agreement, Strathfield Council is responsible for care, control and maintenance of the land. Works relating to maintenance activities as defined under section 8.1 of the Deed of Agreement do not require the written consent of TfNSW. All other Council works require the written consent of TfNSW.

Permissible land uses for the Park categorisation as set in Table 6 apply to this land. The land owned by TfNSW and placed in the care, control and maintenance of Strathfield Council have the following conditions:

- If required by TfNSW, Council expressly authorise the dedication of all or part of the Land as contemplated by section 47F of the LG Act as a public road pursuant to section 10 of the Roads Act or for roadworks of a minor character in respect of an existing road
- TfNSW may grant third party access (such as Authorities with jurisdiction or the Motorway) to the land which can include creating easements or granting other licences or rights over the land listed in Schedule 2 of the Deed of Agreement. TfNSW requires Council's written consent (which must not be unreasonably withheld or delayed) to the granting of any other licence or right over the Land not listed in Schedule 2 of the Deed of Agreement.
- Permissible development on land categorised as Park is set out in Table 6. Development requires written consent of TfNSW.

Authorisation of leases, licences or other estates

Council may not dispose of or deal with any interest in the Land (including lodging a caveat on the title to the Land). It may not assign, novate or otherwise transfer any of its rights or obligations under the Deed. It may not sub-licence or grant any right to use or occupy the Land to any person for a term of greater than 5 years in aggregate without consent of TfNSW.



Short Street Open Space facing south



Short Street Open Space from Underwood Road



Short Street Open Space from Short Street.

Underwood Road Open Space

Ownership and purpose

This land described below is fully owned by Transport for NSW. Upon publication in the Gazette, the land owned by TfNSW is a public reserve within the meaning of the LG Act. A deed of agreement was entered into between Strathfield Council and Transport for NSW under section 159 of the Roads Act. It is referred to as Site 2 and 3 in the Deed of Agreement (2024). TfNSW rights as owner of the Land are set out the Section 3.3 (a)(ii)A-C).

Table 7 - Underwood Road Open Space Land Ownership

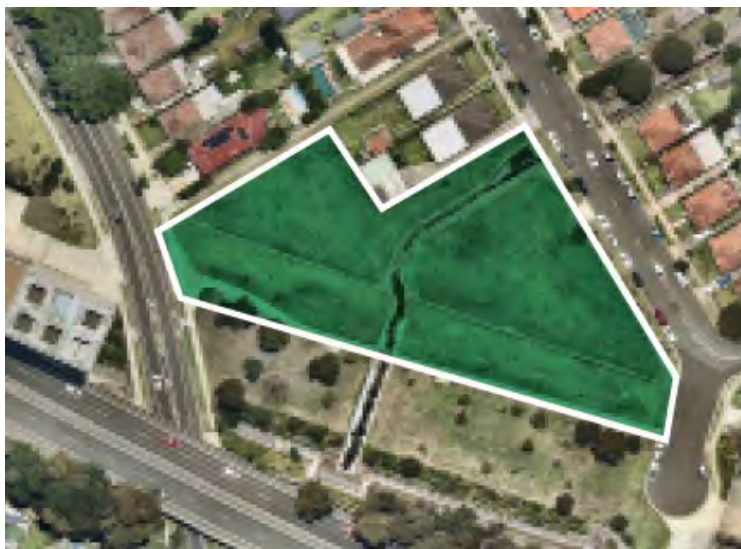
Land Parcel	Address	Owner	Zoning (LEP 2012)	Land Classification	Land Categorisation
Lot 100 DP 874681	Part 86 Underwood Road	Transport for NSW	R3 - Medium Density Residential	Community Land	Park
Part Lot 101 DP 874681	Part 88 Underwood Road	Transport for NSW	R3 - Medium Density Residential	Community Land	Park
Part Lot C & D DP15312	Part 90 Underwood Road	Transport for NSW	R3 - Medium Density Residential	Community Land	Park
Lot 100, DP874681	53 Ismay Ave	Transport for NSW	R3 - Medium Density Residential	Community Land	Park
Lot 38 & 39 DP15312	55-57 Ismay Ave	Transport for NSW	R3 - Medium Density Residential	Community Land	Park
Part Lot 40 DP 15312	Part 59 Ismay Ave	Transport for NSW	R3 - Medium Density Residential	Community Land	Park
Part Lot 41A DP321739	Part 61 Ismay Ave	Transport for NSW	R3 - Medium Density Residential	Community Land	Park
Lot X DP359920 Part Lot 3 DP 130612 Part Lot 4 DP15561	Part 92 Underwood Road	Transport for NSW	R3 - Medium Density Residential	Community Land	Park

Description and features of land

The Underwood Road Open Space is located north of the M4/Westconnex and between Underwood Road and Ismay Avenue. The land is separated by a canal, which flows into Powell's Creek. The land includes open grassed areas, seating, lighting, fencing, trees and landscaping. A shared pedestrian and cycleway runs through the open space.

Land classification and categorisation

Under this Plan of Management, land owned by TfNSW will be managed as community land as defined by the Local Government Act 1993 and categorised as Park under section 36G of the LG Act. The core guidelines and objectives are set out in Table 3.



Map 10 - Land categorisation of Underwood Road Open Space

Permissible land use, development and maintenance

Under the Deed of Agreement, Strathfield Council is responsible for care, control and maintenance of the land. Works relating to maintenance activities as defined under section 8.1 of the Deed of Agreement do not require the written consent of TfNSW. All other Council works require the written consent of TfNSW.

Permissible land uses for the Park categorisation as set in Table 6 apply to this land. The land owned by TfNSW and placed in the care, control and maintenance of Strathfield Council have the following conditions:

- If required by TfNSW, Council expressly authorise the dedication of all or part of the Land as contemplated by section 47F of the LG Act as a public road pursuant to section 10 of the Roads Act or for roadworks of a minor character in respect of an existing road.
- TfNSW may grant third party access (such as Authorities with jurisdiction or the Motorway) to the land which can include creating easements or granting other licences or rights over the land listed in Schedule 2 of the Deed of Agreement. TfNSW requires Council's written consent (which must not be unreasonably withheld or delayed) to the granting of any other licence or right over the Land not listed in Schedule 2 of the Deed of Agreement.
- Permissible development on land categorised as Park is set out in Table 6. Development requires written consent of TfNSW.

Authorisation of leases, licences or other estates

Council may not dispose of or deal with any interest in the Land (including lodging a caveat on the title to the Land). It may not assign, novate or otherwise transfer any of its rights or obligations under the Deed. It may not sub-licence or grant any right to use or occupy the Land to any person for a term of greater than 5 years in aggregate without consent of TfNSW.

Photographs

Underwood Road Open Space shared pathway



Underwood Road Open Space from Ismay Avenue



Underwood Road Open Space showing canal and fencing



Underwood Road Open Space paving

5. Land Uses

5.1 Permissible uses and developments

The tables below set out the purpose/use of the land consistent with its land categorisation and the types of development generally associated with those uses. Facilities on community land may change over time, reflecting the needs of the community.

The anticipated uses, and associated development, identified in Tables 6 and 7 are intended to provide an overview or general guide. Development is subject to requirements set out in clauses 5.2 and 5.3. Land owned by TfNSW has additional conditions, which is set out in individual site descriptions in Section 4 of this Plan of Management.

Table 8 – Permissible uses of land categories – Park

Purpose/Use	Development
<ul style="list-style-type: none"> Active and passive recreation including children's play Group recreational use, such as picnics and celebrations Publicly accessible ancillary areas eg toilets Festivals, fairs, similar events and gatherings Low intensity commercial activities Filming and photographic projects Public address (speeches) Easement, utilities and estate Community gardening 	<ul style="list-style-type: none"> Development for the purposes of improving access, amenity, and the visual character of the park eg paths, pergolas, flagpoles, lights, water bubblers, seating, paved areas, hard and soft landscaped areas etc Development for the purposes of active recreation eg play equipment, children's playgrounds, exercise equipment, courts etc Amenities to facilitate leisure use of the park eg picnic tables and shelters, BBQ's & sheltered eating areas Kiosk/café, mobile food vans or refreshment areas Restricted access ancillary areas (e.g. storage areas associated with functions, gardening equipment) Transport access and service areas ancillary to the use of land (eg public transport, car parking, loading zones, bicycle racks) Community gardens Off-leash areas Heritage and cultural interpretation eg signs, public art etc Locational, directional and regulatory signage Advertising structures and signage (such as A-frames and banners) that relate to approved uses/activities, discreet and temporary and approved by Council. Water/Energy savings initiatives

Table 9 – Permissible uses of land categories – General Community Use

Purpose/Use	Development
<p>Provides a location for, and supports, the gathering of groups for a range of general social, cultural or recreational purposes</p> <p>Includes multi-purpose buildings e.g. community halls, clubhouses, childcare etc. Uses may include:</p> <ul style="list-style-type: none"> casual or informal sporting and recreational use meetings (including for social, recreational, educational or cultural purposes) functions leisure or training classes including fitness educational and community centres, including libraries, information and resource centres 	<p>Development for the purposes of social, community, cultural, recreational activities, including:</p> <ul style="list-style-type: none"> landscaping and finishes, improving access, amenity and the visual character of the general community area provision of buildings or other amenity areas to facilitate use and enjoyment by the community development (particularly within buildings) for the purposes of addressing community or recreational needs (e.g. community hall, leisure centre, indoor courts) casual, seasonal, licence or lease agreements may be permitted consistent with purpose or use of facility.

In some instances, physical assets may be located on land which falls into different categories. For example, community halls may be located on land categorised as Park, or on land categorised for General Community Use.

5.2 Maintenance and future development

Maintenance

Strathfield Council is responsible for the care, control and maintenance of land included in this PoM. Council will maintain land in a good condition through scheduling of regular scheduling of park maintenance and litter and rubbish removal. Minor changes to community land are regularly made on a routine basis, such as tree planting, replanting garden beds and repairs to paving, lighting, play equipment etc.

Future development

Future works will be required to:

1. Meet legislative requirements - zoning tables in the Strathfield Council Local Environmental Plan specifies the range of uses and activities that may be permitted on the land. A number of uses are also set out in the Regulations to the *Local Government Act 1993*.
2. Be consistent with the guidelines and core objectives of the community land category - under the *Local Government Act 1993* uses and development of community land must be consistent with the

guidelines for categorisation and the core objectives of each category, and any other additional objectives the Council proposes to place on the community land categories.

3. Be consistent with relevant Council policies - substantial upgrades and proposed new development will take into account a range of factors, including:

- this Plan of Management and the core objectives for the land
- the planning controls for the land
- Council's adopted policies
- the characteristics of the land affected, including existing and future use patterns
- any landscape masterplan for the land.

4. On land owned by TfNSW, works relating to maintenance activities as defined under section 8.1 of the Deed of Agreement do not require the written consent of TfNSW. All other Council works require the written consent of TfNSW, section 7 of the Deed of Agreement set out the conditions for Council works.

5.3 Scale and intensity of land use

The scale and intensity of use and development associated with community land in Strathfield LGA is generally dependent on:

- the nature of the approved uses and developments
- approved Development Applications and any conditions
- an approved masterplan
- the physical constraints of the land
- the carrying capacity of the land
- relevant government legislation
- permissible times of use
- proximity of neighbours

The scale and intensity of use of land classified as community land should be monitored by:

- regular inspection of the physical impacts on the land
- consideration of reports regarding any conflicts between park and building users or from adjoining neighbours

5.4 Authorisation of leases, licences or other estates over community land

Section 5.4 and 5.5 concern land, other than those owned by TfNSW. For land owned by TfNSW, refer to Section 4 of this Plan of Management and descriptions of individual sites.

The LG Act requires that any lease or licence of community land must be authorised by a Plan of Management. The lease or licence must be for purposes consistent with the categorisation and zoning of the land.

The maximum period for leases or licences on community land permitted under the LG Act is 21 years. If a lease or licence is anticipated, then public notice should be given in accordance with the requirements of the Act.

For land owned by TfNSW, Council may not dispose of or deal with any interest in the Land (including lodging a caveat on the title to the Land). It may not assign, novate or otherwise transfer any of its rights or obligations under the Deed. It may not sub-licence or grant any right to use or occupy the Land to any person for a term of greater than 5 years in aggregate without consent of TfNSW.

Where a lease arrangement has been entered into with Council for community land, subleasing the land may only occur with specific permission of Council and in accordance with the requirements of Section 47C of the Act, Clause 119 of the *Local Government (General) Regulation 2021* and conditions set out in agreements.

This Plan of Management authorises existing leases and licence agreements until the end of their current term. The leased or licensed areas may be renewed or changed in future. The leased or licensed areas may be reconfigured in the future to reflect changes in community needs.

This Plan of Management expressly authorises Council to grant leases, licences or any other estates for community land covered in this Plan of Management for purposes and uses which are identified or consistent with those in Tables 8 and 7. Some examples of longer term arrangements are outlined in the following Table 8. Shorter arrangements (for example, a short term agreement associated with a particular event, or an activity recurring regularly either via annual or seasonal agreement) are set out in Table 9.

Calculations for fees and charges for leases and licences will be based on independent market rental valuations that are based on comparisons to similar services and facilities with similar locations, building and land conditions. As a minimum standard, the financial return from licence fees should offset asset maintenance, renewal and any operational costs. Council may also apply subsidies to not for profit organisations where there are demonstrated community benefits or financial hardship. Subsidies are generally not applied to commercial agreements.

Table 8 – Leases, Licences and other estates

Type of Arrangement Authorised	Land and Facilities covered	Purposes for which long term leasing/licensing will be granted
Licence or lease	Park	Any lease or licence proposal will be individually assessed and considered, including the community benefit, compatibility with this Plan of Management and Council's goals and objectives in its Community Strategic Plan and Delivery Program and the capacity of the land area to

Type of Arrangement Authorised	Land and Facilities covered	Purposes for which long term leasing/licensing will be granted
		<p>support the activity. Sympathetic, compatible uses include:</p> <ul style="list-style-type: none"> • sporting and recreational purposes, including team sports, fitness activities and games • kiosk, café and refreshment purposes • use of court or similar facilities <p>In relation to Land owned by TfNSW, Council may not dispose of or deal with any interest in the Land (including lodging a caveat on the title to the Land). It may not assign, novate or otherwise transfer any of its rights or obligations under the Deed. It may not sub-licence or grant any right to use or occupy the Land to any person for a term of greater than 5 years in aggregate without consent of TfNSW.</p>
Other Estates	Park General Community Use	<p>This Plan of Management allows Council to grant 'an estate' over community land for the provision of public utilities and works associated with or ancillary to public utilities in accordance with the <i>Local Government Act 1993</i>.</p> <p>Estates may also be granted across community land that is not affected by endangered communities for the provision of pipes, conduits, or other connections under the surface of the ground for the connection of premises adjoining the community land to a facility of the Council or other public utility provider that is situated on community land.</p> <p>In relation to land owned by TfNSW, TfNSW may grant third party access (such as Authorities with jurisdiction or the Motorway) to the land which can include creating easements or granting other licences or rights over the land listed in Schedule 2 of the Deed of Agreement. TfNSW requires Council's written consent (which must not be unreasonably withheld or delayed) to the granting of any other licence or right over the Land not listed in Schedule 2 of the Deed of Agreement.</p>
Licence or lease	General Community Use (community land and buildings)	Any lease or licence proposal will be individually assessed and considered, including community benefit, compatibility with this Plan of Management and Council's goals and objectives in its Community Strategic Plan and

Type of Arrangement Authorised	Land and Facilities covered	Purposes for which long term leasing/licensing will be granted
		<p>Delivery Program and the capacity of the area to support the activity.</p> <p>Sympathetic, compatible uses may include:</p> <ul style="list-style-type: none"> • child care, vacation care, health providers associated with the relevant facility • community purposes including meetings, workshops, learning • cultural purposes including concerts, dramatic productions, and galleries • recreational purposes including fitness, dance and games • kiosk, café and refreshment purposes
Easements	Park General Community Use	<p>As per Schedule 2 – Easements of the Deed of Agreement</p> <p>TfNSW may create any Easement benefiting or burdening the Land upon such terms and conditions as TfNSW sees fit for the purposes of:</p> <ol style="list-style-type: none"> 1. providing public or private access to or egress from the Land or other land adjacent to or in the vicinity of that land, including the land on which the Motorway is situated (Adjacent Land); 2. providing access to or support of structures erected or to be erected on the Land or the Adjacent Land; 3. providing access to or support for the structures of the Motorway or any other road or railway infrastructure; 4. providing road or rail or other infrastructure or other services including, but not limited to, water, drainage, sewerage, gas and other fuels, electricity, telephone and electronic communications to, or to pass through, the Land or the Adjacent Land or access to such services; 5. providing any statutory easements; 6. satisfying any requirements of the Motorway Concession Document; or 7. accessing structural support for rock anchors, columns, footings, beams, structural support and other structures protecting and/or supporting the Motorway, or for any other purpose reasonably requested by an owner of Adjacent Land (including for drainage purposes) or provided under Division 4 of Part 6 of the Conveyancing Act 1919 (NSW).

The grant of a lease or licence is an important step in using community land, but there may be other requirements relevant to any proposed use. For example, the refurbishment of a kiosk may also require development consent under the *Environmental Planning and Assessment Act 1979*. Any interested person should check carefully to make sure they are aware of all relevant requirements.

5.5 Short Term Uses

Agreements for use of community land may be granted for short duration, which may include casual hires, seasonal use (eg sportsfields) or regular hire arrangement. These short-term arrangements should be for the types of uses identified in Table 9 and consistent with prevailing Council policies.

Table 9 – Seasonal, regular and casual use agreements

Community land category	Purposes for which short term uses may be granted subject to council approval	Requirements
Park	<ul style="list-style-type: none"> community events and festivals playing a musical instrument, or singing for fee or reward picnics and private celebrations such as family gatherings filming and photography session public performances engaging in an appropriate trade or business 	<ul style="list-style-type: none"> the proposed use must comply with terms and conditions approved e.g. SafeWork NSW regulations, insurance, waste management etc. the use should not result in physical damage to the park the use should not result in a significant adverse impact on adjoining residents or disturbance to nearby residents organisers of the site should be responsible for cleaning up the site and notify authorities and Council of any damage or incidents that may occur
General Community Use	<ul style="list-style-type: none"> meetings, seminars and presentations, including educational programs events consistent with the size of facility and its terms and conditions 	<ul style="list-style-type: none"> the proposed use must comply with terms and conditions for facility use the use should not result in physical damage to the facility organisers of the site should be responsible for cleaning up the site and repairing any damage that may occur.

In assessing community land categorised as Park or General Community Use as a venue for any proposed utilisation, the Council applies the following minimum criteria:

- Council reserves the right to refuse bookings based on previous unsatisfactory payment or performance history or where proposed use would damage the facility or cause significant disruption to other regular users.
- Fees for short-term casual bookings will be charged in accordance with Council's adopted Fees and Charges at the time.

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6. Management of the land

6.1 Objectives and management of community land

The land is managed in accordance with the objectives and methods set out below:

Table 10 – Objectives, means and performance measures

Issues	Objectives and performance targets of the plan with respect to the land s.36 (b) Local Government Act 1993	Means by which Council proposes to achieve the plan's objectives and performance targets s.36 (c) Local Government Act 1993	Manner in which Council proposes to assess its performance with respect to the plan's objectives and performance targets s.36 (d) Local Government Act 1993
Access	<ol style="list-style-type: none"> 1. Provide safe and improved access to the parks, sportsgrounds and general community use properties for pedestrians and cyclists. 2. Provide access to and within parks for people with disabilities. 	<ol style="list-style-type: none"> 1. Upgrades, refurbishments and/or improvement works on community land to consider public access requirements for mobility and connections. 2. Proposed ramps, stairs and pathways to comply with relevant Council and BCA requirements consistent with Australian Standards. 	<ol style="list-style-type: none"> 1. Audits of community land and facilities to comply with standards
Amenity and Character	<ol style="list-style-type: none"> 1. Ensure Council's community land and facilities contribute to the amenity and character of the Strathfield LGA. 2. Promote parks, sportsgrounds and community use properties as desirable places for recreation, community 	<ol style="list-style-type: none"> 1. Provide parks and facilities and pathways as attractive destinations. 2. Maintain and enhance community land and facilities 3. Promote parks, sportsgrounds and facilities in local media and website. 	<ol style="list-style-type: none"> 1. Consult with residents and users regarding satisfaction of parks and facilities 2. Monitor and action complaint data

Issues	Objectives and performance targets of the plan with respect to the land s.36 (b) Local Government Act 1993	Means by which Council proposes to achieve the plan's objectives and performance targets s.36 (c) Local Government Act 1993	Manner in which Council proposes to assess its performance with respect to the plan's objectives and performance targets s.36 (d) Local Government Act 1993
	celebration and commemoration.		
Community Facilities	<ol style="list-style-type: none"> 1. Provide sustainable community facilities for a range of community, social and other compatible activities. 2. Ensure facilities positively contribute to community land amenity, facilitate a range of uses and have regard for environmental sustainable design, resource use and maintenance. 	<ol style="list-style-type: none"> 1. Building and structure design specifications to consider setting, local character and environment, expected use and building sustainability features. 2. Provide community facilities which are multi-purpose and flexible to a range of appropriate uses. 3. Ensure community facilities are universally accessible. 4. Community facilities meet sustainable building requirements and/or are progressively upgraded to incorporate best practice energy and water efficiencies. 	<ol style="list-style-type: none"> 1. Monitor usage of community facilities as measured by bookings. 2. Community satisfaction surveys. 3. Facility inspections and audits. 4. Monitor comments and complaints
Environmentally Sustainable Principles	<ol style="list-style-type: none"> 1. Manage community land to ensure best environmental management practises and principles having regard to environmental sustainable design, resource use and maintenance. 	<ol style="list-style-type: none"> 1. Promote and monitor energy efficiency 2. Minimise use of water 3. Implement waste reduction programs 4. Utilise natural heating and cooling 	<ol style="list-style-type: none"> 1. Measure and monitor via plans and strategies such as Energy and Water plans. 2. Monitor usage and trends via quarterly and annual consumption and billing. 3. Monitor and minimise water and energy use in parks, sportsgrounds and ancillary facilities.

Issues	Objectives and performance targets of the plan with respect to the land s.36 (b) Local Government Act 1993	Means by which Council proposes to achieve the plan's objectives and performance targets s.36 (c) Local Government Act 1993	Manner in which Council proposes to assess its performance with respect to the plan's objectives and performance targets s.36 (d) Local Government Act 1993
Historical and Heritage Significance	1. Appreciation and interpretation of the historical and/or heritage significance of sites and structures e.g. memorials in terms of both natural and cultural components.	1. Undertake, when required, historical research including Aboriginal history or heritage and cultural assessment studies to identify cultural and heritage values for retention and interpretation. 2. Incorporate historical information on property signage to enhance understanding and appreciation of the site and the history it represents, where relevant. 3. Promote sense of place and local identity	1. Retention and interpretation of heritage and cultural values provides increased appreciation of the property and its history through community consultation.
Landscape Character	1. Maintain and improve landscape character and visual quality of public open spaces	1. Manage replacement planting strategies to ensure improvement to the current character. 2. Maintain consistency in selection and design of park furniture, paving, fencing that is appropriate to the purpose and setting. 3. Implement & maintain co-ordinated signage strategy	1. Community consultation including surveys regarding community views
Managing assets	1. Provide effective and efficient management of community land and facilities	1. Erect signage at the public entrance to the land setting out conditions of use. 2. Schedule regular inspections and condition assessments. 3. Inclusion of maintenance standards in licence, lease or hire agreements.	1. Measure against Service Standard KPIs. 2. Respond to complaints and audits. 3. Monitor agreements 4. Review and update asset management plans periodically

Issues	Objectives and performance targets of the plan with respect to the land s.36 (b) Local Government Act 1993	Means by which Council proposes to achieve the plan's objectives and performance targets s.36 (c) Local Government Act 1993	Manner in which Council proposes to assess its performance with respect to the plan's objectives and performance targets s.36 (d) Local Government Act 1993
		<ol style="list-style-type: none"> 4. Provide waste and recycling bins to cater for public use. 5. Regular waste and recycling collection to minimise litter overflow 	
Natural Environment	<ol style="list-style-type: none"> 1. To maintain and enhance the health of park ecology, including flora and fauna, trees and soil 	<ol style="list-style-type: none"> 1. Manage trees, gardens and natural areas to maintain and improve the quality of the environment in accordance with Council's tree management and biodiversity strategies and plans. 2. Retain habitat trees, protect foraging habitat and create/maintain habitat corridors through revegetation where possible 3. Ensure revegetation is undertaken using locally sourced stock from agreed planting lists (refer Strathfield Biodiversity Strategy) 4. Maintain weed management program to minimise spread of weeds 5. Implement actions where required under recovery or threat abatement plan. 	<ol style="list-style-type: none"> 1. Measure and monitor tree canopies, vegetation, weeds and habitat. 2. Undertake periodic flora and fauna reviews
Promote varied recreational uses	<ol style="list-style-type: none"> 1. Enhance opportunities for a balanced organised and unstructured recreational use of public open space 2. Optimise public access to public open space. 	<ol style="list-style-type: none"> 1. Capital works program to plan for improvements and upgrades to community land. 2. Promote a range of organised and informal/unstructured activities on community land 	<ol style="list-style-type: none"> 1. Monitor local use of parks and sportsgrounds by bookings, surveys, complaints and observation.

Issues	Objectives and performance targets of the plan with respect to the land s.36 (b) Local Government Act 1993	Means by which Council proposes to achieve the plan's objectives and performance targets s.36 (c) Local Government Act 1993	Manner in which Council proposes to assess its performance with respect to the plan's objectives and performance targets s.36 (d) Local Government Act 1993
	3. Maintain condition and useability of sportsgrounds and 'sustainable capacity'.	3. Provide amenities that support use and enjoyment of parks and sportsgrounds e.g. toilets, change rooms and kiosk/café facilities. 4. Enforce provisions for management of dogs on community land as per requirements of the Act.	
Safety and Risk Management	1. Provide safe use and access to public land and facilities.	1. Design and maintain layouts, landscaping and facilities in accordance with CPTED principles (Crime Prevention through Environmental Design) principles including passive surveillance, good sight lines, territorial reinforcement and space management and lighting. 2. Review lighting and security for both day and night time use. 3. Work with local police to identify and act on safety issues. 4. Install and maintain facilities in accordance with relevant Australian standards. 5. Repair vandalism or graffiti within 48 hours where possible.	1. Works to be in accordance with relevant Australian Standards and CPTED principles. 2. Monitor and action incident and accident reports.
Traffic and Parking	1. Ensure traffic and parking requirements provide a safe environment for park, sportsgrounds and general	1. Minimise use of vehicles on community land and regulate and monitor vehicle access.	1. Reduced pedestrian, cyclist and vehicle conflicts. 2. Improved public safety.

Issues	Objectives and performance targets of the plan with respect to the land s.36 (b) Local Government Act 1993	Means by which Council proposes to achieve the plan's objectives and performance targets s.36 (c) Local Government Act 1993	Manner in which Council proposes to assess its performance with respect to the plan's objectives and performance targets s.36 (d) Local Government Act 1993
	community use property users and do not impact on the amenity of the properties.	<ol style="list-style-type: none"> 2. Installation of signage preventing vehicles from entering unauthorised areas. 3. Where vehicles are permitted, provide clearly marked vehicle movement areas 4. Provide access for emergency or works services. 	<ol style="list-style-type: none"> 3. Traffic access to community land is via agreement.
Use agreements	<ol style="list-style-type: none"> 1. That use arrangements facilitate wide community access to community land, community benefits and support financial sustainability. 	<ol style="list-style-type: none"> 1. Licence, leases, estates and short term use agreements comply with legislative and policy requirements. 	<ol style="list-style-type: none"> 1. Monitor agreements in accordance with terms and conditions of agreement.

Public Hearing

Held on 12 February 2025 at 5.30pm

at the Learning Lab room, Strathfield Library
65 Rochester Street, Homebush

Pursuant to s40A Local Government Act 1993

Proposal: Categorisation of community land at 20 Parramatta
Road Homebush in the amended Powells Creek Corridor
Lands Plan of Management

David Milliken

Chair of the Public Hearing

Report date: 24 February 2025

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I. The Public Hearing

On 10 December 2024 Strathfield Council (Council) resolved to publicly exhibit the amended Powells Creek Corridor Lands Plan of Management and to hold a public hearing for the categorisation of community land at 20 Parramatta Road Homebush.

This land is community land under the *Local Government Act 1993* (**LG Act**) and has not been previously categorised. There is a requirement that a public hearing be held to categorise the land.

Part 2 of the *Local Government Act 1993* requires that all Council-owned land be classified as either 'community' or 'operational' land. Community land is generally accessible to the public, like parks, bushland and playgrounds. Community land is categorised under section 36(4) LG Act as either natural area, sportsground, park, area of cultural significance or general community use. Community land may only be leased or licensed for a limited period and may not be sold. It must be used for the purposes for which it is categorised. Operational land is generally used for operational purposes, and it can be sold by Council or leased on a commercial basis.

It is proposed to categorise 20 Parramatta Road Homebush which is owned by Council as "park".

A public hearing was held on 12 February 2025 at 5.30pm. I was the Chair of that meeting and I have compiled this report for Council's consideration following public notification and exhibition of the report.

The proposed categorisation of 20 Parramatta Road Homebush was widely advertised.

Prior to the public hearing only one person had registered to attend. During the public hearing only the registered attendee was present.

II. Categorisation as park

The proposed categorisation of 20 Parramatta Road Homebush which is owned by Council as "park" is consistent with the use of that land. This site at 20 Parramatta Road, Homebush is located on Lot 1 DP 814227. It is zoned RE1 - Public Recreation on Strathfield Council's Local Environment Plan (LEP). It is a small park acquired by Council in 2022. The park contains a children's playground, shelter and seating, water bubbler, paving, landscaping and bike racks. It also contains a number of easements and Ausgrid infrastructure.

Of the available categories nominated in section 36 LG Act, "park" is the most logical categorisation for the land which is owned by Council.

Clause 104 of the *Local Government Regulation 2021* (**LG Regulation**) provides that land should be categorised as "park" under 36(G) of the LG Act if the land:

- Land which is, or proposed to be, improved by landscaping, gardens or the provision of nonsporting equipment and facilities, and for uses which are mainly passive or active recreational, social, educational and cultural pursuits that not unduly intrude on the peaceful enjoyment of the land by others.

Under Section 36G LG Act the core objectives for land categorised as “park” are:

- encourage, promote and facilitate recreational, cultural, social and educational pastimes and activities.
- provide for passive recreational activities or pastimes and for the casual playing of games.
- improve the land in such a way as to promote and facilitate its use to achieve the other core objectives for its management.

The categorisation of 20 Parramatta Road Homebush which is owned by Council as “park” will help to achieve those core objectives by ensuring that in the future that land will be used and managed consistently with its categorisation and in accordance with the Plan of Management

III. Public Consultation

The amended draft Powells Creek Corridor Lands Plan of Management was publicly exhibited, and the proposed categorisation of 20 Parramatta Road Homebush owned by Council was advertised in December 2024. The draft Plan was exhibited on Council’s website, Customer Service Centre and copies were available to view or take away from Council’s library and website.

Notification was published in the following modes:

- Council’s website included a copy of the draft Plan of Management and described the process and provided a link for making a submission and for registration for attendance of the public meeting;
- In December 2024 and January and February 2025 the public hearing was advertised in Council’s eNews: a weekly online newsletter which notifies news and current activities of Council. The notifications included links to the website materials. eNews is distributed to over 30,000 registered email addresses;
- The draft plan and public hearing was advertised through social media by Council on Facebook and Instagram on 6, 11, 10 and 12 February 2025.

IV. Submissions during the exhibition and public hearing process

No written submissions were received during the exhibition period.

Enquiries regarding the public hearing were received from one member of the public. That person registered to speak at the public hearing, and attended the public hearing.

Myself and an officer of the Council were present at 5:30pm. The registered attendee arrived shortly after and there being no further arrivals by 5:35pm I declared the public hearing open.

The registered attendee mentioned that they are a descendant of Powell, after whom the creek is named. The attendee wondered whether Powell's resting place was within the park, the Council officer suggested it would be more likely closer to the railway station than in the park. Nonetheless the attendee indicated their satisfaction that the land will become public land and a park. The attendee highlighted the importance of parks as the City grows that that Strathfield should continue its reputation of park-building, particularly focusing on shade trees and native vegetation. The attendee reinforced the importance of this for future generations.

There being no further attendees by 6:15pm, the public hearing was closed.

V. Consideration of proposal and Conclusion

Having reviewed the exhibition material, including the draft Plan of Management I find that it is appropriate to categorise 20 Parramatta Road Homebush which is owned by Council as "park". The category reflects its ongoing use. The absence of community response to the exhibition of the proposed categorisation as "park" indicates that there is community acceptance of that category as being appropriate for 20 Parramatta Road Homebush. The adoption of amendments to the Powells Creek Corridor Lands Plan of Management will assist to ensure that 20 Parramatta Road Homebush is used and managed in accordance with its Plan of Management.



David Milliken
Chair
Public Hearing

CCS1 TENDERS ADVERTISED AND AWARDED FEBRUARY 2025
AUTHOR: David McQuade, Senior Governance Officer
APPROVER: Kristy Watts, Director Corporate and Community

RECOMMENDATION

That Council tenders advertised and awarded in the month of February 2025 be received and noted.

PURPOSE OF REPORT

This report details Council tenders advertised and awarded in in the month of February 2025.

REPORT

Tenders advertised in February 2025

Date Advertised	Date Closing/Closed	Tender Description	Status
13/12/2024	31/01/2025	Solar Lighting at Cooks River, Strathfield – Design and Construct	Under evaluation
15/01/2024	19/02/2025	Insurance Services for Strathfield Council	Under evaluation

Tenders awarded in February 2025

Date Awarded	Tender Description	Successful Tenderer
N/A	N/A	N/A

Nil tenders were awarded in the month of February 2025.

FINANCIAL IMPLICATIONS

There are no financial implications.

ATTACHMENTS

There are no attachments for this report

CCS2 INVESTMENT REPORT - FEBRUARY 2025
 AUTHOR: Salma Tandukar, Accountant
 APPROVER: Kristy Watts, Director Corporate and Community

RECOMMENDATION

That the record of cash investments as at 28 February 2025 be received and noted.

PURPOSE OF REPORT

To submit Council's record of cash investments as at 28 February 2025, pursuant to Clause 212 of the *Local Government (General) Regulation 2021*.

Investment Allocation and Performance

Investment Portfolio as at 28 February 2025:

Call Accounts	Allocation (%)	Amount (\$)
Term Deposits	61.62	49,000,000
Cash At Bank and At Call Investment	38.38	30,517,422
Total Investments		79,517,422

Note: Investment Portfolio details are listed in the attachment

As at the end of February 2025, the portfolio was mainly directed to fixed term deposits (61.62%). The remaining portfolio is directed to various cash accounts (38.38%) for current liquidity needs.

Performance

Council's performance for the month ending February 2025 is summarised as follows:

Performance (Actual)	1 month	3 months	6 months	FYTD	1 year
Official Cash Rate	0.31%	1.04%	2.12%	2.86%	4.33%
AusBond Bank Bill Index	0.34%	1.10%	2.21%	2.98%	4.48%
Council's T/D Portfolio [^]	0.36%	1.13%	2.21%	2.92%	4.33%
Rel. Performance	0.02%	0.03%	0.00%	-0.06%	-0.15%

[^]Total portfolio performance excludes Council's cash account holdings.

Performance (Annualised)	1 month	3 months	6 months	FYTD	1 year
Official Cash Rate	4.10%	4.27%	4.31%	4.32%	4.33%
AusBond Bank Bill Index	4.51%	4.54%	4.51%	4.51%	4.48%
Council's T/D Portfolio [^]	4.77%	4.66%	4.50%	4.42%	4.33%
Rel. Performance	0.26%	0.12%	-0.01%	-0.09%	-0.15%

[^]Total portfolio performance excludes Council's cash account holdings.

For the month of February, the total investment portfolio (excluding cash) provided a return of +0.36% (actual) or +4.77% p.a. (annualised), slightly outperforming the benchmark AusBond Bank Bill Index return of +0.34% (actual) or +4.51% p.a. (annualised).

Council's **deposit** portfolio was yielding 4.61% p.a. (down 2bp from the previous month), with a weighted average duration of 231 days (-8 months).

Council has earned interest revenue totalling \$1,743,300 as at 28 February 2025, being 71.15% of the full year projected budget of \$2,450,000.

Cash Restrictions as at 28 February 2025.

	28 Feb 2025
Externally Restricted Cash	
Specific purpose unexpended grants - general fund	\$ 12,602,000
Developer contributions	\$ 32,725,677
Stormwater management	\$ 589,000
Domestic waste management	\$ 3,286,000
Total External Restrictions	\$ 49,202,677
Internally Restricted Cash	
Piant and vehicle replacement	\$ 2,230,000
Employees leave entitlement	\$ 1,200,000
Carry over works	\$ 3,426,000
Deposits, retentions and bonds	\$ 12,347,000
Adshel (bus shelters)	\$ 270,000
Council elections	\$ 350,000
Future major expenditure	\$ 2,082,000
Hudson Park Golf Driving Range	\$ 195,000
Planning agreements	\$ 688,000
Risk management	\$ 400,000
Technology	\$ 140,000
Contributions towards works	\$ 20,000
Financial Assistance Grant - paid in advance	\$ 1,437,000
Total Internal Restrictions	\$ 24,785,000
Unrestricted Cash	\$ 5,529,745
Total Cash and Investments	\$ 79,517,422

Certification – Responsible Accounting Officer

The Chief Financial Officer as the Responsible Accounting Officer hereby certifies that the investments listed above have been made in accordance with Section 625 of the *Local Government Act 1993*, Clause 212 of the *Local Government (General) Regulation 2021* and **Council's Investment Policy**.

FINANCIAL IMPLICATIONS

There are no financial implications.

ATTACHMENTS

1. [February 2025 - Investment Report](#)



Investment Report

01/02/2025 to 28/02/2025



Portfolio Valuation as at 28/02/2025

Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
NAB	AA-	TD	GENERAL	At Maturity	05/09/2023	05/03/2025	5.1000	2,000,000.00	2,000,000.00	151,742.47	7,824.66
NAB	AA-	TD	GENERAL	At Maturity	06/09/2023	16/04/2025	5.0800	2,000,000.00	2,000,000.00	150,869.04	7,793.97
Suncorp Bank	AA-	TD	GENERAL	At Maturity	25/09/2024	15/05/2025	5.0000	2,000,000.00	2,000,000.00	43,013.70	7,671.23
NAB	AA-	TD	GENERAL	Annual	18/05/2021	19/05/2025	1.0000	1,000,000.00	1,000,000.00	7,808.22	767.12
Westpac	AA-	TD	GENERAL	Annual	26/10/2023	04/06/2025	5.3800	2,000,000.00	2,000,000.00	36,554.52	8,254.25
BOQ	A-	TD	GENERAL	Annual	04/12/2024	04/06/2025	5.1600	2,000,000.00	2,000,000.00	24,598.36	7,916.71
NAB	AA-	TD	GENERAL	At Maturity	23/12/2024	23/06/2025	5.0500	2,000,000.00	2,000,000.00	18,816.44	7,747.95
NAB	AA-	TD	GENERAL	At Maturity	24/12/2024	24/06/2025	5.0500	1,500,000.00	1,500,000.00	13,904.79	5,810.96
Westpac	AA-	TD	GENERAL	Annual	26/10/2023	16/07/2025	5.3800	2,000,000.00	2,000,000.00	36,554.52	8,254.25
BOQ	A-	TD	GENERAL	At Maturity	23/01/2025	23/07/2025	5.0000	2,000,000.00	2,000,000.00	10,136.99	7,671.23
NAB	AA-	TD	GENERAL	Annual	24/07/2024	24/07/2025	5.3500	1,000,000.00	1,000,000.00	32,246.58	4,104.11
NAB	AA-	TD	GENERAL	At Maturity	07/08/2024	07/08/2025	5.0500	1,000,000.00	1,000,000.00	28,501.37	3,873.97
Westpac	AA-	TD	GENERAL	At Maturity	11/12/2023	13/08/2025	5.2000	2,000,000.00	2,000,000.00	127,079.45	7,978.08
Westpac	AA-	TD	GENERAL	At Maturity	11/12/2023	10/09/2025	5.1500	2,000,000.00	2,000,000.00	125,857.53	7,901.37
Westpac	AA-	TD	GENERAL	Quarterly	27/10/2021	29/10/2025	1.5900	2,000,000.00	2,000,000.00	2,787.95	2,439.45
ICBC Sydney Branch	A	TD	GENERAL	At Maturity	31/10/2024	31/10/2025	5.1700	2,000,000.00	2,000,000.00	34,277.81	7,932.05
NAB	AA-	TD	GENERAL	At Maturity	14/08/2024	14/11/2025	4.9600	2,000,000.00	2,000,000.00	54,084.38	7,609.86
NAB	AA-	TD	GENERAL	Annual	04/09/2024	04/12/2025	4.8400	2,000,000.00	2,000,000.00	47,206.58	7,425.75





Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
NAB	AA-	TD	GENERAL	At Maturity	20/12/2024	22/12/2025	5.0000	2,500,000.00	2,500,000.00	24,315.07	9,589.04
NAB	AA-	TD	GENERAL	At Maturity	23/12/2024	23/12/2025	5.0000	2,000,000.00	2,000,000.00	18,630.14	7,671.23
BOQ	A-	TD	GENERAL	At Maturity	26/03/2024	21/01/2026	4.8700	2,000,000.00	2,000,000.00	90,728.77	7,471.78
NAB	AA-	TD	GENERAL	At Maturity	14/08/2024	13/02/2026	4.8100	2,000,000.00	2,000,000.00	52,448.77	7,379.73
Westpac	AA-	TD	GENERAL	At Maturity	26/03/2024	18/03/2026	4.8000	3,000,000.00	3,000,000.00	134,136.99	11,046.58
NAB	AA-	TD	GENERAL	Annual	18/05/2021	15/05/2026	1.3000	1,000,000.00	1,000,000.00	10,150.68	997.26
Bank of Us	BBB+	TD	GENERAL	Annual	14/08/2024	14/08/2026	4.7000	2,000,000.00	2,000,000.00	51,249.32	7,210.96
Westpac	AA-	TD	GENERAL	Quarterly	27/10/2021	28/10/2026	1.8200	2,000,000.00	2,000,000.00	3,191.23	2,792.33
Macquarie Bank	A+	CASH	GENERAL	Monthly	28/02/2025	28/02/2025	4.4000	1,292,054.47	1,292,054.47	4,584.30	4,584.30
Commonwealth Bank	AA-	CASH	GENERAL	Monthly	28/02/2025	28/02/2025	4.1000	7,859,608.65	7,859,608.65	11,967.98	11,967.98
Commonwealth Bank	AA-	CASH	GENERAL	Monthly	28/02/2025	28/02/2025	4.3500	21,365,758.48	21,365,758.48	71,297.24	71,297.24
TOTALS								79,517,421.60	79,517,421.60	1,418,741.17	260,985.42



Portfolio by Asset as at 28/02/2025

Asset Type: CASH

Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
Macquarie Bank	A+	CASH	GENERAL	Monthly	28/02/2025	28/02/2025	4.4000	1,292,054.47	1,292,054.47	4,584.30	4,584.30
Commonwealth Bank	AA-	CASH	GENERAL	Monthly	28/02/2025	28/02/2025	4.1000	7,859,608.65	7,859,608.65	11,967.98	11,967.98
Commonwealth Bank	AA-	CASH	GENERAL	Monthly	28/02/2025	28/02/2025	4.3500	21,365,758.48	21,365,758.48	71,297.24	71,297.24
CASH SUBTOTALS								30,517,421.60	30,517,421.60	87,849.53	87,849.53

Asset Type: TD

Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
NAB	AA-	TD	GENERAL	At Maturity	05/09/2023	05/03/2025	5.1000	2,000,000.00	2,000,000.00	151,742.47	7,824.66
NAB	AA-	TD	GENERAL	At Maturity	06/09/2023	16/04/2025	5.0800	2,000,000.00	2,000,000.00	150,869.04	7,793.97
Suncorp Bank	AA-	TD	GENERAL	At Maturity	25/09/2024	15/05/2025	5.0000	2,000,000.00	2,000,000.00	43,013.70	7,671.23
NAB	AA-	TD	GENERAL	Annual	18/05/2021	19/05/2025	1.0000	1,000,000.00	1,000,000.00	7,808.22	767.12
Westpac	AA-	TD	GENERAL	Annual	26/10/2023	04/06/2025	5.3800	2,000,000.00	2,000,000.00	36,554.52	8,254.25
BOQ	A-	TD	GENERAL	Annual	04/12/2024	04/06/2025	5.1600	2,000,000.00	2,000,000.00	24,598.36	7,916.71
NAB	AA-	TD	GENERAL	At Maturity	23/12/2024	23/06/2025	5.0500	2,000,000.00	2,000,000.00	18,816.44	7,747.95
NAB	AA-	TD	GENERAL	At Maturity	24/12/2024	24/06/2025	5.0500	1,500,000.00	1,500,000.00	13,904.79	5,810.96
Westpac	AA-	TD	GENERAL	Annual	26/10/2023	16/07/2025	5.3800	2,000,000.00	2,000,000.00	36,554.52	8,254.25





Issuer	Rating	Type	Allocation	Interest Paid	Purchase Date	Maturity Date	Rate (%)	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
BOQ	A-	TD	GENERAL	At Maturity	23/01/2025	23/07/2025	5.0000	2,000,000.00	2,000,000.00	10,136.99	7,671.23
NAB	AA-	TD	GENERAL	Annual	24/07/2024	24/07/2025	5.3500	1,000,000.00	1,000,000.00	32,246.58	4,104.11
NAB	AA-	TD	GENERAL	At Maturity	07/08/2024	07/08/2025	5.0500	1,000,000.00	1,000,000.00	28,501.37	3,873.97
Westpac	AA-	TD	GENERAL	At Maturity	11/12/2023	13/08/2025	5.2000	2,000,000.00	2,000,000.00	127,079.45	7,978.08
Westpac	AA-	TD	GENERAL	At Maturity	11/12/2023	10/09/2025	5.1500	2,000,000.00	2,000,000.00	125,857.53	7,901.37
Westpac	AA-	TD	GENERAL	Quarterly	27/10/2021	29/10/2025	1.5900	2,000,000.00	2,000,000.00	2,787.95	2,439.45
ICBC Sydney Branch	A	TD	GENERAL	At Maturity	31/10/2024	31/10/2025	5.1700	2,000,000.00	2,000,000.00	34,277.81	7,932.05
NAB	AA-	TD	GENERAL	At Maturity	14/08/2024	14/11/2025	4.9600	2,000,000.00	2,000,000.00	54,084.38	7,609.86
NAB	AA-	TD	GENERAL	Annual	04/09/2024	04/12/2025	4.8400	2,000,000.00	2,000,000.00	47,206.58	7,425.75
NAB	AA-	TD	GENERAL	At Maturity	20/12/2024	22/12/2025	5.0000	2,500,000.00	2,500,000.00	24,315.07	9,589.04
NAB	AA-	TD	GENERAL	At Maturity	23/12/2024	23/12/2025	5.0000	2,000,000.00	2,000,000.00	18,630.14	7,671.23
BOQ	A-	TD	GENERAL	At Maturity	26/03/2024	21/01/2026	4.8700	2,000,000.00	2,000,000.00	90,728.77	7,471.78
NAB	AA-	TD	GENERAL	At Maturity	14/08/2024	13/02/2026	4.8100	2,000,000.00	2,000,000.00	52,448.77	7,379.73
Westpac	AA-	TD	GENERAL	At Maturity	26/03/2024	18/03/2026	4.8000	3,000,000.00	3,000,000.00	134,136.99	11,046.58
NAB	AA-	TD	GENERAL	Annual	18/05/2021	15/05/2026	1.3000	1,000,000.00	1,000,000.00	10,150.68	997.26
Bank of Us	BBB+	TD	GENERAL	Annual	14/08/2024	14/08/2026	4.7000	2,000,000.00	2,000,000.00	51,249.32	7,210.96
Westpac	AA-	TD	GENERAL	Quarterly	27/10/2021	28/10/2026	1.8200	2,000,000.00	2,000,000.00	3,191.23	2,792.33
TD SUBTOTALS								49,000,000.00	49,000,000.00	1,330,891.64	173,135.89



Portfolio by Asset Totals as at 28/02/2025

Type	Capital Value (\$)	Face Value (\$)	Accrued (\$)	Accrued MTD (\$)
CASH	30,517,421.60	30,517,421.60	87,849.53	87,849.53
TD	49,000,000.00	49,000,000.00	1,330,891.64	173,135.89
TOTALS	79,517,421.60	79,517,421.60	1,418,741.17	260,985.42



Counterparty Compliance as at 28/02/2025

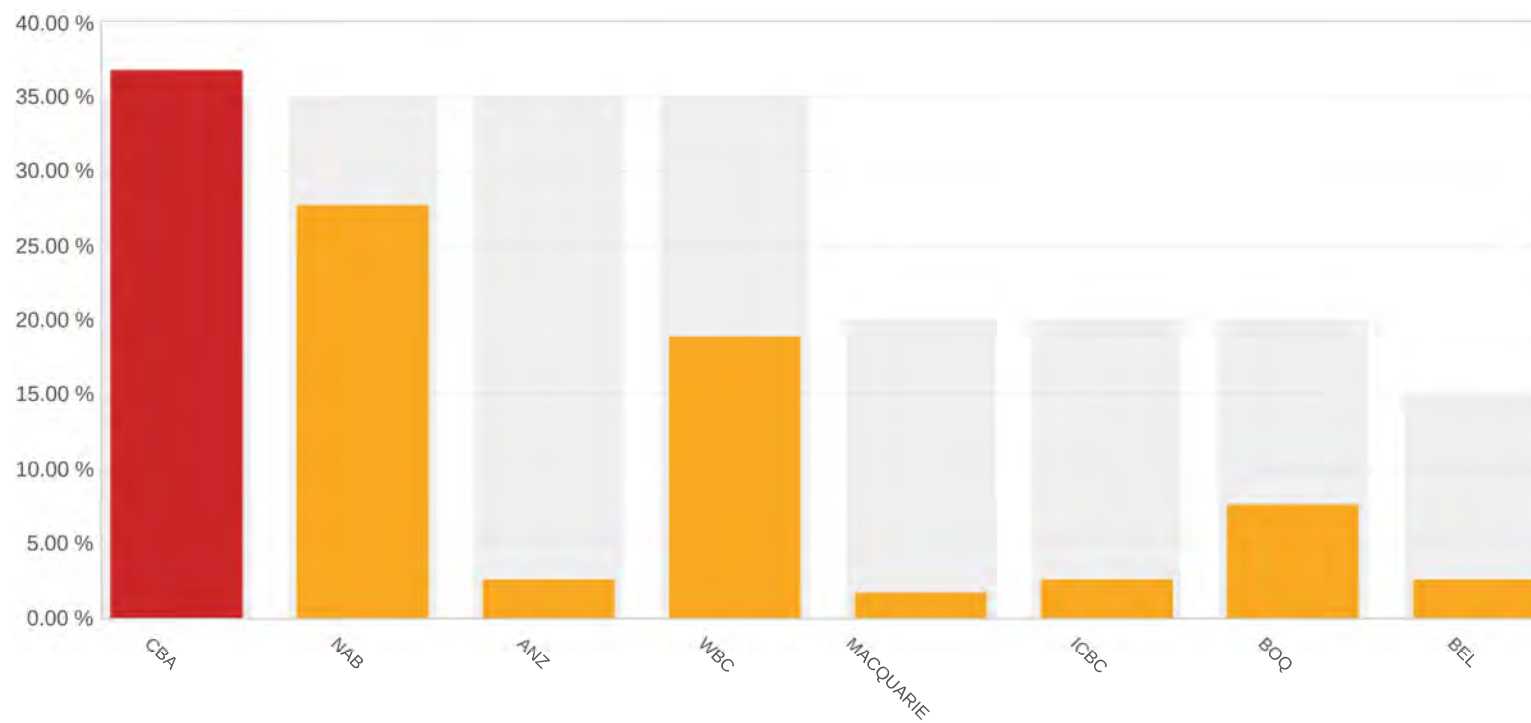
Long Term Investments

Compliant	Bank Group	Term	Rating	Invested (\$)	Invested (%)	Limit (%)	Limit (\$)	Available (\$)
✗	Commonwealth Bank	Long	AA-	29,225,367.13	36.75	35.00	-	-1,394,269.57
✓	NAB	Long	AA-	22,000,000.00	27.67	35.00	-	5,831,097.56
✓	ANZ Bank	Long	AA-	2,000,000.00	2.52	35.00	-	25,831,097.56
✓	Westpac	Long	AA-	15,000,000.00	18.86	35.00	-	12,831,097.56
✓	Macquarie Bank	Long	A+	1,292,054.47	1.63	20.00	-	14,611,429.85
✓	ICBC Sydney Branch	Long	A	2,000,000.00	2.52	20.00	-	13,903,484.32
✓	BOQ	Long	A-	6,000,000.00	7.55	20.00	-	9,903,484.32
✓	Bank of Us	Long	BBB+	2,000,000.00	2.52	15.00	-	9,927,613.24
TOTALS				79,517,421.60	100.00			

(A) - As of 28 February 2025, Council experienced a temporary counterparty compliance breach. This occurred because Council's operating accounts are held with CBA, and the significant cash inflows from Q3 rate instalments during February resulted in a higher-than-usual cash balance at month-end. These balances will be managed and progressively divested in accordance with cash flow requirements in the coming month.



Counterparty Compliance - Long Term Investments



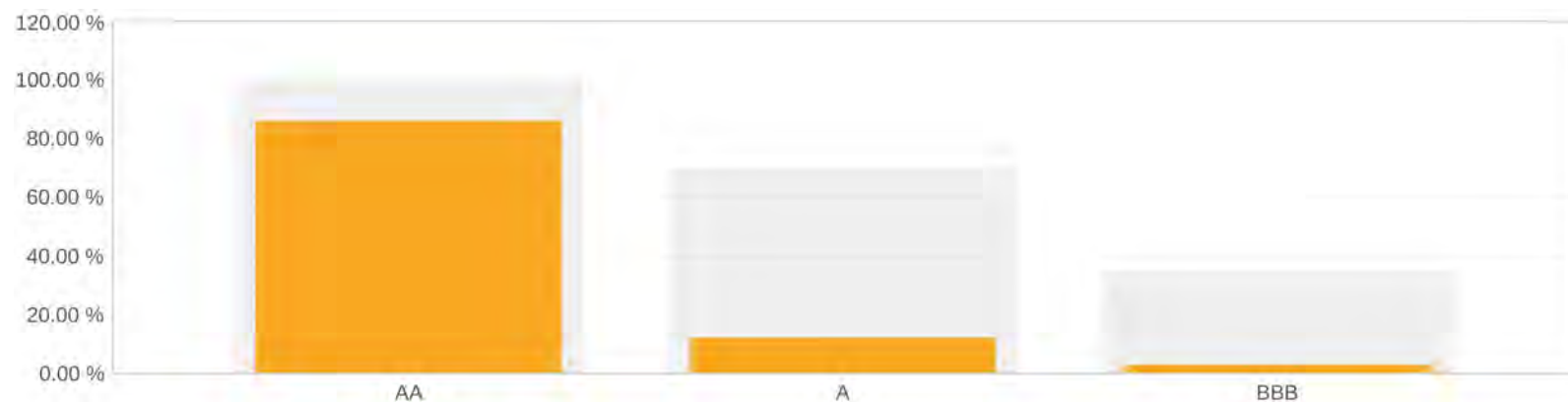


Credit Quality Compliance as at 28/02/2025

Long Term Investments

Compliant	Rating	Invested (\$)	Invested (%)	Limit (%)	Available (\$)
✓	AA	68,225,367.13	85.80	100.00	11,292,054.47
✓	A	9,292,054.47	11.69	70.00	46,370,140.65
✓	BBB	2,000,000.00	2.52	35.00	25,831,097.56
TOTALS		79,517,421.60	100.00		

Credit Quality Compliance - Long Term Investments

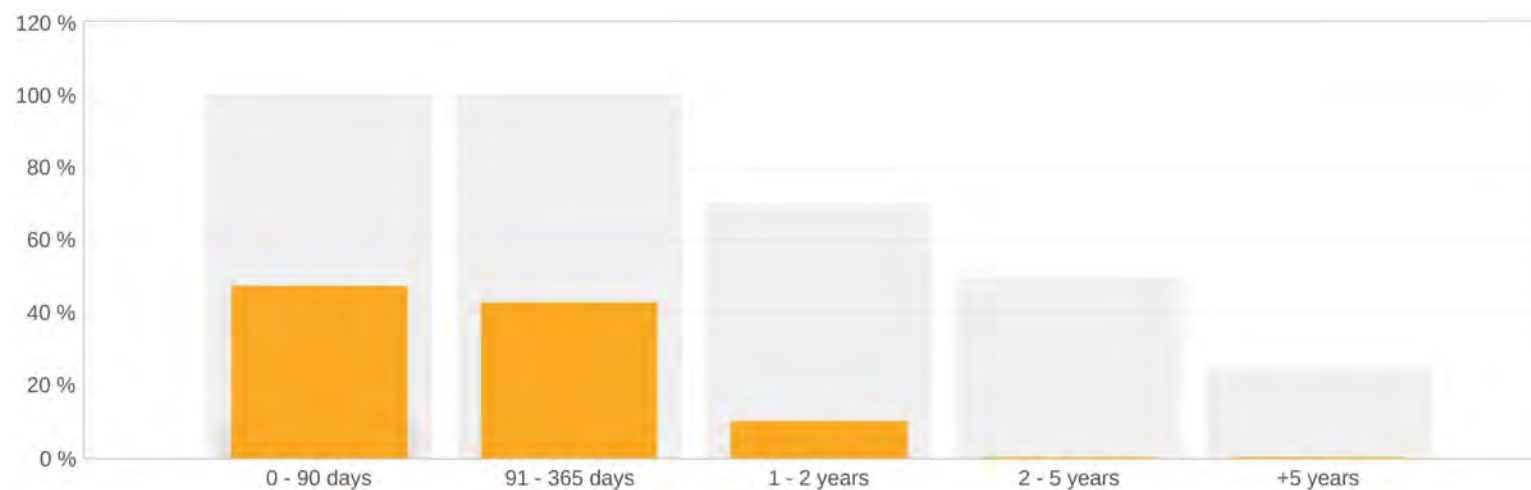




Maturity Compliance as at 28/02/2025

Compliant	Term	Invested (\$)	Invested (%)	Min Limit (%)	Max Limit (%)	Available (\$)
✓	0 - 90 days	37,517,421.60	47.18	10.00	100.00	42,000,000.00
✓	91 - 365 days	34,000,000.00	42.76	0.00	100.00	45,517,421.60
✓	1 - 2 years	8,000,000.00	10.06	0.00	70.00	47,662,195.12
✓	2 - 5 years	-	0.00	0.00	50.00	39,758,710.80
✓	+5 years	-	0.00	0.00	25.00	19,879,355.40
TOTALS		79,517,421.60	100.00			

Maturity Compliance



CCS3 2025 NATIONAL GENERAL ASSEMBLY CONFERENCE MOTIONS

AUTHOR: Kristy Watts, Director Corporate and Community

APPROVER: Michael Mamo, General Manager

RECOMMENDATION

That Council:

1. Submit the motions outlined in this paper for the 2025 National General Assembly.
2. Adjust the June 2025 Ordinary Council meeting date to Monday 23 June 2025 to accommodate Councillors attending the 2025 NGA in Canberra.

PURPOSE OF REPORT

For Council to determine the motions to be presented to the 2025 National General Assembly of Local Government (NGA) in June 2025 which will need to be voted on at the Council Meeting 25 March 2025 prior to being submitted by 31 March 2025.

REPORT

The Australian Local Government Association (ALGA) is calling for Councils to submit motions for the 2025 National General Assembly of Local Government (NGA), which will be held from 24 to 27 June 2025 at the National Convention Centre in Canberra.

The theme for this year's NGA will be "National Priorities Need Local Solutions", reflecting the role local government can play in delivering place-based initiatives that help address Australia's biggest challenges.

ALGA is seeking motions that align with this theme and identify opportunities for new federal programs and policies that will support Councils to build stronger communities.

This year's call for motion focusses on twelve priority areas:

- Intergovernmental relations;
- Financial sustainability;
- Roads and infrastructure;
- Emergency management;
- Housing and homelessness;
- Jobs and skills;
- Community services;
- Closing the Gap and Aboriginal and Torres Strait Islander Reconciliation;
- Data, digital technology and cyber security;
- Climate change and renewable energy;
- Environment and Circular economy.

The below table outlines the Motions to be provided by Strathfield Council for the 2025 National General Assembly.

Topic Area	Draft Motion
Financial sustainability	<p>Review of Federal Grant Processes for Local Governments <i>The National General Assembly calls on the Australian Government to:</i></p> <ol style="list-style-type: none"> <i>1. Remove the requirement on Councils to provide “co-contributions” to grant funded programs.</i> <i>2. Mandate the provision of grant funding upfront, removing the need for Council to tie up already budgeted finances in anticipation of payment after program delivery.</i> <i>3. Mandate that all Commonwealth and State government grant funded programs cannot exclude design related work from their eligible actions. Councils are not in the financial or operational position to develop considerable volumes of plans and designs, which then “sit on the shelf” waiting for an appropriate grant funding opportunity.</i> <p>Increase in Federal Assistance Grants to Local Governments <i>That the National General Assembly urges the Federal Government to restore Financial Assistance Grants to at least 1% of Commonwealth taxation revenue to ensure the financial sustainability of local governments.</i></p> <p>Review of Rate Capping Policies <i>That the National General Assembly advocates for state governments to review and reconsider rate capping policies, allowing councils to set rates based on local community needs and financial sustainability.</i></p> <p>Reduce cost shifting <i>The National General Assembly calls on the Australian government to:</i></p> <ol style="list-style-type: none"> <i>1. Renegotiate the 2006 Intergovernmental Agreement on Federal Financial Relations to prevent cost shifting of Commonwealth and state government responsibilities onto Councils.</i> <i>2. Introduce stronger controls in all Intergovernmental Agreements (IGA) that restrict the ability of state governments to diverge from the intent of the Commonwealth on similar topics, when states form their own IGA's with their respective local government organisations.</i>
Roads & infrastructure	<p>DFO Roundabout <i>That the National General Assembly calls on the Federal Government to ensure that the funding allocated for Strathfield's DFO Roundabout upgrade is retained and that a direction is provided to Transport for NSW to establish a time frame to guarantee the project's completion.</i></p>

2025 National General Assembly Conference Motions (Cont'd)

Topic Area	Draft Motion
	<p>Sustainable Road Funding Model <i>That the National General Assembly calls for a long-term, sustainable funding model for local road maintenance and upgrades, ensuring equitable distribution of funds across metropolitan, regional, and remote councils.</i></p>
Jobs & skills	<p>Federal Investment in Local Government Workforce Development <i>That the National General Assembly advocates for targeted federal investment in local government workforce development programs, including apprenticeships, traineeships, and upskilling initiatives.</i></p>
Community services	<p>Sustainable Funding for Local Government Community Services <i>That the National General Assembly calls on the Federal Government to commit to long-term, sustainable funding for local government community services, including seniors, disability and youth programs.</i></p> <p>National Strategy for Mental Health Support in Local Communities <i>That the National General Assembly urges the Federal Government to develop a National Mental Health Support Strategy, with local government collaboration to improve accessibility to mental health services at the community level.</i></p>
Closing the Gap and Aboriginal and Torres Strait Islander Reconciliation	<p>Local Government Involvement in Closing the Gap Initiatives <i>That the National General Assembly advocates for dedicated federal funding to support local government initiatives that contribute to the Closing the Gap targets and promote reconciliation efforts.</i></p>
Data, digital technology & cyber security	<p>Establishment of a National Body to Oversee, Police, Govern, and Set Standards for the Management of Cyber Security. <i>This National General Assembly calls on the Australian Government to move to establish a National Cyber Security Authority (NCSA) with the following mandates:</i></p> <p><i>Oversight and Governance:</i></p> <ul style="list-style-type: none"> <i>Develop and implement national cyber security policies and strategies.</i> <i>Coordinate with federal, state, and local governments to ensure cohesive and comprehensive cyber security measures.</i> <i>Monitor and assess the cyber threat landscape to provide timely and accurate information to relevant stakeholders.</i> <p><i>Policing and Enforcement:</i></p> <ul style="list-style-type: none"> <i>Investigate and respond to cyber incidents, including cybercrime, cyber espionage, and cyber terrorism.</i> <i>Collaborate with law enforcement agencies to prosecute cybercriminals and enforce cyber security laws.</i> <i>Implement and oversee a national cyber incident reporting and response</i>

Topic Area	Draft Motion
	<p>system.</p> <p>Standard Setting:</p> <ul style="list-style-type: none"> Establish and maintain national cyber security standards and best practices for government, industry, and individuals. Provide guidelines and resources to help organisations and individuals enhance their cyber security posture. Promote the adoption of secure technologies and standard consistent practices across all Government agencies at the federal, state and local levels. <p>Public Awareness and Education:</p> <ul style="list-style-type: none"> Conduct public awareness campaigns to educate citizens about cyber threats and safe online practices. Develop and deliver cyber security training programs for government employees, businesses, and the public. Foster a culture of cyber security awareness and resilience within the community. <p>Cybersecurity Resilience Fund for Local Governments <i>That the National General Assembly urges the Federal Government to establish a Cybersecurity Resilience Fund to assist councils in strengthening digital security infrastructure and protecting community data.</i></p> <p>National Digital Transformation Framework for Local Governments <i>That the National General Assembly calls for the development of a national framework to guide and support councils in adopting digital transformation strategies for improved service delivery and governance.</i></p>
Environment	<p>Increased Federal Investment in Urban Greening Programs <i>That the National General Assembly advocates for increased federal funding for urban greening initiatives, including tree planting programs and green space enhancements in local communities.</i></p> <p>Local Government Role in Biodiversity Conservation <i>That the National General Assembly urges the Federal Government to recognize and support local governments as key partners in biodiversity conservation efforts through dedicated funding and legislative frameworks.</i></p>
Circular economy	<p>Federal Government Support for Local Government in Advancing the Circular Economy</p> <p><i>That the National General Assembly calls on the Australian Government to:</i></p> <ol style="list-style-type: none"> Develop a national Circular Economy Strategy with targeted funding and regulatory support for local governments. Provide direct financial assistance to local councils to invest in circular economy

2025 National General Assembly Conference Motions (Cont'd)

Topic Area	Draft Motion
	<p><i>initiatives, including infrastructure, waste reduction programs, and local circular business partnerships.</i></p> <ol style="list-style-type: none"> <i>Strengthen producer responsibility schemes to reduce waste at its source and incentivise circular design.</i> <i>Standardise national procurement policies to prioritise recycled and sustainable materials across all levels of government.</i> <i>Facilitate knowledge-sharing networks and provide capacity-building support for councils to implement circular economy principles effectively.</i>
Climate change & renewable energy	<p>Funding for Local Government Climate Adaptation Projects <i>That the National General Assembly urges the Federal Government to establish a dedicated Climate Adaptation Fund for councils to implement local climate resilience projects and infrastructure upgrades.</i></p> <p>Local Government Access to Renewable Energy Transition Funding <i>That the National General Assembly calls for targeted funding and policy support to enable councils to transition to renewable energy sources in council operations and community services.</i></p>
Emergency management	<p>National Resilience Fund for Local Governments <i>That the National General Assembly urges the Federal Government to establish a dedicated Local Government Resilience Fund to support councils in preparing for, responding to, and recovering from natural disasters.</i></p> <p>Mandatory Emergency Management Plans for All Local Governments <i>That the National General Assembly calls for federal and state governments to provide funding and resources to ensure every local council can develop and implement a comprehensive Emergency Management Plan.</i></p>
Housing & homelessness	<p>Federal Government Support for Local Councils in Delivering Affordable Housing <i>That the National General Assembly calls on the Australian Government to:</i></p> <ol style="list-style-type: none"> <i>Provide direct funding and financing support to local councils for the development of affordable and social housing.</i> <i>Establish a national framework for local government-led affordable housing initiatives, including inclusionary zoning, incentives for affordable housing development, and planning reforms.</i> <i>Expand the National Housing Infrastructure Facility (NHIF) to directly assist councils in delivering enabling infrastructure for housing projects.</i> <i>Support local government partnerships with community housing providers, developers, and the private sector to accelerate the delivery of affordable housing.</i> <i>Introduce tax and regulatory incentives for build-to-rent and mixed-income housing projects to encourage long-term affordable rental supply.</i>

Topic Area	Draft Motion
	<p>Federal Support for Local Affordable Housing Initiatives <i>That the ALGA National General Assembly the Federal Government to introduce dedicated funding streams to support councils in delivering local affordable housing projects, including incentives for repurposing underutilised government land.</i></p> <p>National Homelessness Prevention Strategy <i>That the National General Assembly calls for the development of a National Homelessness Prevention Strategy, with local governments playing a key role in coordination, service provision, and community-based solutions.</i></p>
Intergovernmental relations	<p>Review of Federal Grant Processes for Local Governments <i>That the National General Assembly calls on the Federal Government to streamline grant application and reporting processes to reduce administrative burden and ensure timely access to funding for local councils.</i></p>

FINANCIAL IMPLICATIONS

The costs associated with attending the conference are accounted for within the current budget.

ATTACHMENTS

There are no attachments for this report

CCS4 REPORT ON POSSIBLE GEOGRAPHICAL NAMES BOARD APPLICATION

AUTHOR: David Vien, Manager Digital, Information and Customer

APPROVER: Kristy Watts, Director Corporate and Community

RECOMMENDATION

That Council:

1. Define the boundary – confirm the precise boundary for the proposed renaming.
2. Resolves that the boundary change is necessary to create a clearer distinction between suburbs, **making it easier for the public to understand and ensuring alignment with the way Strathfield's suburbs are structured along the train line.**
3. Acknowledges that the project may proceed subject to the required funding being approved as part of the 2025/2026 Annual Budget.
4. **Acknowledge the expected timelines for the Geographical Names Board's determination and the official implementation of the name change.**

PURPOSE OF REPORT

At the Ordinary Council Meeting 22 October 2024, Council resolved:

254/24

RESOLVED: (Blackmore / Baladi)

That a report be prepared for an upcoming Council meeting with a possible case for a Geographical Names Board application for the renaming of parts of Homebush (south of the railway) to Strathfield.

The report includes, but not limited to:

- *The possible boundaries for a proposal*
- *The possible case for a change*
- *The process of an application*
- *Budgetary implications and timeframes*

This report is to advise Council on the requirements and process whereby an application can be made to the Geographical Names Board NSW (GNB) to rename parts of Homebush (South of the Railway) to Strathfield.

REPORT

Council has requested that information be provided to them about:

1. The possible boundaries for a proposal

Report on possible Geographical Names Board Application (Cont'd)

2. The possible case for a change
3. The process of an application
4. Budgetary implications and timelines

The GNB is the official body for naming and recording details of places and geographical names. A suburb is a named geographical area with defined boundaries. Suburbs mean addresses can be unique. It's vital that suburb names and boundaries are clear and unambiguous.

1. The possible boundaries for a proposal

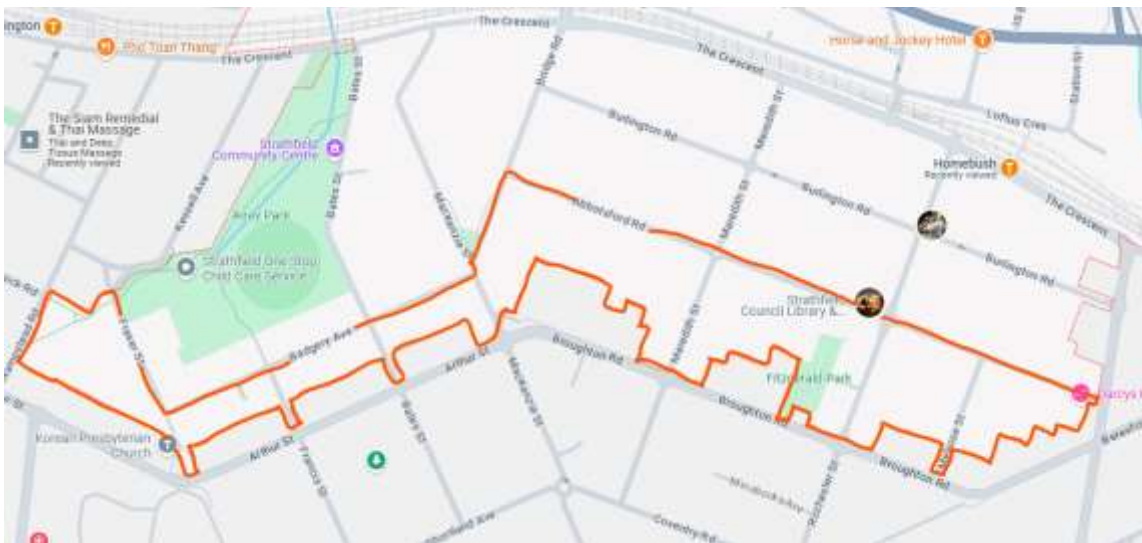
Council has requested the renaming of an area “of parts of Homebush (South of the Railway) to Strathfield”. The map shows the border of Homebush south of the Railway line as it abuts Strathfield.

- **Option 1** would be to include all the area below the Crescent including the entire lot of Strathbelle Apartments bordered south of the railway line and Beresford Road as per Map 1.
- **Option 2** would be to change the border so that it runs along Fraser St, Badgery Avenue, up Bridge Road then along Abbotsford Road to the border as per Map 2.
- **Option 3** would be to change the border so that it runs along Fraser St Badgery Avenue, up Bridge Road then along Burlington Road to the border as per Map 3.

Council would have to consider the properties and businesses in and around Homebush station when determining the most appropriate Option to recommend to the community and the GNB.



MAP 1



MAP 2



MAP 3

When considering the area to be renamed the [NSW Address Policy and User Manual](#) is to be referred to. At 6.8.4 provided this relevant information:

6.8.4 Boundary Definition

a. Address locality boundaries should be easy to identify and readily interpreted by the community. Address locality boundaries shall be determined based on good planning principles and define areas with common community interests.

b. Address locality boundaries shall be of a reasonable size for practical purposes, such as including a shopping precinct or community school. Within urban areas an ideal size is around 500ha, with a preferred minimum area of 100ha.

And at 6.8.5 Boundary Determination

b. Address locality boundaries shall follow clear and easily distinguishable lines such as rivers, railways, major road centrelines.

Report on possible Geographical Names Board Application (Cont'd)

2. The possible case for a change

Council should be aware that the GNB has stated in their [NSW Address Policy and User Manual](#) at page 104 that:

Submissions seeking changes to address locality boundaries for reasons of perceived status or financial benefit will only be considered where it can be demonstrated that the change will improve addressing outcomes. Additionally, address locality name changes will have no bearing or impact on a Contract for sale and purchase of land in NSW.

Council would need to demonstrate the need for a change that might include:

- a. Address confusion – does it make sense for resident, visitors, workers and emergency service providers for this part of Homebush to be renamed as Strathfield. Has there been instances where the public have complained that being part of Homebush has impacted them?
- b. Connection – does the community in that area identify more with Strathfield than Homebush. What evidence can we supply to support this?
- c. Boundary lines – does it make more sense for the Boundary line to follow the lines proposed – do the proposed lines make the demarcation between suburbs easier for the public to understand?

It is recommended that the case for change in this instance is per point 2 c. above as this aligns with the reasoning initially presented by Councillors when initially discussing this matter.

3. The process of an application

It is recommended that Council conduct community consultation before submitting its proposal to the GNB. This will ensure that residents are aware of the proposal before the GNB advertises the proposal for public comment. It may also provide feedback to Council on issues that the public experiences in the area that would support a change of name and allow Council the confidence that there is support for the proposal.

To propose a change to a suburb boundary or name, Government authorities can follow the steps in the [Proposal system for place naming](#) and would be as follow for new Suburb boundaries or boundary amendments:

- Proposal submitted by Council to the Geographical Names Board (GNB).
- Proposal is considered and the GNB can resolve to approve, defer or reject a proposal.
- If the proposal is approved, the GNB will advertise the proposal for public comment. The minimum submission period is 1 month.

If no objections are received during the submission period:

- If endorsed, the GNB will prepare a report for the NSW Government.
- If the NSW Government approves the name, it becomes official.

If objections are received during the submission period:

- The comments are forwarded to Council for its consideration and comment.

Report on possible Geographical Names Board Application (Cont'd)

- If Council wish to proceed with the proposal, the proposal is reconsidered by the GNB at the next GNB meeting.
- If the GNB approves to proceed with the proposal, the GNB prepares a ministerial to the minister in support of the name.
- If the minister supports the name the name is assigned in the NSW government gazette.
- The boundary is then forwarded to the Spatial Services Digital Cadastral Database (DCDB) team for the boundary to be updated in the database. Once the database has been updated the GNB advises the relevant prescribed authorities.

Once Council provides feedback on the submissions the proposal is considered at the next available board meeting.

4. Budgetary implications and timelines

There is currently no budget allocated to this proposal, but the main expenditure would be staff time, stationary costs, signage costs and resources in preparing for and conducting community consultation at the commencement of the project and later if the suburb is renamed, some form of community engagement to socialise the change. An estimate cost of approx. \$25,000 will need to be allocated. This will cover the cost of consultation, administrative fees associated with the change and additional costs for any signage changes that are required.

Council would estimate up to 6 months and timelines would depend on how the application progresses but would include:

- 28 days of community consultation by Council prior to submission to the GNB
- Approval by Council of the application to be submitted
- Time for the GNB to review and approve or query
- If approved, 28 days for GNB to do consultation
- Time for ministerial approval and gazetting

FINANCIAL IMPLICATIONS

No budget currently allocated to this item. Apart from staff time to manage the process, an additional estimate of approx. \$25,000 is required to cover expenditure on: Stationary changes, signage replacements, community consultation and community engagement to socialise the change.

This amount will need to be considered as part of the 2025/2026 Draft Annual Budget.

ATTACHMENTS

There are no attachments for this report

CCS5 COUNCILLOR WORKSHOP 11 MARCH 2025
AUTHOR: Gina Nobrega, Governance and Corporate Support Officer
APPROVER: Kristy Watts, Director Corporate and Community

RECOMMENDATION

That the report be received and noted.

PURPOSE OF REPORT

The purpose of the report is to present a summary to Council of the items discussed at the Councillor Workshop held on Tuesday 11 March 2025 and follow up action required.

REPORT

Attendees

Councillors Baladi, Blackmore (arrived at 6:14pm), Cai, Kim, Nosworthy and Reddy.

Apologies

Councillor Pensabene.

Declarations of Pecuniary or Conflict of Interest (Nature of interest to be disclosed)

Nil.

The Councillor Workshop commenced at 4:36pm and closed at 8:25pm.

The following items were discussed at the Councillor Workshop held on 11 March 2025:

Item	Title	Attendance	Summary	Follow Up Action
GMU1	Strathfield Council's 140 Year Logo	Councillors Baladi, Cai, Kim, Nosworthy, and Reddy	Council officers provided three logo designs as Councillors with three commemorative logo options to be included in Council's digital and print platforms . Councillors requested some further logo options incorporating Strathfield's current logo or iconic images such as Strathfield Town Hall.	Council staff to present further options at a workshop on 13 March 2025
EO1	The Strathfield Recreation and Wellness Strategy	Councillors Baladi, Cai, Kim, Nosworthy, and Reddy	As the Strathfield Recreation and Wellness Strategy (SRWS) is currently at the end of the community consultation phase, officers provided	To be further consulted upon with Councillors

Councillor Workshop 11 March 2025 (Cont'd)

Item	Title	Attendance	Summary	Follow Up Action
			Councillors with presentation on results of community survey.	
CCS1	Service Performance Framework	Councillors Baladi, Cai, Kim, Nosworthy, and Reddy Councillor Nosworthy left the meeting, the time being 5:40pm	A presentation on the Service Performance Framework along with Council's current program of works associated with this framework was received and noted by Councillors.	No further action required
CCS3	Adequate Councillor Remuneration	Councillors Baladi, Cai, Kim and Reddy Councillor Nosworthy returned to the meeting, the time being 5:43pm	Councillors were updated on the provision of remuneration for the position of Deputy Mayor as decided at the Ordinary Council Meeting of 28 May 2024.	No further action required
CCS4	Strathfield Youth Leadership Forum	Councillors Baladi, Cai, Kim, Nosworthy, and Reddy	Officers provided Councillors with a draft outline and estimated costs to Council towards the Strathfield Youth Leadership Forum. The suggestion of setting up a Working Group, which Councillor Cai would participate in.	Report to a future workshop
CCS5	2025 National General Assembly Conference Motions	Councillors Baladi, Cai, Kim, Nosworthy, and Reddy	Councillors were advised motions to be presented to the 2025 National General Assembly of Local Government (NGA) in June 2025 need to be issued to Council by 14 March 2025 in order to be considered and voted on at the Ordinary Council Meeting of 25 March 2025.	Report to Council Meeting 25 March 2025
PE2	Hudson Park Driving Range Update	Councillors Baladi, Cai, Kim, Nosworthy, and Reddy	Officers provided a progress presentation to inform Councillors on current improvements and plans for the Hudson Park Driving Range.	Report to a future workshop

Item	Title	Attendance	Summary	Follow Up Action
		Councillor Blackmore joined the meeting, the time being 6:14pm		
CCS2	Report on Possible Geographical Names Board Application	<p>Councillors Baladi, Blackmore, Cai, Kim, Nosworthy, and Reddy</p> <p>The General Manager and Councillor Baladi left the meeting, the time being 6:23pm</p> <p>The General Manager and Councillor Baladi returned to the meeting, the time being 6:28pm</p>	In order for Council to progress with the application for the proposed renaming of Homebush (South of the Railway) to Strathfield, Councillors were provided with a report to consider one of three boundary maps, reasons for the proposed boundary change and costs involved.	Report to Council Meeting 25 March 2025
EO9	Flood Management in Strathfield	<p>Councillors Baladi, Blackmore, Cai, Kim, Nosworthy, and Reddy</p> <p>Councillor Cai left the meeting, the time being 7:01pm</p> <p>Councillor Cai returned to the meeting, the time being 7:04pm</p>	A detailed presentation was given to the Councillors by officers on the process of Strathfield Council's flood management .	No further action required
PE5	New Minimum Parking Requirements for Developments	Councillors Baladi, Blackmore, Cai, Kim, Nosworthy, and Reddy	The presentation on New Minimum Parking Requirements was received and noted.	Report to Council Meeting 25 March 2025

Councillor Workshop 11 March 2025 (Cont'd)

Item	Title	Attendance	Summary	Follow Up Action
		Councillors Baladi and Reddy left the meeting, the time being 7:19pm		
PE6	Homebush TOD Contributions Plan	Councillors Blackmore, Cai, Kim and Nosworthy Councillor Cai left the meeting, the time being 7:21pm	The presentation on the Homebush TOD Contributions Plan was received and noted. A report will be presented to Council for endorsement before proceeding to public exhibition.	Report to Council Meeting 25 March 2025
PE1	Villages and Centres Strategy - Project Updates & Councillor Feedback Gathering	Councillors Blackmore, Kim, and Nosworthy.	An update on the project for the Villages and Centres Strategy (Homebush, Homebush West and Strathfield South local centres) was given with feedback requested from Councillors.	Report to a future Meeting of Council
PE3	Strathfield Town Centre Masterplan – Project Update	Councillors Blackmore, Kim, and Nosworthy.	Councillors were given an update presentation on the current status of the project and summary of findings from the Government workshop held on the 18 February 2025., with a further presentation to be provided to Councillors.	Report to a Workshop and Council Meeting in April 2025
PE4	Review of the Strathfield Comprehensive DCP - Dual Occupancy Development	Councillors Blackmore, Kim, and Nosworthy.	A presentation on the Review of the Strathfield Comprehensive DCP was received and noted.	Report to Council Meeting 25 March 2025
EO2	Outdoor Dining Permit Audit	Councillors Blackmore, Kim, and Nosworthy.	A presentation on the results of the Outdoor Dining Permit Audit was received and noted.	No further action required
EO3	Hudson Park Cricket Wicket	Councillors Blackmore, Kim, and Nosworthy.	A presentation on the Hudson Park Cricket Wicket was received and noted, with Councillors supporting the current resolution.	No further action required
EO4	Hudson Park Licence	Councillors Blackmore, Kim,	A presentation on the Hudson Park Licence was received and noted, with	No further action required

Item	Title	Attendance	Summary	Follow Up Action
		and Nosworthy.	Councillors supporting the current resolution.	
EO5	Draft Busking Policy – Community Feedback	Councillors Blackmore, Kim, and Nosworthy.	A presentation on the Draft Busking Policy was delivered to Councillors with the recommendation it be endorsed at the next meeting of Council.	Report to Council Meeting 25 March 2025
EO6	Ismay Reserve Additional Gardens	Councillors Blackmore, Kim, and Nosworthy.	The Councillors noted the report and approved by exception.	No further action required
EO7	Parking Management Technology Update	Councillors Blackmore, Kim, and Nosworthy.	A presentation by officers was provided on the Parking Technology Update and Councillors were provided with examples of current communication being rolled out in March 2025 to residents and encouraged to advise constituents of the new parking management strategy in the LGA.	Report to a future workshop
EO8	Homebush Movement and Place Connectivity and Streetscape Upgrade Program	Councillors Blackmore, Kim, and Nosworthy.	This item was deferred to 13 March 2025, where Councillors Baladi, Blackmore, Cai, Reddy, Nosworthy, and Kim were present. Councillors were provided with an update on the proposed plans.	Report to Council Meeting 25 March 2025
EO10	Accessibility of Council Facilities	Councillors Blackmore, Kim, and Nosworthy.	The Councillors noted the report and approved by exception.	Report to Council Meeting 25 March 2025

Mayor's Update

- Mayor Baladi acknowledged and thanked the Deputy Mayor Cai for chairing the Ordinary Council Meeting of 25 February 2025 and expressed appreciation for the support provided by the General Manager and staff due to an urgent matter he needed to attend to.
- With Seniors Week underway, Mayor Baladi encouraged all to attend the variety of events and activities underway.
- The next Council Meeting will be held on Tuesday 25 March 2025.

General Manager's Update

- The General Manager apologised to Councillors for the having to cancel the official opening of the George Street bridge that morning due to rain and advised a revised date to be scheduled possibly after daylight

Item	Title	Attendance	Summary	Follow Up Action
			<p>saving has ended.</p> <ul style="list-style-type: none"> A site for the memorial for the Battle of Kapyong has been confirmed to be at Ismay Reserve. The ANZAC Day service, confirmed to be held in Ismay Reserve on 24 April 2025 is in progress. In partnership with the RSL and the Air Cadettes who will be performing at the Ismay Reserve and later during the day in Stratfield Square. The Acting Director Planning and Environment updated Councillors that Council will have paid police officers along with Council rangers patrolling No Smoking zones through the LGA, particularly Strathfield Square and Homebush West, on Thursdays and Fridays in April. The patrol is to deter smoking and inappropriate behaviour. A progress report would be provided to a Councillor workshop. Homebush Public school is currently seeking advice from the Education Department on holding market days to be held on Sunday mornings. If approved, Council has agreed to assist the school with stalls and organisation. The General Manager updated that the WSIG projects are currently 30% into the design phase as part of the major park upgrades, and Councillors were encouraged to attend an on-site tour 1 April 2025. Newly installed parking meters will be installed and the Resident Parking permit portal will be available from 17 March 2025 and residents need to register on Council's Permit Portal in order to have 2 hours free parking. Councillors were encouraged to communicate this important update their constituents. The General Manager provided the following diary updates: <ul style="list-style-type: none"> A Councillor Workshop on the 2025-2026 Delivery Program & Annual Budget will be held 13 March 2025. The next Citizenship Ceremony will be held on Tuesday 18 March 2025. A further Councillor Workshop on the Land and Property Strategy will be held 19 March 2025. The Dog Park opening at Hudson Park on 23 March 2025. Mayor Baladi asked Councillors to share within their network, ensuring maximum attendance of people with their dogs. 	

FINANCIAL IMPLICATIONS

There are no financial implications.

ATTACHMENTS

There are no attachments for this report

CCS6 CURRENT STATUS OF COUNCIL RESOLUTIONS
AUTHOR: David McQuade, Senior Governance Officer
APPROVER: Kristy Watts, Director Corporate and Community

RECOMMENDATION

That the report on the status of Council Resolutions be noted.

PURPOSE OF REPORT

To report on the current status of Council resolutions.

REPORT

Attached is a summary of the outstanding and acquitted Council resolutions.

FINANCIAL IMPLICATIONS

Funding will be reviewed in line with the approval budget as actions progress.

ATTACHMENTS

1. [📄](#) Outstanding Council Resolutions

Out standing Council Resolution Actions

Meeting Date	Resolution	Subject	Comments
25 February 2025	12/25	Strathfield Council 140 Year Anniversary Celebrations	In progress
25 February 2025	35/25	Sister City Visit to Gapyeong, South Korea	Plans for the visit progressing
25 February 2025	22/25	Alterations to Fees and Charges - Management of Animals	On exhibition until 27 March 2025. Report to Council Meeting April 2025
25 February 2025	38/25	2025 National General Assembly Conference Delegates and Motions	Councillors confirmed and motions to be determined at Council Meeting March 2025
25 February 2025	20/25	Building Compliance Fees & Charges Post Exhibition	New Fees and amendments to existing fees to be implemented in current Fees and Charges Schedule 24-25
25 February 2025	29/25	Corner Block and Dual Frontage Basement Controls	Report to Council Meeting March 2025
25 February 2025	32/25	Cessation timeframe of the Strathfield Connector Bus	In progress. Communications sent to staff
25 February 2025	30/25, 31/25	Cessation of non-essential future Council events	Future Councillor Workshop to be organised
25 February 2025	42/25	Automated External Defibrillators in Strathfield	Council officers met to establish contact for community event with Heart of the Nation. Cost and locations of outdoor AEDs being determined
25 February 2025	7/25, 8/25	Community Strategic Plan Review	In progress
25 February 2025	43/25	Land and Property Strategy - Confidential Report	Land and Property Strategy Councillor Workshop held on 19 March 2025
25 February 2025	34/25	Council Response to Safeguard Our Community	Currently identifying relevant existing program and partnerships and undertaking review of Safety Strategy
25 February 2025	41/25	Draft Plaques, Memorials and Statues Policy	Report to Council Meeting April 2025
25 February 2025	30/25, 31/25	Litter in the Local Area	Report to Council Meeting May 2025
25 February 2025	21/25	Draft Swimming Pool Barrier Inspection Program and Policy	Report to Council Meeting April 2025

Meeting Date	Resolution	Subject	Comments
25 February 2025	33/25	Establishment of the Strathfield Community and Business Excellence Awards	Currently identifying relevant existing programs and investigating opportunities for expansion, with an aim to present the report to the Council Meeting May 2025
25 February 2025	7/25, 8/25	Dwelling Mix	This item will be considered as part of the DCP Review currently underway. No further update to provide
25 February 2025	24/25, 25/25	Installation of Shade Sails at Tavistock Reserve	This Shade Sail is on Public Exhibition until 30 March 2025.
25 February 2025	5/25	Consideration of assessment of new gaming and licensed venues	Report to Council Meeting April 2025
25 February 2025	9/25	Pictorial History of Strathfield District book	In progress
25 February 2025	6/25	Marketplace Trading	Still in progress working with Auburn Police Area Command to understand what services/sites are available with aim to go to Council Meeting May 2025
10 December 2024	330/24	Review of Community Engagement Strategy	Report to Council Meeting March 2025
10 December 2024	332/24	Draft Busking Policy	Report to go to Council Meeting March 2025
10 December 2024	307/24	Powell's Creek Corridor Land – Plan of Management	Report to go to Council Meeting March 2025
10 December 2024	302/24	Review of No Smoking Signs in Strathfield LGA	Report to Council Meeting May 2025
10 December 2024	299/24	Mayoral Minute 12/24 – New Minimum Parking Requirements for Developments	Report to Council Meeting March 2025
10 December 2024	331/24	Draft Car Share Policy	Report to Council Meeting April 2025
10 December 2024	335/24	Strathfield Plaza	Progressing
10 December 2024	328/24	Accessibility of Council Facilities	Report to go to Council Meeting March 2025
10 December 2024	323/24	Lease Assignment	Progressing

Meeting Date	Resolution	Subject	Comments
26 November 2024	279/24	Draft Planning Proposal – Strathfield Local Environmental Plan 2012 – Housekeeping Amendments 2024	Gateway determination expected in March and future report to be presented to Council Meeting May 2025
26 November 2024	266/24	Mayoral Minute 10/24 – Strathfield Youth Leadership Forum	Progressing
26 November 2024	267/24	Mayoral Minute 11/24 – School Maths Day	Date being organised - possibly August 2025
26 November 2024	269/24	Establishment of a Cultural, Arts and Performance Centre in the Strathfield LGA	Progressing
22 October 2024	254/24	Report on Possible Geographical Names Board Application	Report to Council Meeting March 2025
23 July 2024	183/24	Homebush, Homebush West and Strathfield South Centres – Proposed Review of Centres	In progress
25 June 2024	152/24	Lighting Proposal for Fitzgerald Reserve	Contractors have been engaged and install will occur before 30 June
14 November 2023	287/23	Review of Part A – Dwelling Houses and Ancillary Structures Amendment of the Strathfield Consolidated Development Control Plan 2005	Report to Council Meeting March 2025
11 November 2022	237/22	Community Garden in Strathfield South	To be considered as part of the Recreation and Wellness Strategy
11 November 2022	239/22	Shade Covers Over Playgrounds	To be considered as part of the Recreation and Wellness Strategy

Acquitted Council Resolutions

Meeting Date	Resolution	Subject	Comments
25 February 2025	26/25	Feasibility Study of a Multi-Storey Parking Facility in Strathfield Town Centre	No further action required
25 February 2025	4/25	Outdoor Dining Permits	Outdoor Dining Permit Audit has been completed with a report being presented to the Council Meeting of March 2025.
25 February 2025	36/25	Conclusion of Mayoral Minute 07/24	Complete
25 February 2025	39/25	Draft Planning Proposal - Additional and Diverse Housing Planning Proposal – Implementation of Medium Density Housing Strategy	Complete
25 February 2025	11/25	Strathfield Council Events Committee	Event Working Groups will be organised for future events
10 December 2024	327/24	Transport on Parramatta Road, West Homebush	Letter written and sent acknowledging the petition from Mr Manav Bhatt and addressing items in the resolution
10 December 2024	305/24	Ismay Reserve Upgrade	Complete
10 December 2024	303/24	Increase Residents Participation in Community Surveys	Report presented to Councillor Workshop February 2025
10 December 2024	306/24	Gambling Reform – The Murphy Report	Letter to Federal Senators and Members of Parliament sent
10 December 2024	319/24	Finalisation of the Homebush Transport Oriented Development (TOD) Precinct Masterplan and Amendments to Planning Controls	Complete
10 December 2024	304/24	Feasibility Study of a Multi-Storey Parking Facility	Report presented to Council Meeting February 2025
10 December 2024	320/24	Installation of Gym Equipment in Ismay Reserve	Underway as part of Strathfield Recreation and Wellness Strategy
10 December 2024	330/24	Strathfield Medium Density Housing Strategy Planning Proposal - Dual Occupancy Review	Complete

26 November 2024	280/24	Proposed Review of Planning Proposal (PP-2024-2011) – Strathfield Medium Density Housing Strategy	Matter Closed. The Revised Planning Proposal was considered at the February 2025 Council meeting and was resolved to be lodge with NSW Government for Gateway Determination.
26 November 2024	265/24	Mayoral Minute 09/24 – Strathfield's 140 th Anniversary Preparations	Resolution superseded
26 November 2024	281/24	Proposed Amendments to Fees & Charges for Planning & Environment Directorate – Building, Compliance and Regulatory	Complete
26 November 2024	287/24	Bus Shelter – Pemberton Street at Arthur Road	To be actioned in 2025
26 November 2024	296/24	Draft Strathfield Parklet Policy	Report presented to Council Meeting February 2025
26 November 2024	288/24	Prioritise Crossings on Exeter Road	Report presented to Traffic Committee Meeting February 2025
26 November 2024	270/24	Shade Cloth Tavistock Reserve	Report presented to Council Meeting February 2025
22 October 2024	252/24	Plaques, Memorials and Statue Policy and Review	Superseded by resolution 41/25
22 October 2024	229/24	Strathfield Owned Automatic External Defibrillators	Report presented to Council Meeting February 2025
22 October 2024	226/24	Mayoral Minute 07/24 – Long Term Financial Planning	Report presented to Councillor Workshop and Council Meeting February 2025
22 October 2024	235/24	Strathfield Council Events Committee	Report presented to Councillor Workshop and Council Meeting February 2025
13 August 2024	209/24	Adequate Remuneration for Local Government Representatives	Letter sent and presented to Councillor Workshop March 2025
28 May 2024	109/24	Special Meeting for the Organisation of Council's ANZAC Day Celebration	Complete
23 July 2024	189/24	Report on the Feasibility of establishing a Dog Park near Long Street	Report presented to Councillor Workshop and Council Meeting February 2025
23 April 2024	101/24	Strathfield Council Land and Property Strategy (LAPS) Tender T12-2023	Complete

23 April 2024	82/24	Community Energy Upgrades Grant	Application unsuccessful for round 1. Options being considered for round 2
6 December 2022	257/22	Mayoral Minute 27/22 – Resilient Sydney Mayoral Summit on Affordable Housing	Affordable Housing Contribution Policy now included in Strathfield LEP - 3% affordable housing contribution for the Homebush TOD precinct
4 November 2022	245/22	DCP Environmental Changes	Part P Heritage updates have now been updated

PE1 RESPONSE TO MAYORAL MINUTE 12/24 - NEW MINIMUM PARKING REQUIREMENTS FOR DEVELOPMENTS

AUTHOR: Dylan Porter, Acting Director Planning and Environment

APPROVER: Michael Mamo, General Manager

RECOMMENDATION

That the contents of this report be noted.

PURPOSE OF REPORT

This report has been prepared in response to Mayor Minute dated 10 December 2024:

299/24

RESOLVED: (Baladi)

That Council provides a report on amending the Strathfield Consolidated Development Control Plan to require that all residential developments, including apartments, units, and townhouses provide a minimum of two off-street parking spaces per dwelling unit.

The Strathfield 2040 Local Strategic Planning Statement emphasises the importance of sustainable growth while maintaining the quality of life for residents. A significant concern among the community is the increasing pressure on on-street parking due to higher-density developments. Current policies, such as the Resident Parking Scheme, permit up to two free permits for single dwellings but restrict multi-dwelling units to a maximum of one permit per dwelling. This discrepancy often leads to insufficient parking for residents of multi-dwelling units which results in congestion and competition for limited on-street parking spaces.

The report provides a general overview and approach to car parking standards across NSW.

REPORT

A key reference document is the 'Guide to Transport Impact Assessment' prepared by Transport for New South Wales (TfNSW). This has been comprehensively updated from the prior 2002 version and has now been adopted from 4 November 2024 for the purposes of traffic impact assessment and development application assessment. A copy can be accessed [HERE](#).

Whilst the guide covers a range of issues, it offers specific guidance on car parking provision and design across in a range of scenarios and development types. It also offers guidance for a multiple of transport modes including bicycles, motorbikes, delivery vehicles etc.

As a general approach, the guide outlines the approach of varying car parking in response to locational factors. A key influence is the proximity to public transport and notes the suitability of adopting lower carparking standard close to well services public transport or centre as compared to urban fringe or regional locations.

The guideline also advocates for the use of parking management response to increase turnover, optimize availability and influence travel demand and behaviours. Strategies include time restricted or paid parking, 'unbundled' parking within development that can be rented as needed or car share parking arrangements.

Residential Parking Standards

The guide also recommends parking standards in relation to residential development, with a greater focus on Medium and High Density residential development. The accessibility categories respond to proximity to public transport, car mode share or proximity to a centre.

Much of Strathfield and the Homebush Transport Oriented Development (TOD), being close to a centre or existing train station would be considered category 1. With the balance falling into category 2 or below.

The recommend approach is outlined in the tables below:

Low Density residential development

Dwellings and dual Occupancy	2 car parking spaces recommended subject to local variations such as proximity to public transport.
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Medium Density Residential Development

Accessibility Category	Studio / 1 bed	2 br	3 br +	Visitor
1	0.5	0.8	1.2	1 space per 5 units
2	0.7	1.0	1.6	1 space per 5 units
3	1.0	1.7	2.0	1 space per 5 units

High Density Residential Development

Accessibility Category	Studio / 1 bed	2 br	3 br +	Visitor
1	0.4	0.7	1.2	1 space per 5 units
2	0.6	0.9	1.4	1 space per 5 units
3	1.0	1.3	1.5	1 space per 5 units

Strathfield Council Development Control Plan & Homebush Design Guide 2024

Location	Studio / 1 bed	2 br	3 br +	Visitor
Dwelling House	2 parking space			N/A
Dual Occupancy	At least 1 parking space, with 2 required for a home larger than 150sq.m			N/A
General -Multiple Dwelling Units	1	1.5	2	1 space per 5 units
Homebush TOD Tier 1 close to PT (Maximum provision)	0.3 – 0.5	0.9	1.2	1 space per 10 units
Homebush TOD Tier 2 greater than 800m from PT (Maximum provision)	0.6 – 0.9	1.2	1.5	1 space per 5 units

As it stands the existing rates within the Strathfield Development Control Plan (DCP) are higher than otherwise might be expected, particularly taking into account locational factors such as proximity to public transport or centre. The Homebush TOD Guide has parking standards much more closely aligned with prevailing guidance in relation to location responsive car parking standards.

Using this information as a guide, there would be limited justification to adopt a blanket 2 off street car space provision for medium and higher density forms of development, as a DCP standard. Other factors to take into account:

- The contestability of a higher parking rate as a matter being considered at appeal by the Planning and Environment Court
- Changes under the Housing SEPP have included non-discretionary standards, including car parking, which a local Council is unable to vary or seek a higher standards
- The negative impact upon development viability by requiring additional car parking particularly within a basement
- Loss of deep soil, landscape areas and communal open space being turned over to car parking either at ground level or within a basement
- Increase in house prices, particularly apartment prices, by requiring a higher car parking rate. Typical construction cost of a basement parking space ranging from \$55,000 to \$87,000 per car. (RLD Riders Digest 2025)
- Increased traffic congestion through induced demand created by increased availability of car parking
- For some time now transport studies have shown that the higher the housing density around public transport nodes the lesser the traffic generation rates

On this basis, a balanced approach is recommended which retains higher car parking rates within the established suburban locations of the Local Government Area (LGA) combined with a measured approach in highly accessible locations.

Alternative Actions

It is recognised that personal mobility is an important issue and many are reliant upon travel to places outside the LGA and sometimes, the only option is to travel by private vehicles. To supplement off street car parking provision within a residential development, alternative policy measures could include:

- On Street Car Share Schemes: This allows car share providers to use dedicated car parking spaces to allow residents to access a private vehicle on demand. Strathfield Council has placed on public exhibition an On Street Car Share Policy and will be bring back to Council for adoption soon
- Off Street Car Share Schemes: Some car share providers are rolling out larger car share fleets within residential or mixed use development. Typically, this offers access to multiple vehicles on a subscription basis for both residential and customers external to the building. Provisions are included in the Homebush TOD Design Guide to support this outcome and could be expanded to other locations in the LGA
- End of Trips Facilities: Providing end of trip facilities and secure cycle parking can make active transport a more viable proposition. Particular for trips to places of work. Existing standards within Council DCP documents need to be reviewed and updated

- Improved active transport links: By making communities more walkable and safer for alternative forms of transport, an increase in active transport can be released particularly for shorter trips less than 1.5km. There is active discussion regarding projects of this nature currently
- Enhanced access to public transport. There are currently gaps in service provision across the LGA, most notably Parramatta Road which makes public transport not viable advocacy to support the closure of those gaps would improve public transport patronage and reduce reliance upon private vehicles
- Sydney Metro: Whilst the operation of this service is some time away, it represents a global standard of public transport service providing increasing broad network coverage of Greater Sydney. For many trips it offers a faster and cheaper service as compared to travel by private vehicle. Whilst the immediate catchment of metro will be around North Strathfield and Burwood North, there will be benefit of these services realised by Strathfield residents and businesses

Many of the existing projects being considered by Council response to the alternative opportunities as outline to offer a balanced approach to off street car parking provision.

ATTACHMENTS

There are no attachments for this report.

PE2 DRAFT STRATHFIELD DEVELOPMENT CONTROL PLAN 2025 - DUAL OCCUPANCY DEVELOPMENT

AUTHOR: Joseph Gillies, Senior Planner

APPROVER: Dylan Porter, Manager Planning and Place

RECOMMENDATION

1. That the amended draft *Part B - Dual Occupancy Development* included in Attachment 1 be adopted by Council for the purposes of public exhibition.
2. That the amended draft *Part B - Dual Occupancy Development* be exhibited concurrently with the Additional and Diverse Housing Planning Proposal, once a Gateway Determination has been issued by the Department of the Planning, Housing & Infrastructure.
3. That the Acting Director – Planning and Environment be authorised to make minor modifications to any numerical, typographical, interpretation and formatting errors, if required, in preparation for the public exhibition of the amended draft *Part B - Dual Occupancy Development*.
4. That a further report be brought to Council following the exhibition of draft *Part B - Dual Occupancy Development* to consider any submissions and amendments and/or refinements made during the exhibition period.
5. That Council resolve to undertake a comprehensive review of the Strathfield Consolidated Development Control Plan 2005 and prepare a new comprehensive DCP for the Strathfield Local Government Area.

PURPOSE OF REPORT

To provide Council with an overview of the comprehensive review of the *Strathfield Consolidated Development Control Plan (DCP) 2005* and to seek Council's endorsement to exhibit the draft DCP for dual occupancy development.

REPORT

BACKGROUND

A Development Control Plan or DCP is a document prepared by Council which provides detailed guidelines for the design and assessment of proposed developments within a Local Government Area (LGA).

A DCP supports the Local Environmental Plan (LEP) and must be consistent with the provisions and objectives of the prevailing LEP. A DCP provides more detailed provisions to expand upon the development standards and controls within a LEP.

The *Strathfield Consolidated Development Control Plan (DCP) 2005* was adopted by Council in April 2006. At that time, Council had numerous DCPs, which were essentially incorporated into one document and rebranded as a Consolidated DCP.

Since 2006, minor housekeeping amendments have been made to the DCP, however a comprehensive review is required to ensure that the DCP provides best practice objectives and controls to deliver the quality design outcomes our community expects.

Coupled with the introduction of NSW Government reforms to deliver more housing and Council's endorsement of the draft Planning Proposal for Additional and Diverse Housing, which introduces new housing typologies, it is important that our DCP provides objectives and controls that will ensure the delivery of housing, while responding to the important elements that make up the character of the Strathfield LGA.

APPROACH AND STAGING

A comprehensive review of the DCP is being undertaken to:

- i. Respond to the introduction of new housing typologies across the LGA because of NSW Government Housing Reforms and Council's Planning Proposal for Additional and Diverse Housing, and
- ii. Align with, and not contradict Government policy, including SEPPs and guidelines, and
- iii. Comply with the *Environmental Planning & Assessment Act 1979* (Division 3.6) which requires that the DCP read as a single comprehensive document and states that a provision of a DCP that is inconsistent with the provisions of an Environmental Planning Instrument has no effect (Section 3.43), and
- iv. Ensure that the objectives and controls deliver a high-quality urban environment, while enhancing those elements that the community values highly, such as landscape character and tree canopy, and
- v. Streamline development assessment by providing updated and clear controls and removing unnecessary controls and repetition from the DCP

The comprehensive review of the Strathfield DCP is a complex project and will be undertaken in stages over the next 12 months. The general approach and methodology for the review of the DCP is based on four (4) key pillars:

Pillar	Outcome
Best practice and benchmarking	What are other Council's doing - What is best practice in terms of achieving quality design outcomes
Guided by what our community has told us	Community Strategic Plan & Local Strategic Planning Statement (LSPS) – Protect and improve the unique “green and leafy” characteristics of the LGA that have been consistently highlighted by our community as being highly valued
A balanced approach	Balancing good amenity outcomes for – landowners, neighbouring property owners and the broader community (landscaping, parking, solar access, privacy etc.)
Customer focused – easy to use	Easy to read and understand, web based, provides clarity and no “grey areas” (clear objectives and controls supported by diagrams) and is not inconsistent with legislation. Assists Council in the Land and Environment Court, if challenged

The aims of the review of the DCP are to:

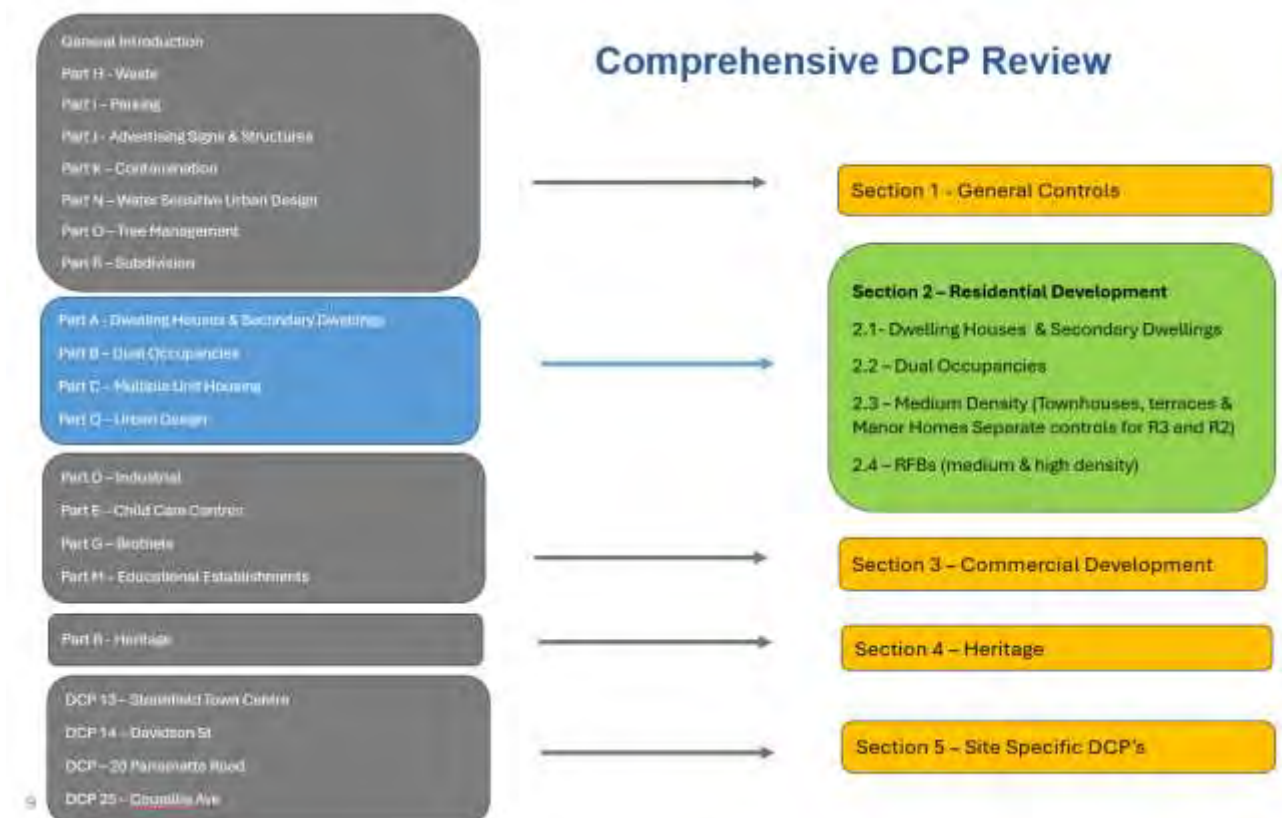
- a. Have a single comprehensive document that supports the Strathfield LEP 2012
- b. Provide objectives and development controls that establish clear guidelines for development
- c. Develop a high-quality urban environment and built form character in the Strathfield LGA
- d. Ensure development contributes to the prosperity of the Strathfield LGA, and
- e. Ensure development protects and enhances the landscape character and tree canopy across the LGA

The review of the DCP will commence with a review of the residential chapters, prioritising dual occupancy development and the medium density objectives and controls to support and align with the recently endorsed Planning Proposal for Additional and Diverse Housing, which has now been submitted to the Department of Planning, Housing and Infrastructure (DPHI) for a Gateway Determination. It is our intention to exhibit the planning proposal and DCP concurrently once Council receives a Gateway Determination.

These chapters have also been prioritised to ensure that there are objectives and controls in place to respond to the introduction of Stage 2 of the Low and Mid-Rise Housing Reforms, which were enacted on Friday 28 February 2025 for the areas around Homebush and Flemington Railway Stations and which allow dual occupancy, multi-dwelling housing and residential flat buildings on smaller sites within 800m walking distance of the affected stations.

Also being prioritised will be the objectives and controls for dwelling houses, and this review will address all outstanding Council resolutions, as well as ensuring that the objectives and controls respond to the desired character and deliver outcomes to meet the housing needs of our current and future residents.

The other sections of the existing DCP will also be reviewed and updated and a further report will be brought to Council with an overview of the next stage of the review, once the residential components have been completed (refer to Figure 1 below).



DUAL OCCUPANCY DEVELOPMENT

Strathfield is planning for strong housing growth, which must balance the need for housing and economic growth with the need to protect and enhance housing diversity while protecting the elements of the LGA that the community values (landscape quality, tree canopy, heritage).

Successful residential development champions quality design outcomes that are compatible with the surrounding context, creating a cohesive identity to the LGA's residential areas.

The primary objective of the draft dual occupancy development provisions is to provide for the housing needs of the community within a low-scale and landscape setting. New development should enhance this established character and respond by taking into consideration the important elements of a site and its context within the locality.

Previous Council Resolutions

Council, at its meeting on 26 November 2024 resolved, in part, the following (280/24):

That Council staff recommence the review of the Strathfield Development Control Plan as it relates to the Medium Density Housing Strategy to ensure controls will complement proposed changes to the Strathfield Local Environmental Plan 2012 and that these amendments be reported to a future Councillor Workshop and meeting for consideration, prior to public exhibition.

It is proposed that the review of the DCP, as it relates to the Additional and Diverse Housing Planning Proposal be undertaken as follows:

1. Dual occupancy development
2. Multi-dwelling development – townhouses, terraces
3. Residential flat buildings

This report provides an overview of the proposed objectives and controls for dual occupancy development.

With respect to the review of Part A – Dwelling Houses, it is anticipated that these amendments will be reported to the April 2025 Councillor Workshop and Council Meeting for consideration. This review will be undertaken in accordance with Resolution 287/23.

Other outstanding Council resolutions which have been addressed as part of the review of the dual occupancy development provisions and how we have responded to them are outlined in Table 1 below:

Table 1 – Council Resolutions

Resolution of Council	Response
<p><i>That Council provides a report on amending the Strathfield Consolidated Development Control Plan to require that all residential developments, including apartments, units, and townhouses provide a minimum of two off-street parking spaces per dwelling unit.</i></p> <p>(Resolution 263/24 – 10/12/24)</p>	<p>A separate report has been prepared in response to this Mayoral Minute.</p> <p>Parking requirements have been included for dual occupancy development in the draft DCP under Section 5: Control 5.1.1 <i>Each dwelling is to provide a minimum of one (1) and a maximum of two (2) off street parking spaces.</i></p> <p>The proposed controls consider the resolution.</p>
<p><i>That as part of the updates our planning team are currently undertaking that in relation to Corner Block Basement Controls consideration is given to the following:</i></p> <ol style="list-style-type: none"> 1. <i>Changes required to not allow a rear or side entry driveway for Basement Parking on Corner Blocks or Dual Frontage Blocks</i> <ul style="list-style-type: none"> • <i>In situations where it removes a significant section of the property's backyard</i> <p>(Resolution 29/25 – 28/2/25)</p>	<p>Section 14 Dual occupancy development on corner sites of the draft DCP includes the following controls:</p> <p>Control 14.2.1 <i>On corner sites, vehicle access, including access to a basement car park (where permitted) is to be from the primary road for both dwellings.</i></p> <p>Control 14.2.2 <i>Where site constraints (such as location of street trees and narrow allotments or splays) exist, one of the dwellings may be accessed via the secondary street but only if the access does not impact on the provision of private open space, landscaping, tree retention, privacy to neighbouring properties or other amenity control in this DCP.</i></p> <p>The proposed controls consider the resolution.</p>

Overview of Objectives and Controls – Dual Occupancy

A dual occupancy (sometimes referred to as a duplex) is a development containing two dwellings on one lot of land that are either attached or detached. Once built, dual occupancies can be subdivided so that each can be sold as separate properties.

A comprehensive review of Part B of Strathfield Consolidated DCP – Dual Occupancy Housing has been undertaken. It is proposed that this section of the DCP be repealed and replaced with the draft chapter, which has been prepared to respond to the draft Additional and Diverse Housing Planning Proposal, which is currently with the DPHI awaiting a Gateway Determination to exhibit and the recent introduction of the Low and Mid-Rise Housing Reforms.

The review of the existing controls and preparation of the proposed objectives and controls has been undertaken based on achieving the following outcomes:

- A building envelope consistent with a dwelling house envelope
- Consistent front, side and rear setbacks across the R2 Low Density Residential zone
- Articulated front and side facades – no large expanses of walls, articulated facades
- Adequate off-street parking
- Retention of existing street trees and landscaped front setbacks
- Generous rear setbacks that provide for some landscaping and provision of tree canopy
- Privacy to sensitive rooms of adjoining dwellings and for residents of proposed developments
- Solar access to open space and living areas for residents and neighbouring properties
- Passive surveillance via front balconies/ porches and low fences
- Interesting and articulated front facades

Figure 1 below provides an overview of the key controls to deliver the above outcomes.

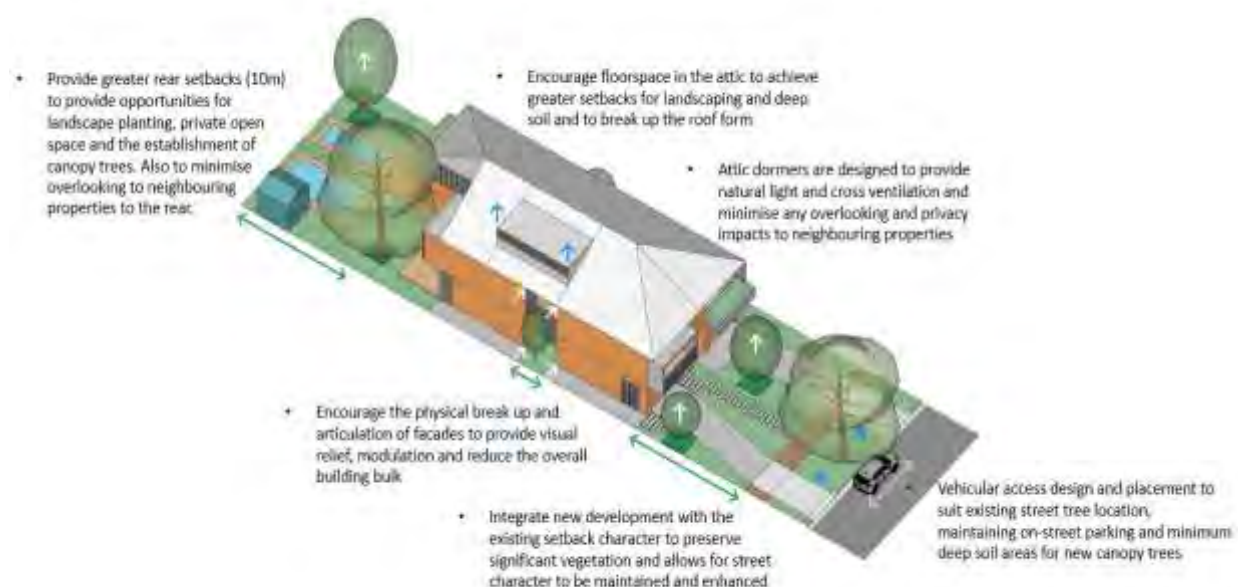


Figure 1: Key controls in achieving desired outcomes


The draft DCP includes objectives and controls for dual occupancy development. A copy of the draft is included at Attachment 1. It should be noted that prior to the exhibition, the draft DCP will be graphically designed and formatted to include diagrams and illustrations to reinforce the objectives and controls. A copy of the exhibition version of the draft DCP will be sent to Councillors prior to the commencement of the exhibition.

Table 2 below provides a summary of the proposed sections of the draft dual occupancy provisions. A detailed comparison between the existing DCP and proposed is included at Attachment 2.

Table 2: Summary of the draft DCP

Section	Intent of Objectives and Controls
1. Site analysis	<p>A site analysis involves a detailed consideration of the individual development site relative to its neighbouring properties, buildings directly across the street and adjacent public domain.</p> <p>Requires that a site analysis be prepared and is submitted as part of the development application (DA)</p>
2. Pattern of development	<p>Consideration is to be given to ensure the development retains the existing pattern of development within the streetscape, minimises adverse impact on heritage conservation areas and reduces the visual impact of development when viewed from public places, such as parks and community facilities.</p>
3. Building envelope – setbacks, height, building scale and building articulation	<p>Street setbacks establish the front building line. Controls over street setbacks create the proportions of the street. Setbacks contribute to the public domain by enhancing streetscape character and the continuity of street facades. Street setbacks can also be used to enhance the setting for the building. They provide for landscape areas, entries to the ground floor of buildings and deep soil zones suitable for planting of canopy trees. Numerical controls for front, side and rear setbacks to ensure that new development with the existing setback character of the locality.</p> <p>Building height requirements to control wall heights and developments with flat roofs. Note: The overall maximum height control is a development standard in Strathfield LEP 2012.</p> <p>Attic design controls – specific controls to allow development in the roof space, which will assist in achieving a building envelope consistent with the bulk and scale of adjoining development.</p> <p>Façade Articulation – Facades are the external face of buildings and make a very important contribution to the streetscape. The composition and detailing of the building façade has an impact on its apparent scale as well as its appearance. The pattern or rhythm established by the proportions of the façade, the modulation of the external walls, the design of façade elements, their materials and detailing are all important considerations.</p>

Section	Intent of Objectives and Controls
	Requirements for front, side and rear articulation to provide visual relief, modulation and reduce the overall building bulk. Specifically, the controls aim to require large expanses of side elevation walls to be physically articulated by an indent (minimum 1m x 1m) to provide visual relief.
4. Excavation (cut and fill)	<p>Requiring that developments be designed and sited to avoid unnecessary earthworks by responding to the natural slope of the land. The building footprint must be designed to minimise cut and fill by allowing the building mass to step in accordance with the slope of the land.</p> <p>Promoting split level designs rather than encouraging excessive excavation or filling of the land.</p>
5. Vehicular access, parking and circulation	<p>Accommodating vehicles can have a significant impact on the design of new development. The location and layout of the car parking will influence the layout and design of buildings and landscaping. Each dwelling within a dual occupancy development is to provide a minimum of one (1) and a maximum of two (2) off street parking spaces.</p> <p>Designing developments to minimise the visual impact of driveway crossovers, garages, and parking areas so they are not visually dominant on the development or in the streetscape and to prioritise retention of existing street trees and on-street parking.</p> <p>Designing and locating off-street parking so that it is visually integrated into the overall design and relates to the environmental and physical constraints of the site.</p> <p>Limiting excavation of sites for basement parking – due to the impact that basements have on the streetscape and landscaped areas and tree canopy in front setbacks it is proposed that basement car parking be prohibited for dual occupancy development unless the site has a frontage of greater than 18m.</p> <p>The impact of a basement for dual occupancy development is greater than that for a dwelling house in that it results in a significantly amount of the front setback being excavated – 6m wide x length to achieve driveway grades (refer to figure 1 below), reducing opportunities for front setback landscaping and creating unnecessary retaining walls (up to 2.2m).</p>

Section	Intent of Objectives and Controls
	 <p>Figure 2 – Indicative extent of excavation required for basement parking</p>

Section	Intent of Objectives and Controls
6. Private open space, landscaping, tree planting and fencing	<p>The intent of the objectives and controls aim to maintain and enhance the landscaped front characteristics of the locality and retain and provide for mature vegetation and the healthy growth of canopy trees, particularly large and medium sized trees in rear and front setbacks.</p> <p>It is proposed that a landscaped area local provision be introduced into the Strathfield LEP 2012. This development standard has been introduced as a direct response to the Strathfield community's request for the protection of existing landscaping and tree canopy to be provided in new residential developments.</p> <p>The proposed LEP landscaped area development standard will be supported by additional objectives and controls, including:</p> <ul style="list-style-type: none"> - deep soil area requirements - private open space - tree canopy requirements
7. Solar access	<p>Solar access forms an integral part of the design process. Buildings should be sited and designed to provide adequate daylight and sunlight access to living areas and private and communal open space areas.</p> <p>Good solar design improves amenity and energy efficiency.</p> <p>Achieving maximum daylight access requires consideration of the internal layout and orientation of the development as well as the surrounding development and natural features.</p>

Section	Intent of Objectives and Controls
	<p>The proposed DCP includes controls for:</p> <ul style="list-style-type: none"> - solar access to proposed development - solar access to neighbouring properties - shadow diagram requirements
8. Visual privacy and acoustic amenity	<p>Building design must take into consideration aspects of visual privacy and noise sources and minimise their future impact on occupants. Amenity is enhanced by privacy and a better acoustic environment. This can be achieved by carefully considering the location of the building on the site, the internal layout, the building materials used, and screening devices.</p> <p>The proposed DCP includes controls for:</p> <ul style="list-style-type: none"> - Visual privacy - Front fencing - Acoustic amenity
9. Internal amenity	<p>Controls to ensure that habitable rooms that are of a size that is functional and provides a high standard of amenity for occupants. This is particularly important for dual occupancy development proposed within the Low and Mid-Rise Housing Areas, where the minimum site frontage is 12m and the minimum lot size is 450m²</p>
10. Materials and colour schemes	<p>Architectural quality contributes to the character and quality of both the streetscape and built form when viewed from the street. High architectural quality requires appropriate composition of building elements, textures, materials and colours.</p> <p>The objectives and controls seek to ensure that the choice of external materials, colour schemes and building details reinforces and enhances the identifiable visual cohesiveness or special qualities evident in the street and locality.</p>
11. Site facilities	<p>Objectives and controls to ensure that adequate provision is made for site facilities to support the residential occupation of the development. Includes controls for:</p> <ul style="list-style-type: none"> - Storage and plant - Water, stormwater and sewerage - Waste - Letterboxes
12. Ancillary structures	<p>Ancillary structures do not result in amenity impacts on neighbouring sites.</p> <p>Includes controls for:</p> <ul style="list-style-type: none"> - Swimming pools - Outbuildings

Section	Intent of Objectives and Controls
13. Subdivision	<p>Subdivision of dual occupancy development is permitted with consent and must be in accordance with the proposed requirements under the Additional and Diverse Planning Proposal.</p> <p>Subdivision of the resulting lot must contain no more than one (1) dwelling, and each dwelling must have lawful access and frontage to a public road.</p> <p><i>Note: Council does not permit dual occupancy development on battle-axe blocks in the R2 Low Density Residential zone.</i></p>
14. Dual occupancy development on corner sites	<p>These objectives and controls are in addition to those controls outlined above and include controls for:</p> <ul style="list-style-type: none"> • Siting to comply with setbacks • Vehicular access – requires that this be achieved from the primary frontage for both dwellings • Articulation – ensuring that frontages to secondary streets are also articulated • Private open space – requires that private open space be located behind the front building line and appropriately screened to ensure privacy • Fencing – requirements for the secondary street boundary
15. (Attached) front and back dual occupancy development	These types of development are discouraged
16. (Detached) front and back dual occupancy development	<p>These objectives and controls are in addition to those controls outlined above and include controls for:</p> <ul style="list-style-type: none"> • Setbacks • Building heights – overall height of the rear dwelling is limited to 8.5m
17. (Detached) side by side dual occupancies	<p>These objectives and controls are in addition to those controls outlined above and include controls for:</p> <ul style="list-style-type: none"> • Separation between buildings

COMMUNITY ENGAGEMENT

Community engagement of the amended draft *Part B - Dual Occupancy Development* is proposed to be undertaken concurrently with the exhibition of the Planning Proposal for Additional and Diverse Housing and will be placed on exhibition for a minimum of 28 days as required under Council's Community Participation Plan.

It is intended to collaborate with Council's Communications Team to refine the proposed engagement activities, however at a minimum, the following actions are outlined in Table 2 below.

Community Engagement	Proposed Action
Online digital	<ul style="list-style-type: none"> • Council's website • Social media • Council's E-News
Customer service and strathfield library	Copies of all the exhibited material will be made available in Council's Customer Service Centre and Strathfield Library for the public to review
Letters	An addressed letter will be sent to all affected property owners
Fact sheets	<p>A series of Fact Sheets will be prepared that summarises the information.</p> <p>These will be included as part of the exhibition material.</p>
Telephone consultation	Council's Strategic Planning staff will be available during office hours to answer telephone enquiries.
After hours & weekend Drop-in Session/s	Council's Strategic Planning Staff will be available after hours at one (1) or more (to be decided) drop-in session to answer questions.

FINANCIAL IMPLICATIONS

There are no financial implications, other than cost associated with the exhibition of the draft DCP.

The concurrent exhibition of the Planning Proposal and associated draft DCP controls not only provides residents with a comprehensive package of the proposed changes to both the LEP and DCP, it also allows Council to do one mail out to affected property owners advising of the exhibition of the material.

ATTACHMENTS

1. [Attachment 1 - Draft Dual Occupancy Development DCP](#)
2. [Attachment 2 - Existing DCP Comparison Table](#)

Strathfield Development Control Plan 2025**Dual Occupancy Development**

Note: Prior to exhibition the draft DCP will be graphically designed and formatted to include diagrams and illustrations to reinforce controls. A copy of the draft exhibition version will be sent to Councillors prior to the commencement of the exhibition.

Introduction

This part applies to dual occupancy development.

This part of the DCP should be read in conjunction with:

- Part H – Waste Minimisation and Management
- Part K - Development on Contaminated Land
- Part N - Water Sensitive Urban Design (WSUD)
- Part O - Tree Management
- Part P – Heritage
- Part R - Subdivision

Where this part provides specific objectives and controls, the provisions of the abovementioned parts do not apply.

This part of the DCP overrides Part I – Provision of Off-Street Parking Facilities.

All development shall comply with Council's Stormwater Management Code and, when applicable, Council's Interim Flood Prone Lands Policy.

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1. Site Analysis

Site analysis for each individual lot is an important part of the design process. Development proposals need to illustrate design decisions which are based on careful analysis of the site conditions and their relationship to the surrounding context. By describing the physical elements of the locality and the conditions impacting on the site, opportunities and constraints for development can be understood and addressed in the design.

A site analysis involves a detailed consideration of the individual development site relative to its neighbouring properties, buildings directly across the street and adjacent public domain.

Objectives
O1.1 Development is compatible with the scale, siting, character and landscape setting of the surrounding streetscape and the desired future character of the area.
O1.2 Elements of the development that are visible from the street and public domain make a positive contribution to the streetscape and character of the area.
O1.3 Development is appropriately sited and designed to achieve high levels of amenity for future residents and minimise adverse amenity impacts on neighbouring properties.
Controls
C1.1 Site Analysis Plan A detailed Site Analysis Plan, in plan form, is to be submitted with the Development Application and must show the existing features of the site and its surrounding area, together with supporting written material. A Site Analysis Plan must show at least the following features: <ul style="list-style-type: none"> a) Subdivision pattern and pattern of building footprints within adjoining allotments, b) topography/site slope, c) overland flow and flood affectation, d) orientation of the site, e) existing vegetation and trees, including street trees, f) windows and openings on neighbouring buildings, g) easements, h) existing retaining walls and boundary fences, i) driveway locations and vehicular crossovers, j) existing power poles and public domain alignment, k) neighbouring dwellings and any public open spaces.

2. Pattern of Development

Objectives
O2.1 The appearance of buildings complements and enhances neighbourhood and streetscape character.
O2.2 Deliver high-quality development with a clear sense of address from the street and visual prominence of dwelling entries in the front façade
O2.3 Integrate new development into the surrounding context by minimising proposed bulk and scale through consistent articulation, materials, and setbacks.
Controls
<p>C2.1 Within the R2 Low Density Residential Zone the development is to be designed to maintain the existing pattern of development in the streetscape which requires that development be in an attached, “side by side” configuration to maintain the pattern of the streetscape and its landscaped setting.</p> <p>C2.2 Alternate dual occupancy configurations, such as detached front and back designs should be limited to allotments with site constraints that demand a unique development response, such as corner sites or sites with dual frontage/rear lane access.</p>

3. Building Envelope – Setbacks, Height, Building Scale and Building Articulation

The building envelope resulting from specific setbacks and height controls constitute a three-dimensional volume within which, together with all other applicable controls, a coherent built form may be designed.

Objectives
O3.1 Integrate new development with the existing setback character of the locality by ensuring front and side setbacks are consistent with adjoining buildings.
O3.2 Development achieves a building envelope consistent with the bulk and scale of adjoining development.
O3.3 Development is sited to provide future occupants with adequate privacy, natural light and access to private open space and to ensure that a reasonable level of privacy, natural light and amenity for neighbours is achieved.
O3.4 Encourage the breakup and articulation of building facades to provide visual relief, modulation and reduce the overall building bulk.
O3.5 Preserve significant vegetation, which contributes to the public domain, and allows for the street character to be maintained and enhanced.
O3.6 Provide opportunities for landscape planting, private open space and establishment of tree canopy in rear setbacks
Controls
C3.1 Front setback C3.1.1 The minimum front building setback from the primary street boundary is 9m. C3.1.2 Where the prevailing front building setback in the street is less than 9m, the average setback of the dwellings on the adjoining lots may be applied. <i>Note: The “prevailing front building setback” is the setback calculated by averaging the setback of the two (2) adjoining residential properties on either side of the development.</i> C3.1.3 Council will generally not support a front building setback that is greater than the 9m front building setback, unless site constraints require this. Justification is required to be provided and outlined in the Design Response. C3.1.4 A minimum of 50% of the front building setback is to be a deep soil area. (Refer to XX for calculation of deep soil area). Within the deep soil area of the front building setback, permeable paving can only contribute to a maximum 10% of the 50% deep soil requirement in the front building setback.

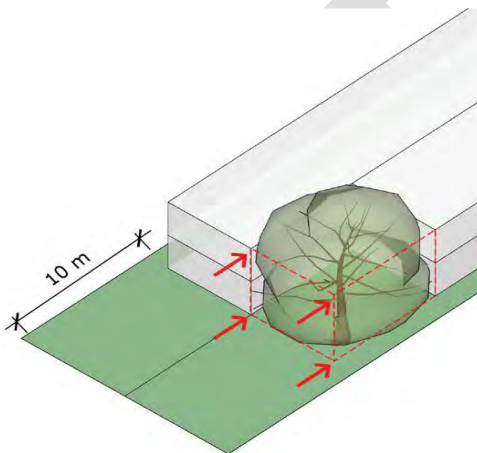
C3.2 Side setbacks

C3.2.1 The minimum side building setback is 1500mm from the building façade.

C3.2.2 For development on sites within the low and mid-rise housing area, with a minimum frontage of up to 14.99m, the minimum side building setback is 1200mm from the building façade.

C3.3 Rear setbacks

C3.3.1 The minimum rear building setback is 10m or 30% of the average length of the site, whichever is lesser.



[Example of the types of diagrams proposed to be included in the draft DCP – exhibited version]

C3.4 Building Height

C3.4.1 The maximum permitted number of storeys at any point for development in the R2 Low Density Residential zone is two (2). Attics will be permitted only within developments with a pitched roof form (Refer to C4.5 – Attic Design)

C3.4.2 Pitched roof forms are strongly encouraged. Dual occupancy developments that feature a pitched roof are to have a maximum wall height of 6.8m.

C3.4.3 For developments that propose a flat roof and/or parapet - the maximum wall height is 7.2m, and the maximum overall height is 7.8m (no plant is to extend above the 7.8m maximum overall height and must be concealed by the parapet).

C3.4.4 Where development is proposed on a sloping site, the building is to step to respond to the topography of the site and to ensure the wall height is achieved. This will minimise overshadowing impacts on adjoining properties.

C3.4.5 The ground floor level (finished) of any building must not exceed 500mm above or below natural ground level.

C3.5 Attic Design

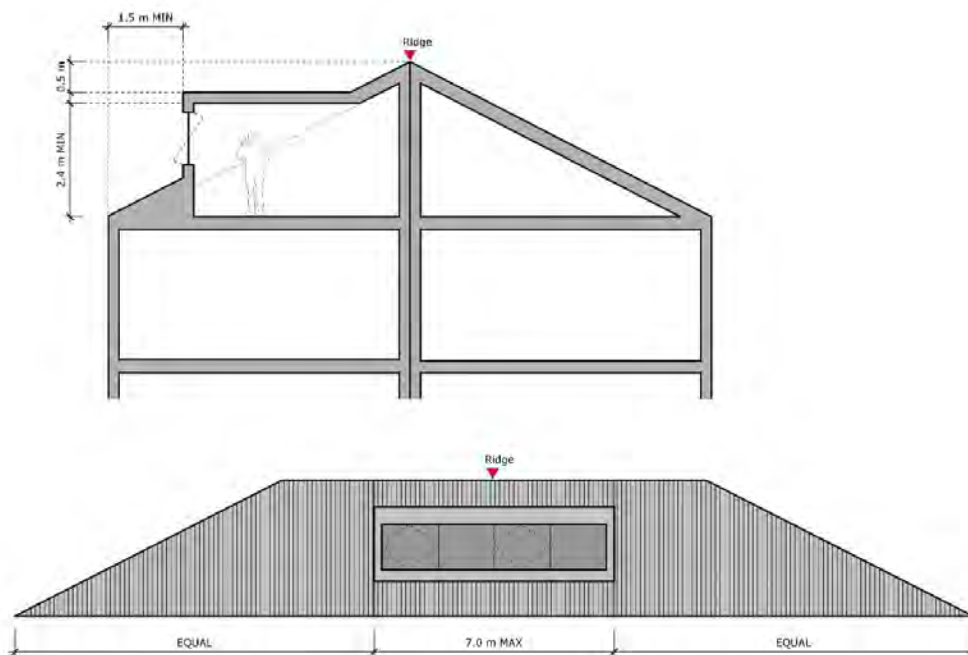
C3.5.1 Attics will be permitted within a development with a pitched roof and must be designed to:

- a) Be integrated into a pitched roof with an angle of between 20°- 30°, and
- b) Provide natural light and cross ventilation, and
- c) The extent of Gross Floor Area (GFA) in the attic is to be shown clearly in plan and section drawings.

C3.5.2 Dormers in attics along the side and rear elevations must be:

- a) no longer than 7m, and
- b) be setback a minimum 1500mm from the wall line below, and
- c) must be positioned equidistant within the roofscape, and
- d) 500mm below the ridgeline

C3.5.3 Dormers in attics along the front elevation will generally not be supported as it impacts on the overall scale of the development, when viewed from the street.



Attic design

[Example of the types of diagrams proposed to be included in the draft DCP – exhibited version]

C3.5.4 Windows in dormers on side and rear elevations are to be designed to minimise any overlooking and privacy impacts to neighbouring properties

C3.6 Façade Articulation – Front Elevation

C3.6.1 The front façade of the developments must respond to the public domain and be modulated and articulated. The front façade must incorporate:

- a) A front door or access point at the ground floor that can be seen from the public domain,
- b) For two storey developments, top floor balconies that are integrated within the façade,
- c) Changes in the building line,
- d) Pavilions or similar features to separate and delineate the two dwellings within the dual occupancy development,
- e) Windows that achieve passive surveillance to the street. Where the front façade has a western or southern orientation, the design should feature integrated shading devices rather than opaque glazing,
- f) Horizontal elements that link the building and clearly distinguish the ground and first floors, and
- g) Vertical elements that separate the dwellings within the development.

C3.6.2 The following will not be supported:

- a) Highlight windows and obscured glazing within the front façade, and
- b) Two storey porticos.

C3.7 Façade Articulation – Side Elevation

C3.7.1 The maximum length of unbroken wall along the side elevation is 10m. Where a wall length is greater than 10m, the wall is to be articulated by a recess of at least 1m x 1m to provide modulation and articulation.

C3.8. Façade Articulation – Rear Elevation

C3.8.1 The design of the rear elevation should be modulated and articulated and designed to mitigate overlooking into adjoining properties.

C3.9 Voids

C3.9.1 Voids within developments should be designed to have amenity benefits such as being located to increase access to natural light.

C3.9.2 To reduce the overall bulk and scale of a development, stairs and lifts should be located around a single core.

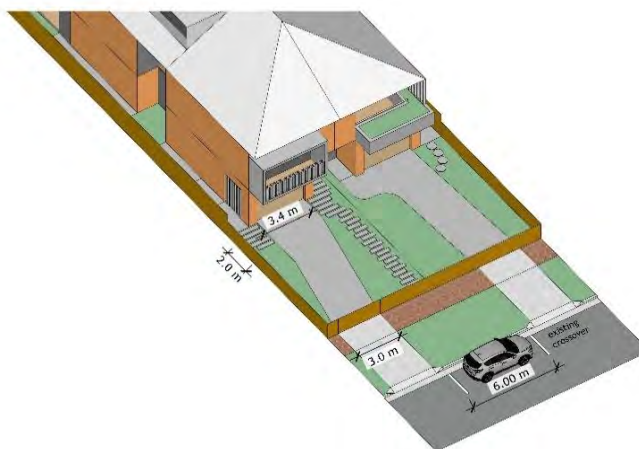
C3.9.3 Excessive voids that add to the bulk and scale of the development will not be supported.

4. Excavation (Cut and Fill)

Objectives
O4.1 Where possible, retain natural ground levels and existing landform
O4.2 Ensure that excavation and fill does not result in an unreasonable loss of privacy for neighbouring properties
O4.3 Design development and associated landscaped areas to follow the natural topography of the site.
O4.4 Minimise the impact on overland flow drainage patterns by minimising earthworks across a site.
Controls
<p>C4.1 Excavation and fill</p> <p>C4.1.1 Any excavation must not extend beyond the building footprint, including any basement and basement parking.</p> <p>C4.1.2 Natural ground level should be maintained within the side setbacks.</p> <p>C4.1.3 Developments are to avoid unnecessary earthworks by designing and siting to respond to the natural slope of the land. The building footprint must be designed to minimise cut and fill by allowing the building mass to step in accordance with the slope of the land.</p> <p>C4.1.4 The depth of cut and fill must not exceed 500mm from existing ground level, except where the excavation is for a basement or basement parking. Council may consider additional fill, up to a maximum of 1000mm where:</p> <ul style="list-style-type: none"> a) it can be demonstrated that site conditions require the additional fill to mitigate an impact such as flooding, and b) the additional fill does not result in impacts to adjoining properties (for example, overlooking) <p>C4.1.5 Cut and fill within a tree protection zone (TPZ) of a tree on the development site or adjoining land, must be undertaken in accordance with the relevant Australian Standard.</p> <p>C4.1.6 Earthworks are not to increase or concentrate overland stormwater flow or aggravating existing flood conditions, on adjacent land</p> <p>C4.2 Retaining Walls</p> <p>C4.2.1 Retaining walls in the front building setback are to be designed to be integrated into the landscape design and should not result in exposed walls.</p>

5. Vehicular Access, Parking and Circulation

Objectives
O5.1 Minimise the visual impact of driveway crossovers, garages and parking areas so they are not visually dominant on the development or in the streetscape.
O5.2 Design and position vehicular access to retain existing street trees and on-street parking.
O5.3 Design car parking, circulation and access to be safe and minimise the potential for pedestrian and vehicle conflict, and allow ease of access, egress and on-site manoeuvring.
O5.4 Design and locate off -street parking so that it is visually integrated into the overall design and relates to the environmental and physical constraints of the site.
O5.5 Limit excavation of sites for basement parking.
Controls
C5.1 Parking Requirements
C5.1.1 Each dwelling is to provide a minimum of one (1) and a maximum of two (2) off street parking spaces.
[Note C5.1.1 addresses Council's Resolution 263/24 – Council Meeting 10 December 2024]
C5.1.2 Developments are to have only one (1) single width garage per dwelling. Where garaging is provided for two (2) cars, this must be in a tandem parking configuration.
C5.1.3 All garaging, including any carport must be located at, or behind the front building setback.
C5.1.4 Garages should be accessed directly from a rear lane where this is available.
C5.1.5 The garage door or opening for each dwelling can be no larger than 3.4m.



Example of the types of diagrams proposed to be included in the draft DCP – exhibited version]

C5.1.6 Consideration should be given to design garages and parking areas so that electric vehicle and bicycle charging points can be installed now or at a later date. This will include the provision of 3 phase power to car parking areas.

C5.2 Driveway design

C5.2.1 Driveway crossings are to be positioned so that a minimum of one on-street parking space is retained between each adjacent driveway crossing.

C5.2.2 The design and positioning of driveway crossings is to avoid the removal of, or damage to, existing street trees.

C5.2.3 Single driveway crossovers and access easements will be required where existing street trees do not allow for two driveway crossovers and separated access.

C5.2.4 The maximum driveway width at the boundary and within the front building setback is 3m.

C5.2.5 Internal driveway grades are to be in accordance with Australian Standard 2890.1 (latest edition).

C5.3 Basement Parking

C5.2.1 Basement parking will not be supported on sites where the minimum frontage is less than 18m.

C5.2.2 Where a site has a frontage greater than 18m, basement parking will only be supported where the site is not flood affected.

C5.2.3 Where basement parking is proposed:

- a) Driveway access to basement car parking must be designed to minimise adverse visual impacts on the streetscape and should be complimented by the landscape design for the site.
- b) It must not create adverse streetscape impacts due to excessive retaining walls, or entrances that create the appearance of a third storey in areas where development is limited to only two storeys.
- c) Parking should, where possible, be located wholly underground. Where basement parking extends above ground level (existing), it is to be designed to be integrated with architectural and landscape design of the development.
- d) Basement parking must comply with the setback requirements so as not to interfere with the provision of deep soil planting zones at ground level.
- e) Access to the basement parking is to be provided via a single crossover and basement ramp no wider than 6m. The ramp may provide access to separate garage doors; however, the driveway width must be as narrow as practicably possible to allow the front setback to retain landscaping and allow for the planting of canopy trees
- f) Any storage and plant rooms within a basement is limited to a cumulative 20m² per dwelling to reduce the amount of excavation required. Additional basement area to that required to satisfy these requirements may be included as floor space area when calculating floor space ratio.
- g) And it is within a flood planning area, it must not result in the basement being 1000mm above ground level and must be supported by a flood impact assessment.

Note: Council may require forward egress from a basement where local conditions such as average vehicle speed, sight lines and traffic volume cause a safety concern.

6. Private Open Space, Landscaping, Tree Planting and Fencing

Objectives
O6.1 Maintain and enhance the landscaped front characteristics of the locality.
O6.2 Retain and provide for mature vegetation and the healthy growth of canopy trees, particularly large and medium sized trees in rear setbacks
O6.3 All dwellings have access to usable private open space.
O6.4 Preserve and enhance native wildlife populations and habitat through appropriate planting of indigenous vegetation.
O6.5 Planting and landscaping softens the visual impact of buildings.
Controls
C6.1 Landscaped Area C6.1.1 Landscaped area for the development (has the same meaning as the Strathfield LEP 2012) is to be provided in accordance with Clause XX of Strathfield LEP 2012. C6.1.2 Landscaping on site should be incorporated into the site planning of a development to (where appropriate): <ul style="list-style-type: none"> i. Reinforce the desired future character of the locality; ii. Maintain significant landscape features; iii. Be consistent with any dominant species in the adjoining area; iv. Soften the visual impact of buildings and car parking; v. Screen undesirable elements; vi. Provide opportunities for on-site stormwater infiltration vii. Improve the aesthetic quality of the development C6.1.3 A Landscape Plan prepared by a suitably qualified landscape architect is to be submitted with all Development Applications C6.1.4 Above ground landscaping on slabs and roofs, with a minimum depth of 500mm may contribute to achieving the landscape area provision. C6.1.5 Where landscaping is provided in a structured environment such as a raised planter box or 'on slab' they should include waterproofing, drainage and automatic irrigation.
C6.2 Deep Soil Area C6.2.1 All sites are required to have a deep soil area. <i>Deep soil area is defined as any permeable surfaces located at ground level and</i>

provides areas for the growing of plants (including grasses, shrubs and trees) and areas with loose gravels or pebbles upon soil that water can easily penetrate. Deep soil area does not include any planted areas above basements, podiums, roofs, slabs or areas located underneath covered structures.

The deep soil area requirement for the development is calculated as follows:

Landscaped area (m²)[refer to Clause XX of Strathfield LEP 2012] – 20m² =
Deep Soil Area.

C6.2.2 Any area included in the calculation of deep soil area must have a minimum dimension of 2m x 2m. The deep soil areas, including dimensions, are to be indicated on the Landscaping Plan submitted with the Development Application.

C6.2.3 Where pebbles or gravel are proposed instead of turf or soil garden beds, these spaces should feature soft landscaping embellishments or canopy trees.

C6.2.4 Stepping stones included along a logical path of travel can be included in the deep soil area. Stepping stones must not cover more than 50% of the path.

C6.2.5 Permeable paving for driveways will be considered on a merit basis as a measure for achieving front setback landscape requirements.

C6.3 Private Open Space

C6.3.1 An area of private open space is to be provided for each dwelling which:

- a) Is located at ground level,
- b) Has a minimum dimension of 4m x 5m, which does not include any pool,
- c) Is directly accessible from a main living area
- d) May include a covered patio area.

C6.3.2 The private open space is to be located at the rear of the property and/or behind the building line established by the front setback.

C6.3.3 Private open space is to be located to maximise solar access.

C6.3.4 Private open space is to be designed to minimise adverse impacts upon the privacy of the occupants of adjacent sites and within the proposed development

C6.3.5 Private open space must allow for landscaping and tree planting requirements to be met.

C6.4 Tree Canopy

C6.4.1 All development must incorporate tree planting to improve the tree canopy of the Strathfield LGA.

C6.4.2 Tree planting is required as follows:

- a) For sites with an area 450-600m² - for every 200m² of site area or part thereof, a minimum of one (1) tree capable of achieving a minimum mature height of 6-8m with a spreading canopy
- b) For sites with an area >600m² - for every 250m² of site area or part thereof, a minimum of one (1) tree capable of achieving a minimum mature height of 6-8m with a spreading canopy.

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7. Solar Access

Objectives
O7.1 Design, site and articulate development to maximise solar access and sunlight penetration for the proposed dwellings.
O7.2 Minimise the loss of sunlight to adjacent buildings and minimise adverse amenity impacts on adjoining development
O7.3 Ensure an appropriate amount of solar access to main living areas and areas of principal private open space within the site and adjoining sites.
Controls
<p>C7.1 Siting and design</p> <p>C7.1.1 The Site Analysis must demonstrate:</p> <ul style="list-style-type: none"> a) How the built form has been developed to maximise solar access into living spaces and private open space areas. Developments should utilise the northern orientation to open up spaces for living and open space. b) How it has been designed to maximise solar access to the adjoining sites. Developments should incorporate building mass and increased setbacks to allow for the solar access requirements below to be achieved. <p>C7.1.2 Large voids will only be supported where the design response demonstrates they are necessary for achieving the minimum solar access requirements and/or sunlight penetration.</p>
<p>C7.2 Solar access to proposed development</p> <p>C7.2.1 North-facing living area windows of the proposed development must receive a minimum of 3 hours of direct sunlight between 8am and 4pm on 21 June (winter solstice).</p> <p>C7.2.2 50% of the private open space of proposed development must receive a minimum of 3 hours of direct sunlight between 8am and 4pm on 21 June (winter solstice). The area covered by sunlight must be capable of supporting passive recreation activities.</p> <p>C7.2.3 Developments on sites where the rear yard does not have a northern orientation should be designed to maximise solar access to the rear.</p> <p>C7.2.4 For east or west oriented sites, windows to the main living space must receive at least 1m² of direct sunlight between 8am and 4pm on 21 June (winter solstice).</p> <p>C7.2.5 Variations will be considered for developments on land already subject to significant shadows from a neighbouring building or fences and sites with an east-west orientation. Developments should consider this as a site constraint and explore alternatives such as upper-level open space and living room spaces to achieve suitable solar access.</p>

C7.3 Solar access to neighbouring properties

C7.3.1 A minimum of 1m² of the north facing living area windows of neighbouring dwellings must receive a minimum of 3 hours of direct sunlight between 9am and 3pm on 21 June (winter solstice).

C7.3.2 A minimum of 50% of the private open space of neighbouring dwellings must receive a minimum of 3 hours of direct sunlight between 9am and 3pm on 21 June (winter solstice). Consideration will be given to a reduction to this requirement where the neighbouring dwelling does not achieve 50% prior to development, in which case the solar access must not be reduced any further.

C7.3.3 Existing solar panels on neighbouring dwellings, which are situated not less than 6m above ground level (existing), must retain a minimum of 3 hours of direct sunlight between 9am and 3pm on 21 June (winter solstice).

C7.3.4 Where the neighbouring dwellings do not contain any solar panels, direct sunlight must be retained to the north, east and/or west roof planes of neighbouring dwellings, which are at least 6m above ground level (existing), so that future solar panels are able to capture 3 or more hours of sunlight between 9am and 3pm on 21 June.

C7.3.5 Any variation from the above requirements will be subject to a merit assessment having regard to the following factors:

- a) Degree of meeting the FSR, height, setback and site coverage controls
- b) Orientation of the subject and adjoining allotments and subdivision pattern of the urban block
- c) Topography of the subject and adjoining allotments
- d) Location and level of the windows in question
- e) Shadows cast by existing buildings on the neighbouring allotments.

C7.4 Shadow diagram requirements

C7.4.1 Shadow diagrams are to be submitted demonstrating the shadow impacts for the winter solstice (21 June) between 9am and 3pm.

C7.4.2 Shadow diagrams should address the site constraints or non-compliant impacts where the above variations apply.

C7.4.3 Shadow diagrams are required to show the impact of the proposal on solar access available to the living rooms and main open space of neighbouring properties. Existing overshadowing by fences, roof overhangs and changes in level should also be reflected in the diagrams. It may also be necessary to provide elevational or view from the sun diagrams to demonstrate appropriate solar access provision to adjoining development.

8. Visual Privacy and Acoustic Amenity

Objectives
O8.1 Development minimises direct overlooking or cross-viewing into neighbouring dwellings.
O8.2 Design upper-level balconies to provide privacy to both the residents of the development and minimise overlooking into neighbouring properties.
O8.3 Design and site development to minimise the intrusion of noise from external sources into habitable rooms, in particular bedrooms.
O8.4 Design and site development to minimise noise transmission between dwellings within the development and from the development to adjoining dwellings.
O8.5 Design front fences to be consistent with those in the streetscape and facilitate passive surveillance.
Controls
<p>C8.1 Visual Privacy</p> <p>C8.1.1 Windows and balconies of main living areas should be directed towards the front and rear of the site.</p> <p>C8.1.2 Windows and balconies of habitable rooms are not to directly overlook windows, balconies and the open space of adjacent dwellings. To ensure appropriate privacy, consideration should be given to including:</p> <ul style="list-style-type: none"> - Physical screening devices - Splaying or staggering the location of windows - Use of increased window-sill heights or the use of glazing such as frosted glass (for bathrooms and walk-in robes) - Increasing building setbacks from the side boundary - Minimising elevated decks or balconies, particularly along rear elevation, that are not suitably treated to minimise overlooking <p>C8.1.3 Upper-level balconies located at the rear of the dwellings will generally not be supported unless it can be shown that they will not have adverse privacy impacts on neighbouring development and rear yards. Where upper-level balconies are proposed, they must be designed to minimise overlooking into adjoining dwellings and must not project more than 1500mm. Privacy measures must be integrated into the design of the development. Suitable design responses include:</p> <ol style="list-style-type: none"> a) Fin walls and privacy screens that form an integrated part of the dwelling design, b) Sunken levels combined with planters along the rear, and c) Planters along the rear. <p>C8.1.4 Balconies and terraces within the side setback are not permitted. This includes partly concealed courtyards at upper levels. Council will only consider balconies and terraces</p>

within the side setback where the side setback significantly exceeds the minimum requirements, and where the balcony or terrace will not impact on the privacy of neighbouring dwellings.

C8.1.5 All balconies must be accessed internally. Council will not permit external stairs to access any upper-level balcony.

C8.1.6 Rooftop terraces are not permitted.

C8.1.7 Alfresco and outdoor living areas should be as close to existing ground level as possible. Where the site is elevated to the rear, these areas should not be elevated more than 750mm above ground level (existing) and suitable privacy measures must be incorporated to ensure that there are no adverse privacy impacts to adjoining properties.

C8.2 Front Fencing

C8.2.1 Where a front fence is proposed, the fence is to be no higher than 1200mm, unless the dominant character within the streetscape provides for higher front fences. Front fences proposed at greater than 1200mm are to be supported by justification, including consistency with the streetscape and potential impacts on sight lines.

C8.2.2 Front fencing is to be located along the boundary line or setback no more than 1000mm from the boundary line, with soft landscaping in between the fence and boundary. Details of the proposed landscaping within the setback are to be indicated on the Landscape Plans.

C8.2.3 Where a site is sloping along the front boundary, the front fence is to be designed to take into account the slope of the site.

C8.3 Acoustic Amenity

C8.3.1 Development is to be sited, designed and constructed to mirror the location of uses within each dwelling. Noisier spaces such as living rooms and alfresco areas should be located adjoining each other.

C8.3.2 Noise generators such as air conditioning units, pool pumps and other plant or equipment are to be located away from windows or other openings in habitable rooms. These are also to be screened or otherwise acoustically treated so plant and/or equipment do not emit a sound level that exceeds 5dB(A) above the ambient L90 background noise level at any property boundary. These are also to be screened or otherwise acoustically treated.

C8.3.3 Acoustic assessments for noise sensitive developments as defined in State Environmental Planning Policy (Transport and Infrastructure) 2021 may be required if the development is located in the vicinity of a rail corridor or busy roads.

9. Internal Amenity

Objectives
O9.1 Provide habitable rooms that are of a size that is functional and provides a high standard of amenity for occupants
Controls
C9.1.1 Master bedrooms are to have a minimum area of 10m ² , and all other bedrooms are to be a minimum of 9m ² (excluding wardrobe space).
C9.1.2 Living rooms or combined living-dining spaces are to have a minimum internal width of 5 metres.

10. Materials and Colour Schemes

Objectives
O10.1 The choice of external materials, colour schemes and building details reinforces and enhances the identifiable visual cohesiveness or special qualities evident in the street and locality.
Controls
C10.1.1 The colour and finish of external materials should be sympathetic to the streetscape and contribute to the overall appearance of the building.
C10.1.2 New development must incorporate colour schemes that have a hue and tonal relationship with the predominant colours of the streetscape and locality.
C10.1.3 Materials and finishes should have low reflectivity. Extensive use of highly reflective materials will not be permitted for roof or wall cladding. Large expansive surfaces of predominantly white or light render or primary colours that would dominate the streetscape will not be supported.
C10.1.4 Materials should be durable and require minimal façade maintenance.
C10.1.5 Downpipes, air-conditioning units and other plant are to be hidden from view on the front façade or integrated into the design.

11. Site Facilities

Objectives
O11.1 Ensure adequate provision is made for site facilities to support residential occupation of the development.
O11.2 Ensure that services do not detract from the amenity of the streetscape.
O11.3 Ensure site utilities are accessible, visually unobtrusive and require minimal maintenance.
Controls
<p>C11.1.1 All dwellings are to be provided with adequate and practical internal and external storage.</p> <p>C11.1.2 Where storage and plant are proposed to be located within a basement:</p> <ul style="list-style-type: none"> a) Storage and plant will be limited to a maximum 20m² per dwelling, and b) Storage spaces must incorporate non-habitable floor to ceiling heights. <p>C11.1.3 Provision for water, sewerage and stormwater drainage for the site shall be nominated on the plans to Council's satisfaction. Applicants should also consult service providers for energy, electricity, gas, telephone, and national broadband network (NBN) fibre cables.</p> <p>C11.1.4 Each dwelling must provide adequate space for the storage of garbage and recycling bins (a space of at least 3m x 1m per dwelling must be provided) and are not to be located within the front building setback.</p> <p>C11.1.5 Letterboxes are to be located on the frontage where the address has been allocated in accordance with Australia Post requirements.</p> <p>C11.1.6 Each dwelling must have a clear pedestrian entry point. Dedicated pedestrian paths should be integrated into the landscape design through pathways, stepping stones and the like.</p> <p>C11.1.7 Unscreened appliances and meters should not be attached to any facade that would be visible from a street or driveway within the site:</p> <ul style="list-style-type: none"> a) Screen air conditioning units behind balcony balustrades; b) Provide screened recesses for water heaters rather than surface - mounting them on exterior walls; and c) Locate meters in service cabinets <p>C11.1.8 Location and design of service areas should include:</p> <ul style="list-style-type: none"> a) Screening of clothes drying areas from public places; and b) Space for storage that is screened or integrated with the building design.

C11.1.9 Minimise visual impact of solar systems by:

- a) Placing the system as unobtrusively as possible, both to the street and neighbouring properties;
- b) Using a colour that is consistent with the colour of roof materials;
- c) Designing solar panels, where possible, as part of the roof;
- d) Setting the solar panels back from the street frontage and position below the ridgeline; and
- e) Separate the water storage tank from the solar collectors and place on a less visually obtrusive part of the roof, or within the building (for example, the roof space or laundry).

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12. Ancillary Structures

Objectives
<p>O12.1 Ensure that ancillary structures do not result in amenity impacts on neighbouring sites.</p>
Controls
<p>C12.1 Swimming Pools</p> <p>C12.1.1 Swimming pools must be located within the rear setback and form part of a cohesive landscape design strategy. Details of the swimming pools are to be included on the architectural and landscape plans submitted with the Development Application.</p> <p>C12.1.2 The swimming pool water line must be setback a minimum of 1000mm from a side or rear boundary.</p> <p>C12.1.3 Decking and paving around a swimming pool must not be more than 250mm above existing ground level.</p> <p>C12.1.4 The pool must be designed to ensure the boundary fence is not needed to extend beyond 1.8m in height from existing ground level.</p>
<p>C12.2 Outbuildings</p> <p>C12.2.1 Any outbuilding is to be located within the rear setback.</p> <p>C12.2.2 The cumulative maximum gross floor area of all outbuildings is 35m² for each dwelling.</p> <p>C12.2.3 The maximum height of any outbuilding, including a studio is 3.5m.</p> <p>C12.2.4 The minimum setback is 900mm from the side and the rear boundary. A nil setback will be considered on a merit basis.</p> <p>C12.2.5 Where an allotment has access via a rear lane, the outbuilding may have a nil rear setback and a maximum height of 6m.</p>

13. Subdivision

Subdivision of dual occupancy development is permitted with consent and must be in accordance with the provisions of the relevant Environmental Planning Instrument.

Subdivision of the resulting lot must contain no more than 1 dwelling and each have lawful access and frontage to a public road.

Note: Council does not permit dual occupancy development on battle-axe blocks in the R2 Low Density Residential zone. Refer to Clause XX in Strathfield LEP 2012

14. Dual Occupancy Development on Corner Sites

The following objectives and controls are in addition to those above and relate specifically to a dual occupancy development on a corner site.

Objectives
O14.1 Ensure that development on corner allotments appropriately address the primary street and secondary street.
O14.2 Design and orientate development (access, private open space etc) on corner allotments to minimise adverse amenity impacts for neighbouring dwellings.
Controls
C14.1 Siting
C14.1.1 Development on a corner allotment should be sited to comply with side and rear setbacks, allowing for separation to neighbouring dwellings typical of a mid-block allotment.
C14.2 Vehicular Access
C14.2.1 On corner sites, vehicle access, including access to a basement car park (where permitted) is to be from the primary road for both dwellings
C14.2.2 Where site constraints (such as location of street trees and narrow allotments or splays) exist, one of the dwellings may be accessed via the secondary street but only if the access does not impact on the provision of private open space, landscaping, tree retention, privacy to neighbouring properties or other amenity control in this DCP.
[Note C14.2.1 and 14.2.2 addresses Council's Resolution 29/25 – Council Meeting 25 February 2025]
C14.2.3 Where a dwelling is fronting the secondary street, this must be setback a minimum of 3m. This 3m setback may include a 1m articulation zone.
C14.2.4 For dwellings fronting the secondary street, appropriate pedestrian access is to be provided from the secondary street frontage, and the design of the access must be integrated as part of the overall design of the development.
C14.3 Articulation
C14.3.1 Any side elevation to the secondary street must be articulated to address the street and achieve passive surveillance.
C14.4 Private Open Space
C14.4.1 A principal private open space area is to be located behind the front

building line of the dwelling facing the secondary setback. The design and location of private open space must incorporate appropriate privacy mitigation measures where the lot configuration results in unusual proximity to neighbouring living spaces and rear yards.

C14.5 Secondary Street Fencing

C14.5.1 A 1.8m high solid masonry fence is permitted along part of the secondary street boundary. The solid component must be integrated into the front fence and must only start behind the front setback to the primary street.

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15. (Attached) Front and Back Dual Occupancy Development

The following objectives and controls are in addition to those above and relate specifically to an attached front and back dual occupancy development.

Objectives
O15.1 Ensure that attached dual occupancy developments in a front and back arrangement respond to existing development patterns in the locality
Controls
C15.1 General C15.1.1 Attached 'front and back' dual occupancies are generally discouraged and expected to be an option for unusual sites and corner allotments only. C15.1.2 Applications for attached 'front and back' development must demonstrate that development of a 'side by side' dual occupancy is not achievable, and that the proposal achieves the objectives of this chapter and a better design outcome.

16. (Detached) Front and Back Dual Occupancy Development

The following objectives and controls are in addition to those above and relate specifically to a detached front and back dual occupancy development.

Objectives
O16.1 Ensure that detached dual occupancy development is sited to respond to existing development patterns and not detract from the character of the locality.
O16.2 Ensure that the rear dwelling, in a detached configuration does not have adverse privacy and overlooking impacts on the rear yards of neighbouring dwellings and allows for the landscape characteristics of the rear setback in the locality.
O16.3 Design rear dwellings, in detached configurations to respond to and achieve a building envelope that ensures and maintains privacy, solar access and landscaping.
Controls
C16.1 General C16.1.1 (Detached) Front and Back Dual Occupancies must demonstrate delivery of a 'side by side' dual occupancy is not achievable. C16.1.2 All other controls in this DCP apply, except for the front setback and building height controls. The front setback and height requirements of this section apply.
C16.2 Front Setback C16.2.1 The proposed rear dwelling must be setback a minimum 16m from the rear wall of the dwelling fronting the street to ensure adequate separation and sufficient area for private open space.
C16.3 Building Heights C16.3.1 For the dwelling proposed to the rear: <ul style="list-style-type: none"> a) the maximum building wall height is 6.5m; b) the maximum overall height for flat roof development is 7m c) the maximum overall height for a pitched roof development is 8.5m.

17. (Detached) Side by Side Dual Occupancy Development

The following objectives and controls are in addition to those above and relate specifically to a (detached) side by side dual occupancy development.

Objectives
O16.1 To ensure that detached dual occupancy developments in a side-by-side configuration are sufficiently separated.
Controls
C16.1 Side Setbacks Detached dual occupancy developments in a side-by-side configuration must provide a minimum 1.2m side setback between each dwelling to provide a total building separation of 2.4m.

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions						
Part B – Strathfield Consolidated DCP 2005		Draft Strathfield DCP 2025 – Dual Occupancy Development				
Section	Existing Provisions					
2.1 Site Analysis and Design Principles	<p>Site Analysis Objective: To ensure that site layout and building design consider the existing characteristics, opportunities and constraints of the site and the surrounds, which will result in a design sensitive to its environment and of high quality.</p> <p>Guidelines: All applications shall include a site analysis drawing, which demonstrates the following items have been taken into consideration in the design and documentation of applications:</p>	<p>Site analysis provisions have been retained.</p> <p>The objective of the site analysis requirements is to ensure that a detailed consideration of the individual development site relative to its neighbouring properties, buildings directly across the street and adjacent public domain is undertaken.</p> <p>Includes the following objectives to ensure that:</p>				
	<table><tr><th>Site</th><th>Surroundings</th></tr><tr><td><ul style="list-style-type: none">• Survey details, including changes of levels• Easements (drainage or service)• Existing vegetation and other significant</td><td><ul style="list-style-type: none">• Location, height and use of neighbouring buildings (including location of doors or windows facing the site)• Predominant built form and character of locality (including fencing and garden styles)• Private open space areas adjacent to site• Adjacent public open space• Location of major trees on</td></tr></table>	Site	Surroundings	<ul style="list-style-type: none">• Survey details, including changes of levels• Easements (drainage or service)• Existing vegetation and other significant	<ul style="list-style-type: none">• Location, height and use of neighbouring buildings (including location of doors or windows facing the site)• Predominant built form and character of locality (including fencing and garden styles)• Private open space areas adjacent to site• Adjacent public open space• Location of major trees on	<ul style="list-style-type: none">• Development is compatible with the scale, siting, character and landscape setting of the surrounding streetscape and the desired future character of the area.• Elements of the development that are visible from the street and public domain make a positive contribution to the streetscape and character of the area.• Development is appropriately sited and designed to achieve high levels of amenity for
	Site	Surroundings				
<ul style="list-style-type: none">• Survey details, including changes of levels• Easements (drainage or service)• Existing vegetation and other significant	<ul style="list-style-type: none">• Location, height and use of neighbouring buildings (including location of doors or windows facing the site)• Predominant built form and character of locality (including fencing and garden styles)• Private open space areas adjacent to site• Adjacent public open space• Location of major trees on					

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions			
Part B – Strathfield Consolidated DCP 2005			Draft Strathfield DCP 2025 – Dual Occupancy Development
Section	Existing Provisions		
	<div><div>site features</div><ul style="list-style-type: none">Existing buildings or structuresSite orientation and solar accessSignificant noise sourcesViewsPedestrian and vehicle accessNatural drainage</div>	<div>adjacent properties</div> <ul style="list-style-type: none">Elements of street frontage (street trees, vehicular cross-overs, bus stops etc)Differences on levels between site and neighbouring propertiesSignificant noise sources, such as railway or roads.	future residents and minimise adverse amenity impacts on neighbouring properties.
<div><div>Design Principles</div><p>A site analysis must be carried out in respect of all proposals.</p><p>Site layout and building design are to consider the existing characteristics, opportunities and constraints of the site and the surrounds to result in a high-quality design that is sensitive to its environment.</p></div>			

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions		
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	<p>Council will consider the results of the site analysis, and will not grant consent to a dual occupancy development unless it is satisfied that:</p> <ol style="list-style-type: none"> 1. The development is compatible with the predominant height, bulk, scale and character of existing residential development in the vicinity; 2. The proposed development is generally consistent with the existing streetscape character of the locality (as defined in Appendix 1); 3. The height, scale, character and external detailing of the development is compatible with any adjoining heritage item or conservation area; and 4. The development is unlikely to adversely affect the amenity of any existing residential development in terms of overshadowing, privacy (refer to Figure 2), excess noise, loss of views or otherwise. 	
2.2 Site Requirements		
Allotment Requirements	<ol style="list-style-type: none"> 1. Dual occupancy developments shall not be permitted on allotments less than 560m2 in area. 2. The frontage of all sites should be of sufficient width to permit adequate and safe vehicular access, and side boundary setbacks. 	Controls are redundant - Housing SEPP includes non-refusal standards for minimum lot size and minimum frontage width in the LMR Housing Areas.

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions		
Part B – Strathfield Consolidated DCP 2005		Draft Strathfield DCP 2025 – Dual Occupancy Development
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		Strathfield LEP 2012 will include minimum lot size and minimum frontage requirements for Large Lot Area and rest of LGA, as proposed by the Additional and Diverse Housing Planning Proposal.
General Site Coverage:	<ol style="list-style-type: none"> 1. The site coverage (proportion of the site which is built upon) is not to exceed 65% of the total site area. 2. For the purpose of calculating site coverage, the following is to be included: - house, garage, driveway, paved or concreted areas (including pool concourse), side setback areas between the boundary and house (paved or unpaved) 1500mm or less in width, pools, footpaths, BBQ areas, covered awnings, outbuildings, tennis courts and the like. 	Reviewed - Control has been replaced by setback requirements and the landscaped area provision, which is proposed to be included in Strathfield LEP 2012.
Frontage	<p>For the purpose of this section of Part B, frontage refers to land between the front of the building and street.</p> <p>The proportion of the frontage to be built upon shall not exceed 50% or 90m² whichever is the lesser.</p> <p>Front Setbacks:</p>	Frontage control is redundant - Strathfield LEP 2012 will include minimum lot size and minimum frontage requirements for Large Lot Area and rest of LGA, as proposed by the Additional and Diverse Housing Planning Proposal.

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions		
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	<ol style="list-style-type: none"> 1. Front boundary setbacks are intended to achieve a reasonably consistent arrangement and alignment of buildings to the street where there is a particular feature of the streetscape, provide areas for landscape planting in front of buildings, and to achieve adequate sight distances for vehicular safety, particularly at intersections. 2. Developments are required to be setback a minimum of 9 metres from the front of the development to the front property boundary. 3. Developments may be setback less than 9 metres where the predominant setback in the street block is less than 9 metres or the setback would not conflict with the existing streetscape. 4. For sites with frontage to two or more streets, a minimum setback of 9 metres is required to at least one of the street frontages. The setback to the other frontage shall generally be in accordance with the design principles outlined within Part B but shall not be less than 3 metres. 5. All car parking structures, and designated surface parking areas are to be located behind the front building alignment. On corner sites in particular, such areas should be designed and suitably 	<p>The proportion of the front setback to be built upon is controlled by the landscaped area (LEP provision) and deep soil area provision</p> <p>Front setback control has been retained and is substantially in accordance with the existing provision.</p> <p>Intent of control retained – carports and garages must be positioned behind the front building setback.</p>

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions		
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	landscaped or screened to ensure the character and visual amenity of the streetscape is maintained and not compromised.	
Side and Rear Boundary Setbacks:	<ol style="list-style-type: none"> 1. Setbacks are intended to maintain a reasonably consistent relationship between buildings, allotment boundaries and adjacent development and limit the extent to which occupants within one building overlook neighbouring buildings and private recreation areas. 2. A 900mm minimum setback from side and rear boundaries for walls of less than 3.0 metres in height. 3. A 1.5 metre minimum setback from side and rear boundaries for walls greater than 3 metres in height. 4. Two storey developments must also comply with the building envelope as detailed in this section of Part B. Buildings shall be sited within a building envelope determined by a plane projected at an angle of 45 degrees over the site from a height of 4.5m above 	<p>Reviewed - Objectives included to require that development is sited to provide future occupants with adequate privacy, natural light and access to private open space and to ensure that a reasonable level of privacy, natural light and amenity for neighbours is achieved.</p> <p>Delete</p> <p>Proposed that a 1500m side setback will apply generally for development on lots with a frontage >15m. For those lots where the frontage is less than 15m (LMR Housing Areas), a proposed setback of 1200mm will be required.</p> <p>Building envelope determined by the setbacks, height and landscaped area requirements. Façade articulation objectives and controls have also been included to ensure that the development is broken</p>

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2.0 Site Planning and Design Provisions		
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	<p>natural ground level along the side and rear boundaries of the land, subject to the matters listed below. Figures 3 and 4 illustrate the building envelope.</p> <p>Within the building envelope, developments are required to comply with the following side and rear setback controls:</p> <ul style="list-style-type: none"> i. minor encroachments to the minimum setback shall be considered on their merits for elements such as eaves, pergolas, electricity or gas meters, steps, ramps or the like; i. side setbacks for buildings containing 2 storeys shall be determined by the building envelope, and the ability of the development to comply with Solar Access and Privacy requirements as set out in sections 2.4 and 2.7 of this Plan. Encroachments to the building envelope and setback controls will be considered on sites with frontage to a public place (including road or open space area), and will be determined on their merits. i. exceptions to the side and rear setback controls will also be considered for sites with frontage to a major noise source, such as an arterial road or the railway line. The extent and nature of variations will be determined on the 	<p>up, reducing the impact of the scale of the development. Specifically, a control has been included to required façade articulation (1m x 1m articulation) along the side setbacks, where wall lengths are greater than 10m. This provides greater clarity</p>

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions		
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	<p>merits of the case.</p> <p>Departures from the building envelope will be considered for characteristic design elements, such as chimneys, vents and eaves, and for other features such as dormer windows and aerals where it can be demonstrated that no significant non-compliances are likely to occur with the privacy and overshadowing provisions contained in this Plan.</p> <p>Walls along boundary setbacks shall be broken or staggered to avoid the appearance of appearing unduly massive or long walls. No section of wall built on a side or rear boundary setback should be longer than 10 metres or 40% of the length of the boundary, whichever is the lesser. Variations to this requirement will be considered on merit having regard to overshadowing, privacy issues and treatments used to avoid the appearance of unduly massive or long walls.</p> <p>Buildings should be sited in a manner, which is consistent with the principles contained in the Streetscape Analysis included in Appendix 1, and should maintain or enhance the existing streetscape, particularly where there is an established building line.</p>	

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

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Basement Setbacks:	The outer walls of basements shall comply with the setbacks required in this section.	Consistent - Any basement is to be contained within the footprint of the ground floor above
Setback from Easements:	Sydney Water Corporation requires that all buildings and structures be at least one metre from any easement or public sewer main. Exceptions may be considered on their merit. In all cases, development must comply with the Corporation's requirements for building over or adjacent to sewer mains.	Deleted – this information is not a consideration of the assessment of the DA. Information relating to Sydney Water requirements are provided as a condition of consent.
2.3 Density, Bulk and Scale		
	<ol style="list-style-type: none"> 1. The maximum floor space ratio for dual occupancy developments (attached and detached) is 0.5:1. This excludes the area of any carport or garage. 2. An exception may be considered where an existing dwelling house exceeds a floor space ratio of 0.5:1, and it is proposed to convert the dwelling into an attached dual occupancy without increasing the total floor space. 3. Buildings in a detached dual occupancy shall not exceed one storey in height except in the case of the dwelling addressing the primary or main street frontage, in which case a 2 storey building 	<p>FSR is a development standard that is included in an EPI (Strathfield LEP/ Housing SEPP 2021). Any variation to a development standard in an EPI requires a Clause 4.6 request and will be considered on merit - no need to include these requirements in the DCP.</p> <p>Specific objectives and controls have been included with respect to detached dual occupancy development, including building envelope</p>

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2.0 Site Planning and Design Provisions		
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	<p>may be considered in similar circumstances to attached dual occupancy. Figure 5 shows possible dual occupancy developments.</p> <p>4. A detached dual occupancy shall have a maximum floor space of 100m². This excludes the area of any carport or garage.</p>	<p>requirements for detached dual occupancies to lower the profile of dwellings located at the rear.</p> <p>Council's Additional and Diverse Housing Planning Proposal is also seeking to prohibit detached dual occupancy developments on battle-axe blocks in the R2 Low Density Residential zone.</p> <p>Delete – this control is contrary to the FSR requirement in the Strathfield LEP</p>
2.4 Energy Efficiency and Water Conservation		
2.4.1 House Energy Rating	<p>1. All proposals for dual occupancy dwelling houses must achieve a minimum House Energy Rating of 3.5 stars (using Nationwide House Energy Rating Software NatHERS or equivalent), assessed by an accredited HMB Assessor - accredited by the House Energy Rating Management Body (HMB).</p> <p>2. All alterations and additional to dual occupancy dwelling houses must achieve minimum levels of insulation under Australian Standards AS 2627.1-1993 Thermal insulation of dwellings for ceiling, roof and walls.</p>	<p>Deleted - NATHERS and Australian Standards requirements have been removed from the DCP as they are required either under State Environmental Planning Policy (Sustainable Buildings) 2022 or during preparation/approval of the construction certificate.</p> <p>Council's conditions of consent address requirements for these energy efficiency and water conservation measures.</p>

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions		
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	<p>3. Appropriate shading devices for protection against summer heat must be included to living areas, bedrooms and all north facing windows of each dwelling.</p>	
2.4.2 Solar Access	<p>1. To the extent that existing developments and site orientation allow, site layout and design shall ensure:</p> <ul style="list-style-type: none"> reasonable solar access to the site; the protection of solar access to neighbouring properties; buildings to maximise the benefits of solar access in terms of reducing winter heat loss and the impact of summer afternoon sun (refer to Figures 6 and 7); adequate natural light to the living areas of dwellings for normal domestic duties; and orientation to the north, with priority in dwelling layout being given to living areas and bedrooms (refer to Figure 8). <p>2. Dual occupancy developments are to be designed to maximise solar access to living areas and private open space. The following guidelines indicate the preferred levels of solar access for dwellings, and any departures from these standards will require justification that resultant energy efficiency and solar access is acceptable:</p>	<p>Reviewed - Solar access objectives and controls have been refined. The objectives of the controls are to:</p> <ul style="list-style-type: none"> Design, site and articulate development to maximise solar access and sunlight penetration for the proposed dwellings. Minimise the loss of sunlight to adjacent buildings and minimise adverse amenity impacts on adjoining development Ensure an appropriate amount of solar access to main living areas and areas of principal private open space within the site and adjoining sites. <p>The controls have been refined and specify:</p>

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	<p>3. The main living areas and at least 50 percent of the principal private open space of each dwelling have at least four hours of sunlight between the hours of 9am and 3pm on June 22 (winter solstice); and sunlight access to the main living areas and principal private open space of adjacent properties is not unreasonably reduced by the proposal.</p> <p>4. In the case of alterations or additions to existing dwellings, solar access to the windows of habitable rooms and to the majority of private open space must be substantially maintained or achieved for a minimum period of 4 hours between 9.00am and 3.00pm at the winter solstice (June 22).</p> <p>5. Where already existing, solar access to the windows of habitable rooms and to the majority of private open space of adjoining properties must be substantially maintained or achieved for a minimum period of 4 hours between 9.00am and 3.00pm at the winter solstice (June 22).</p> <p>6. Solar access to existing neighbouring solar collectors including solar hot water systems and photovoltaic systems must be maintained or enhanced.</p>	<ul style="list-style-type: none"> • Solar access controls for the proposed development; and • Solar access to neighbouring properties <p>Shadow diagram requirement have been retained</p>

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	<p>7. Applicants of all two storey developments (including additions) are required to submit shadow diagrams for 9am, midday and 3pm for 22 December (summer equinox) and 22 June (winter solstice) that show:</p> <ul style="list-style-type: none"> • Shadows cast by the existing structures on the site, including the dwelling, outbuildings, fences and any significant trees (including where those shadows extend off the site onto adjoining properties); and • Shadows cast by the structures on the site when the proposed development is complete, (including where those shadows extend off the site onto adjoining properties) including an indication of where these shadows differ from those cast by the existing structures. • Note: Shadow casts in elevation to determine the extent of overshadowing may be required if windows of adjoining buildings are affected. <p>8. Where shadow diagrams are submitted, they are required to be in accordance with the Department of Environment and Planning's (now Department of Planning) 'Technical Bulletin 13: Sunlight Indicators'.</p>	

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2.4.3 Natural Space Heating and Cooling	<ol style="list-style-type: none"> 1. It is desirable that the use of artificial heating and cooling devices be minimised. Heating and cooling needs should be considered at the design stage. 2. Dual Occupancy shall be designed/oriented in a manner which minimises heat gain during summer and maximises solar access during winter, thereby reducing the need for artificial cooling and heating (and the associated consumption of natural energy resources). 3. The need to artificially heat each dwelling during winter, for example, can be minimised via the techniques indicated below. <ul style="list-style-type: none"> • The orientation of living areas to the north so as to make full use of available heat from the sun. • The use of deciduous trees (rather than non-deciduous trees) to the north of the dual occupancy dwellings so as to allow for improved solar access during winter. • The use of insulation to walls and roofs so as to reduce the rate at which heat is lost from each dwelling. 	<p>Redundant controls – deleted</p> <p>The site analysis requires applicants to consider orientation of the block to minimise heat gain and maximise solar access. Dual occupancy development is also required to comply with the requirements under State Environmental Planning Policy (Sustainable Buildings) 2022.</p> <p>The solar access requirements outlined above also requires consideration to be given to maximising solar access, thereby reducing the need for artificial cooling in warmer months and heating in cooler months.</p>

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	<ul style="list-style-type: none"> The use of thermal mass to retain solar heat made available during the day. Thermal mass refers to the ability of a material to store and retain heat. Dense materials such as brick and concrete have a high heat storage capacity. For example, an internal brick wall that receives direct sunlight during the day (preferably only) in winter will store heat that is then released during the evening. <p>4. The need to artificially cool a dwelling during summer, (via air conditioning) for example, can be minimised via the techniques indicated below.</p> <ul style="list-style-type: none"> The shading of windows and walls (particularly those which face east and west) with both horizontal and vertical shading devices, including appropriately sized eaves and louvres. The shading of windows and walls via appropriately located trees. The positioning of windows and openings so as to capture prevailing breezes. The positioning of windows and openings so as to allow for cross- ventilation. The use of ceiling fans to maintain movement of air. Allowing windows to be locked in a slightly open position so as to admit cool air yet maintain security. 	

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	5. Council discourages the use of domestic solid fuel combustion heaters.	
2.4.4 Natural Lighting	<p>1. The need to artificially light each dwelling during the day can be minimised by allowing as much natural light as possible to enter the building. Minimised use of artificial lighting results in reduced electricity consumption. Natural light can be harnessed via:</p> <ul style="list-style-type: none"> • North and south facing windows; • Skylights; • Clerestory windows; • Lightwells; • Internal courtyards; • Glass bricks; • Translucent, glazed or otherwise treated glass which allows for the transmittal of light but which maintains privacy; and • Pergola/patio roofs which are able to be opened. <p>The installation of some of the above features will require shading devices, either externally or internally such as eaves, pergolas, verandahs, awnings or a solar blind to be incorporated within the</p>	<p>Redundant controls – deleted</p> <p>The site analysis requires applicants to consider orientation of the block to minimise heat gain and maximise solar access. Dual occupancy development is also required to comply with the requirements under State Environmental Planning Policy (Sustainable Buildings) 2022.</p>

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	building design to provide maximum shading in summer and minimum shading in winter.	
2.4.5 Building Materials	<ol style="list-style-type: none"> 1. Building materials and insulation that assist in providing acceptable thermal conditions are to be used wherever possible. 2. Materials of high thermal mass are to be used for living areas and located to receive maximum sun during cooler months. 3. Existing buildings, which are in sound condition, can be converted in whole or in part for dual occupancy dwellings. 	Reviewed – an objective and controls have been included to ensure that the choice of external materials, colour schemes and building details reinforces and enhances the identifiable visual cohesiveness or special qualities evident in the street and locality.
2.4.6 Water Management	<ol style="list-style-type: none"> 1. A greenhouse gas friendly hot water system that achieves a minimum 3.5 SEDA Hot Water Greenhouse Score must be installed for all new dual occupancy dwelling house developments, and for all alterations and additions to existing dual occupancy dwelling houses (where a new hot water system is required). Systems which comply with this requirement are outlined in the table below. 2. The installation and use of electric or gas boosted solar hot water systems is encouraged. 3. Installation details of proposed solar hot water systems are required to be submitted including: <ul style="list-style-type: none"> • Position on roof and orientation; 	<p>Redundant controls – deleted</p> <p>Dual occupancy development is required to comply with the requirements under State Environmental Planning Policy (Sustainable Buildings) 2022, relevant Australian Standards and Building Code of Australia requirements.</p>

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	<ul style="list-style-type: none"> Type of system – eg split system, direct or indirect system; Size of system and colour of tank and collectors; Specifications for attaching the system to the host structure. <p>Solar water heaters should generally be located below the ridge line of a roof. Where possible, a solar water heater should be located on a section of roof that is not visible from the street or that is otherwise set back from the street. Particularly in situations where north-facing sections of roof face the street, consideration will need to be given to the visual impact of a solar water heater upon the quality of the streetscape and heritage listed properties.</p> <p>4. For the purpose of child safety and energy conservation, all new or replacement hot water systems must include a mixing device which delivers hot water at a maximum temperature of 50 degrees Celsius to all taps, shower heads and other outlets.</p> <p>Water Saving Devices</p> <p>5. Developments are required to be fitted with appliances and plumbing hardware which have a “AAA” Australian Standards Water Conservation Rating and meet the manual of Assessment</p>	

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	<p>Procedure for Water Efficient Appliances SAA MP64-1995 which aim to reduce water consumption, including those devices indicated below:</p> <ul style="list-style-type: none"> • Shower head which allows 9 litres flow or less per minute • Water tap which allows 9 litres flow or less per minute • Dual flush toilet with maximum 6/3 litre capacity dual flush cistern or approved dual flush equivalent • Low water use dishwasher and washing machine. <p>Mandatory Rainwater Tanks</p> <ol style="list-style-type: none"> 1. A rainwater collection tank of at least 1000 litres capacity for each dwelling must be included in all applications for new dual occupancy dwelling houses. The use of tank water for outdoor purposes such as garden watering should have the effect of ‘saving’ higher-grade water. 2. Subject to the fulfilment of certain conditions indicated in Schedule 13 of the Strathfield Planning Scheme Ordinance (SPSO), domestic water tanks with a capacity of 3000 litres or less are classified as Exempt development and therefore do not require Council approval. 	

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	<p>3. The following controls apply to all water tanks that are not classified as Exempt development under the SPSO:</p> <ul style="list-style-type: none"> a) The water tank(s) is to be located behind the dual occupancy dwellings. Where it is not possible to locate a water tank wholly behind each dwelling, it should at least be located behind the front building line. Care should be taken to reduce the visibility of the water tank from the street. b) The water tank(s) and any associated support structure and plumbing should be the same colour as each dwelling or a colour which complements each dwelling. c) The water tank(s) must be located at least 900mm from any property boundary. d) The top of the tank(s) is to be located below the top of the nearest fenceline or 1.8 metres, whichever is the lesser. e) The water tank(s) should be positioned to collect rainwater which falls on the roof of the dwelling. Tank water is to be used for non-drinking/non-consumption purposes only. Taps associated with the tank(s) are to be clearly marked 'NOT FOR DRINKING'. 	

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	<p>f) Overflow from the water tank(s) is to be piped directly to the approved stormwater drainage system. Where stormwater for a particular property is required to be directed to on-site stormwater detention (OSD) storage (as per Council's Stormwater Management Code) then the overflow from the water tank(s) must also be directed to the OSD storage.</p> <p>a. Plumbing from the water tank(s) is to be kept separate from the reticulated water supply system.</p> <p>b. The water tank(s) inlet is to be screened to prevent entry of any foreign/animal matter and insects such as mosquitos. The water tank(s) should be enclosed.</p> <p>c. No part of the water tank(s) or support stand is to rest on a wall footing.</p> <p>d. The water tank(s) is to be installed in accordance with the manufacturer's specifications. The design of any water tank(s) support structure is to be in accordance with the requirements of a qualified practising structural engineer or to the maker's specifications.</p> <p>A pump associated with the tank(s) is to be housed in</p>	

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	an enclosure and be no louder than 5dBA above background noise levels.	
2.4.7 Energy Smart Appliances	<ol style="list-style-type: none"> 1. The use of top star rated energy smart appliances and lighting including dryers, dishwashers, refrigerators, freezers and washing machines is required. 2. Energy smart appliances are those that use less energy to do the same job as other less efficient models. The Label Star Energy Rating System gives a rating to a range of appliances based on their energy efficiency. The more stars you see, the more efficient the model. 3. Energy Smart light includes the use of fluorescent and compact fluorescent globes, self-timing systems, dimmers, motion sensors and specific purpose switches. The use of natural lighting should be maximised wherever possible. 	<p>Redundant controls – deleted</p> <p>Dual occupancy development is required to comply with the requirements under State Environmental Planning Policy (Sustainable Buildings) 2022, relevant Australian Standards and Building Code of Australia requirements.</p>
2.5 Streetscape and Building Orientation and Materials		
General	<ol style="list-style-type: none"> 1. New development, particularly when viewed from the street or other public places is to be compatible with the predominant character and architectural detail of existing residential 	Reviewed – the intent of the draft DCP objectives and controls for dual occupancy development is to encourage development that integrates into the

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	<p>development in the street and in particular with any existing building to be retained on the site. New development shall also address the street frontage (refer to Figure 9).</p> <p>2. In areas where one period or style of architecture predominates, new development is to reflect either that style or the main stylistic features such as roof pitch, gable end details, building height, window and doorway proportions, verandah detailing, building materials, front boundary setbacks, etc (refer to Appendix 1).</p>	<p>existing streetscape. The building envelope objectives and controls seek to:</p> <ul style="list-style-type: none"> • Integrate new development with the existing setback character • Achieve a building envelope consistent with the bulk and scale of adjoining development • Encourage the break up and articulation of building facades to provide visual relief, modulation and reduce the overall building bulk <p>Outside of Heritage Conservation Areas and for heritage items, character and streetscape-based controls are limited, particularly since the introduction of Complying Development, which does not take into account the streetscape character. The proposed objectives and controls seek to identify elements of the streetscape (for example, deep landscaped setbacks) and where appropriate, these are maintained.</p>

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	<p>3. Building materials, finishes and colours are to be sympathetic with the materials, finishes and colours of any existing buildings to be retained, adjoining buildings and buildings in the streetscape.</p> <p>4. In order to maintain the character of the Municipality, the preferred finish of buildings are face brick and tile. The following requirements apply to brickwork:</p> <ul style="list-style-type: none"> • Dark and light toned bricks of different colours shall not be used together in the same brickwork, so that the brickwork does not detract from the appearance of the streetscape. • Darker and lighter toned bricks of the same colour may be used in brickwork where the colour and appearance of the different tones add interest and are sympathetic to the streetscape. • Mottled colours and mottled tones of the same colour in the composition of individual bricks, may be used in brickwork 	<p>Establishing objectives and controls to ensure that elements of the streetscape are retained is a more effective way of maintaining and reinforcing desirable character by aiming for a high-quality outcome, rather than a replication of specific styles.</p> <p>Similar objectives and controls have been retained to ensure that the choice of external materials, colour schemes and building details reinforces and enhances the identifiable visual cohesiveness or special qualities evident in the street and locality</p> <p>Refer comment above – control has been reviewed to require that new development must incorporate colour schemes and materials that reinforce and enhance the elements and colours evident in the street</p>

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	<p>where the colours and appearance are sympathetic to the streetscape.</p> <p>5. All building elements are to be integrated in design detailing, including the design of carports, garage openings, verandah and balcony balustrades, gateways and fencing.</p> <p>6. Cement rendering or textured finish is only to be used where brick and tile colours cannot be matched. Bagged finishes are discouraged for use where brick and tile colours cannot be matched, due to the difficulty in applying the finish and the poor result often achieved.</p> <p>7. Colours used on the proposed finishes are to be natural/subdued tones that are not bright or white so that they do not detract from the streetscape. Where cement rendering or textured finishes are proposed to be used, the colours of the proposed finishes are to be provided by way of colour charts submitted with the development application.</p> <p>8. Council will also consider the use of other materials provided the applicant can prove the following has been considered:</p>	<p>Similar controls requiring integration of building elements has been retained.</p> <p>Refer comment above – control has been reviewed to require that new development must incorporate colour schemes and materials that reinforce and enhance the elements and colours evident in the street</p>

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	<ul style="list-style-type: none"> The aims and objectives of Part B are not compromised. The materials are compatible and sympathetic with the streetscape and the dwelling style. Non-brick extensions are not visible from the street. First floor additions in brick cannot be supported by existing ground floor foundations. An engineer's certificate must accompany such applications. Non-tile roofing materials such as corrugated colour coated metal (eg colourbond) and the like are architecturally appropriate to the style of the dwelling and the locality. <p>9. The dwelling/s facing the street frontage shall have their entry readily apparent from the street so as to convey a sense of individual street address (refer to Figure 10).</p> <p>10. Garages and parking structures, shall be sited and designed not to dominate the street frontage (refer to Figure 11).</p> <p>11. Developments adjoining a major road or railway line shall take into consideration impacts of the noise source on the future amenity of residents on the site, ensuring noise sensitive uses are placed in more shielded locations (refer to Figure 12). Development is to take</p>	Similar control retained

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	<p>into consideration and address the various matters raised within the State Rail's publication titled Rail Related Noise and Vibration. Such sites are also required to demonstrate adequate noise attenuation can be achieved within all dwellings through the use of materials and mitigative measures such as double glazing in windows. The cost of any on-site noise attenuation measures required for the amenity of a development are to be borne entirely by the developer. Council may require a Noise Assessment report to be submitted with such applications, evaluating the likely noise environment of proposed residents.</p>	<p>Objectives and controls have been retained to minimise the visual impact of driveway crossovers, garages and parking areas so that they are not visually dominant on the development or in the streetscape (Vehicular Access, Parking & Circulation)</p> <p>Acoustic amenity objectives and provisions have been retained and updated. Included requirements for the submission of an acoustic assessment where development is located in the vicinity of a rail corridor or busy road.</p>
Front Fences	<p>1. Fences and gates are to be sympathetic to the design of the development to maintain and unify the character of both the dwellings and the street.</p>	<p>Reviewed - Front fencing design objectives and controls have been retained in the draft DCP. A maximum height of 1200mm (currently 1500mm) has been included consistent with the requirements of the State Environmental Planning</p>

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	<p>2. Front fences or side fences forward of the building line shall generally not exceed a height of 900mm.</p> <p>3. Wrought iron or similar fencing may be constructed on the street alignment to a maximum height of 1.8 metres. Similarly, fences consisting of 900mm in height of solid brickwork and 900mm open wrought iron or similar material supported at a minimum of 3 metre centres on brick columns, may be constructed directly on the street alignment.</p> <p>4. Solid fences or fences with less wrought iron inserts than specified above, over 900mm in height, must be setback a minimum of 1.5 metres from the street alignment and the setback area is to be suitably landscaped to Council's satisfaction to effectively screen the fence.</p> <p>5. Council may agree to solid fences being a maximum height of 1.8 metres if the applicant can satisfy Council that:</p> <ul style="list-style-type: none"> the fence is compatible with the architecture of the development; and the fence would provide an interesting facade when viewed from the street and would not conflict with the streetscape or fences on 	<p>Policy (Exempt and Complying Development Codes) 2008.</p> <p>It is proposed that the reduction in the height of front fences will also apply to other development, including dwelling houses.</p>

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	<p>adjoining properties.</p> <p>6. Provision is to be made for access to public utility installations by the relevant authorities, ie electricity, gas and water meters. If the gate is to be locked, an intercom system is to be provided at the front gate.</p>	<p>Similar controls requiring access to public utility installations has been retained.</p>
Side and Rear Fences	<p>1. Side and rear fences are to be no more than a maximum 1.8 metres in height (including any retaining walls).</p> <p>2. Side and rear fences on a slope must be designed to allow water to flow through.</p> <p>3. Side fences forward of the front building line are to taper down to the height of the front fence line. Solid sections of the side fence forward of the front building line shall not exceed a height of 900mm. A transparent section of the fence is therefore required to taper down from the height of the side fence to the height of the front fence. Piering above 900mm will be permitted to support the transparent section.</p>	<p>Redundant - The construction or installation of a fence along a common boundary of a lot is generally exempt development under the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.</p> <p>The standards in the Codes SEPP for boundary fences are that the development must—</p> <p>(a) not be higher than 1.8m above ground level (existing), and</p> <p>(b) not be of masonry construction to a height that is more than 1.2m above ground level (existing)</p> <p>The Dividing Fences Act 1991 also applies</p>

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	<p>4. Where the front fences of adjoining properties are dissimilar in height, the owners of both properties are to come to an agreement on which front fence the side fence is to taper down to.</p> <p>5. Side fences forward of the front building line are to be constructed in the same materials as the front fences of the adjoining dwellings. Where they are dissimilar, the owners of adjoining dwellings are to come to an agreement on the materials in the construction of the fence. The materials used must be in keeping with the architectural styles and materials of both dwellings and must not dominate or detract from the streetscape.</p> <p>6. The transparent section of the fence may be constructed with open inserts of wrought iron, timber or similar materials. To be considered transparent, the inserts must be spaced apart so that the dwelling/s and the property forward of the front building line are clearly visible through the fence from the street.</p>	
2.6 Heritage and Conservation		
	<p>1. Proposed developments involving heritage items or adjoining heritage properties are to be designed to be compatible with the heritage significance of listed heritage items.</p>	<p>Reviewed - The draft DCP references Part P – Heritage of the Consolidated DCP 2005. A project is currently underway to map contributory</p>

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	<p>2. When submitting an application in respect of or adjoining a heritage item, the onus is on the applicant to demonstrate that the heritage significance of the item or structure would not be compromised by the proposal.</p> <p>3. Where a development involves or adjoins a heritage item, Council requires that a statement of effect be lodged with a development application. That statement must set out the heritage significance of the structure or place and the effect the proposed works will have on the significance of the heritage item.</p>	<p>dwellings within the Heritage Conservation Areas and this work will result in updates to Part P.</p>
2.7 Open Space and Landscaping		
	<p>1. A minimum of 40% of the site area is to be landscaped open space or private yard space.</p> <p>2. For dual occupancy development each dwelling shall be immediately adjacent to and have direct access to private landscaped open space with a minimum boundary length of 4 metres and a minimum area of 40m². Private open space fulfils a number of functions (refer to Figure 14).</p>	<p>Reviewed - It is proposed that a landscaped area local provision be introduced into the Strathfield LEP 2012. This development standard has been introduced as a direct response to the Strathfield community's request for the protection of existing landscaping and tree canopy to be provided in new residential developments.</p> <p>The landscaped area local provision will be supported by a deep soil area requirement in the</p>

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	<p>3. Any landscaped area having a width and depth of less than 2 metres shall not be counted as part of the required landscaped open space unless densely planted for screening purposes.</p> <p>4. Areas used for driveways, carparking and other service areas will not be included as part of the required landscaped open space.</p> <p>5. A landscape strip of 1 metre width is to be provided between the driveway and the boundary fence where the driveway on the adjoining property is not on the same boundary.</p> <p>6. The whole of the site other than the area of the site occupied by buildings is to be landscaped.</p> <p>7. The preferred shape and aspect of private open space areas in dual occupancy development is shown in Figure 15.</p> <p>8. For the purposes of calculating a courtyard, areas under balconies or eaves can be included where the projection or overhang does not extend more than 1500mm from the external face of the building at the courtyard level.</p> <p>9. Exceptions to the above standards may be considered where it can be demonstrated that a slightly reduced amount of landscaped</p>	<p>DCP. All sites are required to have a deep soil area, which is defined as <i>any permeable surfaces located at ground level and provides areas for the growing of plants (including grasses, shrubs and trees) and areas with loose gravels or pebbles upon soil that water can easily penetrate. Deep soil area does not include any planted areas above basements, podiums, roofs, slabs or areas located underneath covered structures.</i></p> <p>The revised DCP establishes requirements for quality landscape outcomes with minimum dimensions for tree planting and revised canopy tree height requirements that will encourage rather than discourage planting through realistic minimum heights.</p> <p>Otherwise, the revised DCP includes similar requirements for landscaping including minimum dimensions for landscape areas, details on preferred locations for open spaces are and tree planting requirements.</p>

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	<p>open space is adequately compensated by the amount, position and quality of the open space provided.</p> <p>10. Trees and shrubs with invasive root systems must not be planted over existing service infrastructure.</p>	A minimum of 50% of the front building setback is to be deep soil area to retain as much as practicably possible of the landscaped front setback characteristics and allow for tree planting.
2.8 Privacy and Security		
	<p>1. The privacy aspects of all development shall be considered in the context of the development itself and its relationship to surrounding development. The siting and layout of buildings shall ensure that windows and doors are to be designed/located to reduce direct overlooking into an adjoining dwelling. Where the windows are less than 9 metres apart from an adjoining dwelling, the windows in the proposed dwelling:</p> <ul style="list-style-type: none"> • are to be offset from the edge of the windows in the adjoining dwelling by a distance of at least 0.5 metres (refer to Figure 16); or • have a sill height of at least 1.7 metres above the floor; or • have fixed obscure glazing in any part of the window below 1.7 metres above the floor. <p>2. The acoustic privacy of residents shall be considered in the</p>	<p>Reviewed - The objectives and controls under Visual Privacy and Acoustic Amenity ensures that development minimises direct overlooking or cross viewing into neighbouring dwellings. Controls for window placement, balcony placement and design and fencing aim to achieve improved privacy and security for residents of developments, without the need for ‘fortressing’ the property, as well as mitigating the impacts of overlooking on neighbouring properties</p>

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions		
Part B – Strathfield Consolidated DCP 2005		Draft Strathfield DCP 2025 – Dual Occupancy Development
Section	Existing Provisions	
	<p>context of the proposed development itself and its relationship to the surrounding. The site layout and building design shall ensure that:</p> <ul style="list-style-type: none"> (i) communal areas, parking areas, accessways and service equipment areas are separated from bedrooms and minimise the entry of high levels of external noise to dwellings; (ii) bedrooms of one dwelling do not adjoin living rooms or garages of adjacent dwellings; and (iii) dwellings close to high-noise sources (such as busy roads, railway lines and industry) are designed to locate habitable rooms and private open space away from noise sources and are protected by appropriate noise-shielding devices (refer to Figure 18). Also refer to the State Rail Document <i>Rail related Noise and Vibration</i>. <p>3. The security aspects of all development shall be considered in the context of the proposed development itself. The siting and layout of buildings shall ensure that buildings adjacent to public streets or spaces are designed to allow casual surveillance and should have at least one habitable room window facing that area (refer to Figure 19).</p>	

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions		
Part B – Strathfield Consolidated DCP 2005		Draft Strathfield DCP 2025 – Dual Occupancy Development
Section	Existing Provisions	
2.9 Access and Parking		
	<ol style="list-style-type: none"> 1. A minimum of 1 carparking space for each dwelling with a gross floor area of 150m² or less shall be provided on site. 2. For dwellings exceeding 150m² in gross floor area, Council will require an additional on-site space for the occupants. Car parking spaces may be stacked, but only to the extent of one car space behind one other for each dwelling. 3. Dimensions of access driveways and manoeuvring areas are to be in accordance with the provisions of “Policy and Guidelines for Traffic Generating Developments” published by the RTA. 4. The minimum size for spaces is 5.5m x 2.5m (open parking). 5. Minimum internal dimensions of a single lock up garage are 3m x 5.5m unobstructed, with any car access opening being at least 2.4m wide. 6. Where practicable, garage doors shall not be sited to face the street to which the building has its main frontage. 	<p>Reviewed - Accommodating vehicles can have a significant impact on the design of new development. The location and layout of the car parking will influence the layout and design of buildings and landscaping. Each dwelling within a dual occupancy development is to provide a minimum of one (1) and a maximum of two (2) off street parking spaces.</p> <p>Designing developments to minimise the visual impact of driveway crossovers, garages and parking areas so they are not visually dominant on the development or in the streetscape and to prioritise retention of existing street trees and on-street parking.</p> <p>Designing and locating off-street parking so that it is visually integrated into the overall design and relates to the environmental and physical constraints of the site.</p>

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions		
Part B – Strathfield Consolidated DCP 2005		Draft Strathfield DCP 2025 – Dual Occupancy Development
Section	Existing Provisions	
	<p>7. Driveways are classified as hardpaving and must be included within the 65% maximum built on site coverage and frontage standards contained in Section 2.5 of Part B.</p> <p>8. Construction materials used must blend architecturally with the development. If concrete is to be used and is visible from a public road, all paved areas, including driveways, pedestrian ways or any other hard paved areas are to be coloured charcoal or brown or finished in exposed aggregate. Other paving materials will be considered on their merits. However, grasscrete (or similar) is not favoured for permanent parking spaces or for turning areas.</p> <p>9. Driveway widths are to be kept to a minimum to allow for maximum landscaped areas. The maximum width of driveways at the property boundary is to be 3 metres.</p> <p>10. Vehicular turning paths for garages should be a minimum of 6 metres wide. Where the turning path is less, the garage should be widened accordingly.</p> <p>11. For sites fronting main roads, it is required that where possible cars be able to enter and leave the site in a forward direction, ie they be able to turn on site.</p>	<p>Limiting excavation of sites for basement parking – due to the impact that basements have on the streetscape and landscaped areas and tree canopy in front setbacks it is proposed that basement car parking be prohibited for dual occupancy development unless the site has a frontage of greater than 18m.</p> <p>The impact of a basement for dual occupancy development is greater than that for a dwelling house in that it results in a significantly amount of the front setback being excavated – 6m wide x length to achieve driveway grades (refer diagram below), reducing opportunities for front setback landscaping and creating unnecessary retaining walls (up to 2.2m).</p>

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions		
Part B – Strathfield Consolidated DCP 2005		Draft Strathfield DCP 2025 – Dual Occupancy Development
Section	Existing Provisions	
	<p>12. No additional driveway can be installed without the prior consent of Council.</p> <p>13. Council may consider the construction of dual driveways on an allotment, in lieu of Council's frontage provisions for site coverage, providing:</p> <ul style="list-style-type: none"> any repositioning of an existing driveway is considered necessary for solar access to the site and/or adjoining sites; any new driveway or repositioned driveway does not involve the removal of any street trees; the streetscape will not be unduly impacted upon; and it is not possible to design a driveway on the site that allows a vehicle to be turned on site and leave the site in a forward direction. 	
2.10 Site Facilities and Water Management		
Site Drainage and Water Management	1. Stormwater runoff from all roof and paved surfaces is to be collected and discharged by means of a gravity pipe system to the Council's drainage system.	Deleted - These requirements are addressed in Council's Stormwater Management Code and do not need to be included in the DCP.

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions		
Part B – Strathfield Consolidated DCP 2005		Draft Strathfield DCP 2025 – Dual Occupancy Development
Section	Existing Provisions	
	<p>2. Where gravity drainage is not feasible to the street frontage, a private easement for stormwater drainage must be obtained to enable gravity discharge of stormwater from the site. Where private easements are used, the Certificate of Title, both of the dominant and subservient tenement, must be submitted to Council before construction certificate plans are released, to ensure that the grants of the easement have been registered and such easements must contain a clause that they shall not be extinguished without the written consent of the Council.</p> <p>3. In accordance with Council's Stormwater Management Code, the development is required to include a system of on-site stormwater detention and provision for overland flow of stormwater.</p> <p>4. A Positive Covenant under Section 88E of the Conveyancing Act will be required to be created on the title of the property detailing the on-site stormwater detention system and surface flowpaths.</p> <p>5. In accordance with Council's Stormwater Management Code the development is required to provide and regularly maintain during construction measures to prevent sediment and polluted waters discharging from the site.</p>	

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions		
Part B – Strathfield Consolidated DCP 2005		Draft Strathfield DCP 2025 – Dual Occupancy Development
Section	Existing Provisions	
	6. Pervious areas shall adjoin paved areas to reduce stormwater run-off (refer to Figure 20).	
Letterboxes	<p>Provision shall be made for street mail delivery service by Australia Post in accordance with the following:</p> <ul style="list-style-type: none"> • letterboxes are to be chosen to suit the front fence and dwelling; • deliveries will only be provided to one point at each property; • the point of delivery should entail the least possible deviation by delivery staff from the public footpath; • letterboxes shall be between 900mm and 1200mm from the ground; • letterboxes shall be included in or on the structure of the front fence or be a separate structure located within the property along the pedestrian accessway; • letterboxes are to be in clear view from the public footpath and not surrounded by trees, shrubs and rocks that make it difficult to deliver mail; and • letterboxes are to have Australia Post approved minimum dimensions which include the following: <ul style="list-style-type: none"> * 230mm wide; * 330mm long; * 160mm high; and 	Reviewed – A general control has been included under Site Facilities requiring that letterboxes be located on the frontage where the address has been allocated in accordance with Australia Post requirements.

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions		
Part B – Strathfield Consolidated DCP 2005		Draft Strathfield DCP 2025 – Dual Occupancy Development
Section	Existing Provisions	
	<p>* the slot should be the full width of the box (230mm), 30mm deep and be positioned at least 130mm above the base of the box.</p> <p>In all developments, the existing house number is to be retained. One dwelling will have an 'A' number and the second dwelling will have a 'B' number. This will also apply to development on corner allotments. A separate number will not be allocated to the dwelling house facing the secondary street. Council will advise of house numbers at the time of approval of the development application.</p>	
Clothes drying facilities	Each dwelling must contain a separate laundry of sufficient area to contain at least one washtub and clothes washing facilities - and if a clothes dryer is not provided, external clothes drying areas shall be provided. All such external clothes drying areas shall be completely screened from any public road.	Deleted – A control is not required as a laundry is required to be provided in accordance with the Building Code of Australia
2.11 Section 94 Contributions		
	Council has the ability under the Environmental Planning and Assessment Act to charge a developer/applicant a monetary contribution towards the provision of community infrastructure such as open space, traffic management and community facilities. Please refer to Council's Section 94 Developer Contributions Plan for details of contributions.	<p>Deleted – This information is not required to be included in the DCP.</p> <p>As part of the Notice of Determination, a condition relating to the relevant developer contributions is included</p>

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions		
Part B – Strathfield Consolidated DCP 2005		Draft Strathfield DCP 2025 – Dual Occupancy Development
Section	Existing Provisions	
2.12 Subdivision		
	The subdivision of attached or detached dual occupancy developments within the 2(a) Residential zone is prohibited under the Strathfield Planning Scheme Ordinance. Subdivision of dual occupancy developments within the 2(b) Residential zone only is permitted.	Reviewed – Subdivision of dual occupancy development will be permitted in accordance with Strathfield LEP 2012. Subdivision of dual occupancy development is also permitted under the Codes SEPP (Complying Development – where the dual occupancy was approved as a CDC) and the Housing SEPP (for Low and Mid-Rise Housing Areas).
2.13 Excavation of Sites		
	<p>The following guidelines refer to works that require deep excavation such as basements, cellars and in ground pools:</p> <p>1. All areas of excavation shall be setback from property boundaries in accordance with the building setbacks required in section 2.2 – Front Setbacks and Side and Rear Boundary Setbacks. No cut shall be made to the ground within the required setbacks.</p> <p>2. Where excavation work is proposed, the work shall not affect or undermine the soil stability or structural stability of any buildings on adjoining properties. Adequate precautions must be undertaken during excavation to ensure there is no soil subsidence or slip. Council encourages the consideration of soil subsidence and slip issues at the design stage of a proposed development.</p>	<p>Reviewed – Objectives and controls relating to Excavation (Cut and Fill) have been reviewed on the basis that where possible, natural ground levels and existing landform should be retained.</p> <p>A key outcome of the DCP is to ensure that development is designed to respond to the site, including the natural slope of the land.</p>

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions		
Part B – Strathfield Consolidated DCP 2005		Draft Strathfield DCP 2025 – Dual Occupancy Development
Section	Existing Provisions	
	<p>3. The provisions of the Building Code of Australia must be complied with to ensure that earthworks will be carried out safely and avoid potential damage to adjoining structures and property through soil collapsing or subsiding during building works.</p> <p>4. All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.</p> <p>5. All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.</p> <p>6. The applicant is required to produce a dilapidation report for all buildings, which adjoin proposed excavation areas.</p> <p>7. Note: The owner of the adjoining allotment of land is not liable for any part of the cost of the work carried out, whether carried out on the allotment of land being excavated or on the adjoining allotment of land.</p> <p>8. Plans prepared by a qualified Structural Engineer indicating the design details and specifications of the basement walls and excavation shall be submitted with the development application. The plans shall include sections and plan views showing the extent of excavation and setbacks from boundaries. A qualified Structural</p>	

Attachment 2 - Comparison between Part B and Proposed DCP – Dual Occupancy Development

2.0 Site Planning and Design Provisions		
Part B – Strathfield Consolidated DCP 2005		Draft Strathfield DCP 2025 – Dual Occupancy Development
Section	Existing Provisions	
	Engineer shall certify that the excavation works will not result in damage to adjoining properties.	

PE3 HUDSON PARK DRIVING RANGE: ALTERATION TO FEES AND CHARGES
AUTHOR: Paul Reid, Acting Director Planning and Environment
APPROVER: Michael Mamo, General Manager

RECOMMENDATION

1. That Council receives and approves this report on the changes to the 2024/2025 Financial Year Fees and Charges for the Hudson Park Driving Range.
2. That the proposed fee changes be put on public exhibition for 28 days.
3. That a report be brought back to Council for final approval.

PURPOSE OF REPORT

The Hudson Park Driving Range is a popular destination for golfers of all skill levels, standing out in Sydney for its highly competitive pricing. While maintaining this advantage remains a priority for Council, the current pricing is well below market rates.

REPORT

It is recommended that Council adjust the pricing model to balance affordability with revenue sustainability, ensuring the facility remains competitive while aligning more closely with market rates.

Proposed Pricing Adjustments:

- **Small and Large Bucket Prices:** Adjust small and large bucket prices in line with CPI increases, as current per-ball prices are at market range.
- **Value Cards Price Increase:** Apply a 20% price increase for the value cards to remain competitive with market prices.

The Proposed Updated Fees and Charges are as follows:

Item	Current Price for FY24-25	Proposed Changes	Increase %	Type of Fee
Small Bucket - 60 Golf Balls	\$21.00	\$22.00	CPI	User Fee
Large Bucket - 120 Golf Balls	\$32.00	\$33.00	CPI	User Fee
Value Card 10 Small Buckets	\$120.00	\$144.00	20%	User Fee
Value Card 10 Large Buckets	\$200.00	\$240.00	20%	User Fee
Value Card 20 Large Buckets	\$350.00	\$420.00	20%	User Fee

FINANCIAL IMPLICATIONS

There will be a slight increase in gross revenue related to this increase. These increases will fund the day-to-day operation of the driving range.

ATTACHMENTS

There are no attachments for this report.

PE4 RESILIENT SYDNEY: NEW STRATEGY 2025 - 2030 UPDATE
AUTHOR: Paul Reid, Acting Director Planning and Environment
APPROVER: Michael Mamo, General Manager

RECOMMENDATION

That the update on the draft Resilient Sydney Strategy 2025-2030 prepared by Resilient Sydney be noted.

PURPOSE OF REPORT

To provide an update on the new draft Resilient Sydney Strategy 2028-2030.

REPORT

Background

Council has been part of the Sydney Resilient Alliance since its inception and has been actively involved in the development of the new draft Resilient Sydney Strategy 2028-2030.

The project to develop the strategy was funded under the joint Australian Government – NSW Government National Partnership Agreement on Disaster Risk Reduction. All 33 Greater Sydney Councils wrote a letter of support for the grant application. It builds on the achievements of the first Resilient Sydney Strategy 2018.

Developing the strategy has been a truly collaborative effort. Resilient Sydney have worked closely with Greater Sydney Council, with colleagues in state and federal government, community organisations, business and academia.

They have engaged over 2000 community members and 200 organisations across Greater Sydney. All 33 Greater Sydney Councils have been involved. The process showcased the incredible depth of knowledge Councils have about Greater Sydney and our communities.

Sydney is the third city in the global Resilient Cities Network to develop a second resilience strategy, along with Paris and Rotterdam.

Draft Resilient Sydney Strategy 2028-2030

The strategy vision is – *Stronger together. Prepared for the future*. It has 30 actions across five directions. These actions aim to build the resilience of our communities and places to the increasing risks of shock events such as natural hazards and to overcome the chronic stresses such as housing unaffordability that we face. The strategy is a vehicle to support council collaboration on our collective challenges. The five directions are:

- **Direction 1 – Care for our environment**
 - *A city where we care for the environment and live sustainably*
- **Direction 2 – People-centred city**
 - *An equitable city with climate resilient neighbourhoods*

- Direction 3 – connect for strength
 - *An inclusive city that supports social connections and community agency*
- Direction 4 – be ready
 - *A city where people and organisations are prepared for shock events*
- Direction 5 – one-city
 - *A city with coordinated governance that people trust*

The strategy also includes case studies of initiatives already underway that support resilience. All Greater Sydney Councils are represented in these case studies. The strategy is supported by 4 reports that document the evidence-base – an engagement report, a youth report and the synthesis report that describes Greater Sydney's shocks, stresses and vulnerable assets.

Strathfield Council Resilience Strategy

Council staff have started developing a Strathfield specific Resilience Strategy. It is due to be completed by the end of the Financial Year 2024/2025. The strategy will focus on those stressors and shocks that are specific to our local community, the strategy will also be informed by the Resilient Sydney research already completed. Council will be briefed on the draft strategy during its development and community engagement.

FINANCIAL IMPLICATIONS

Proposed Expenditure: \$0

There are no financial implications.

ATTACHMENTS

1. [Draft Resilient Strategy 2025 - 2030](#)

Stronger together.
Prepared for the future.



Resilient Sydney Strategy
2025–2030



RESILIENT SYDNEY

**RESILIENT SYDNEY**

A program for metropolitan Sydney in New South Wales in Australia, to build the capacity of individuals, communities, institutions, businesses and systems to survive, adapt and thrive in the face of chronic stresses and acute shocks.

Resilient Sydney is a regional collaboration of the 33 local governments of Greater Sydney, aligned to the global Resilient Cities Network. The Resilient Sydney Office is funded by local government and hosted by the City of Sydney.

www.resilientsydney.com.au

RESILIENT CITIES NETWORK

Resilient Cities Network is a global urban resilience network of cities, bringing together global knowledge, practice, partnerships, and funding to empower members to build safe and equitable cities for all.

www.resilientcitiesnetwork.org

The development of the resilient Sydney strategy 2025 – 2030 was funded under the joint Australian Government – NSW Government national partnership agreement on disaster risk reduction.

Although funding has been provided by both the Australian and NSW governments, the material contained herein does not necessarily represent the views of either government.

RESILIENT SYDNEY

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RESILIENT SYDNEY

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RESILIENT SYDNEY

Acknowledgment of Country



We acknowledge the Traditional Custodians of Dharug, Dharawal, Gundungurra, Darkinjung, Gadigal, Wangal, Bidjigal, and Gamarragal Ngurra – the land, waters and sky of this place we now call Sydney.

We pay respect to Aboriginal and Torres Strait Islander Elders, past and present.

We recognise that this always was and always will be Aboriginal land.

“We are each only here for a short time but Country is always here.”

Photo: Elders and Youth Workshop Marrickville Resilient Sydney

6

Statements about Country

Statement from inner Sydney

“Healthy Country is clear sky, fresh air, clean water, no pollution, animals and plants revitalised and growing, people living in balance with the environment.

Connecting to Country and nature is important for our health and mental wellbeing. Healthy Country makes us feel relaxed, peaceful, calm, liberated, enlightened, happy and free. We have evolved to be connected to Country.

To clean up Country, we need opportunities to be involved and be listened to. The Government must find new ways of doing things.

We have strong voices and are united. So listen to us, and take us seriously.

Healthy people need healthy Country. All of us, all backgrounds and all cultures.”

Developed on Gadigal Ngurra in Marrickville by First Nations people from Dharawal, Dharug, Gamilaroi, Wiradjuri, Murawari, Ualarai, Wailwan and Bundjalung Country who live in Sydney.

Statement from western Sydney

We want a peaceful city where people can enjoy life.

We need more nature in our lives. Trees have value. They are important in cities. Sitting under trees makes us happy.

We need access to Country, including our national parks. Connecting to Country is something that everyone deserves. We need to be able to walk on Country.

We need to share our knowledge on caring for Country. Education is essential. Listening and learning is for everyone in the community, no matter their cultural background. It's everybody's right and responsibility.

Western science needs to be combined with Aboriginal knowledge in caring for Country and urban planning. Funding needs to reach and benefit the people on the ground.

As Aboriginal people in Western Sydney, we are a diverse community affected by over 230 years of colonisation, we need governments, policy-makers and all decision-makers to listen to us and include us.

We can't change the past. But we can build a better future.

Developed on Dharawal Ngurra in Picton by First Nations people from Dharawal, Wiradjuri, Gamilaroi, Kunga, Awabakal, Ngunnawal and Torres Strait Country who live in Sydney.

RESILIENT SYDNEY

Message from Greater Sydney mayors

Local government plays a critical role in supporting place-based resilience.

The resilience challenges facing Greater Sydney cannot be solved individually. They require a collaborative effort from local, state and federal governments, business and community.

The Resilient Sydney Strategy provides a pathway for collaboration to make Greater Sydney more resilient now and in the future.

Working together, in genuine partnership, will ensure Greater Sydney is a place where all communities thrive.

Clover Moore AO
City of Sydney

Edward McDougall
Bayside Council

Brad Bunting
Blacktown City Council

Mark Greenhill OAM
Blue Mountains City Council

John Faker
Burwood Council

Ashleigh Cagney
Camden Council

Darcy Lound
Campbelltown City Council

Bilal El-Hayek
City of Canterbury-Bankstown

Michael Megna
City of Canada Bay

Martin Zaiter
City of Parramatta

Trenton Brown
City of Ryde

Ola Hamed
Cumberland City Council

Frank Carbone
Fairfield City Council

Elise Borg
Georges River Council

Les Sheather
Hawkesbury City Council

Warren Waddell
Hornsby Shire Council

Zac Miles
Hunters Hill Council

Darcy Byrne
Inner West Council

Christine Kay
Ku-Ring-Gai Council

Merri Southwood
Lane Cove Municipal Council

Ned Mannoun
Liverpool City Council

Ann Marie Kimber
Mosman Council

Zoë Baker
North Sydney Council

Sue Heins
Northern Beaches Council

Todd Carney
Penrith City Council

Dylan Parker
Randwick City Council

John-Paul Baladi
Strathfield Council

Jack Boyd
Sutherland Shire Council

Dr Michelle Byrne
The Hills Shire Council

William Nemesh
Waverley Council

Tanya Taylor
Willoughby City Council

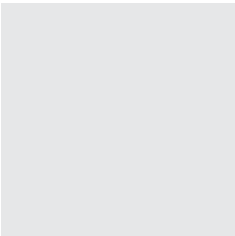
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Wollondilly Shire Council

Sarah Swan
Woollahra Municipal Council

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RESILIENT SYDNEY

Steering Committee message

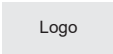


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NSW Reconstruction Authority



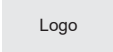
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National Emergency Management Agency



Resilient Cities Network



Source: Resilient Cities Network

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Photo: bara, Monument to the Eora by Judy Watson / Chris Southwood

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RESILIENT SYDNEY

Strategy overview

Resilient Sydney is a collaboration of 33 Greater Sydney councils working with state and federal government partners, business, academia and community to strengthen the resilience of our city.

City resilience is the capacity of individuals, communities, institutions, businesses and systems within a city to survive, adapt and thrive no matter what kinds of chronic stresses and acute shocks they experience.

The Resilient Sydney Strategy includes an evidence-based and locally endorsed set of strategic directions to support collaborative action and increase the resilience of Greater Sydney to shocks and stresses.

Direction 01

Care for the environment

A city where we care for the environment and live sustainably

- 1 Embed First Nations knowledge and practices in land management
- 2 Connect and protect green and blue places
- 3 Increase tree canopy and habitat across Greater Sydney
- 4 Increase biosecurity awareness
- 5 Secure the future of Sydney's water supply
- 6 Support electrification and the energy transition
- 7 Improve the security of Greater Sydney's food systems
- 8 Address Greater Sydney's waste crisis

Direction 02

People-centred city

An equitable city with climate resilient neighbourhoods

- 9 Plan and design places to withstand increased natural hazards
- 10 Improve the heat resilience of communities in Greater Sydney
- 11 Increase and improve affordable rental housing
- 12 Better connect communities with active and public transport
- 13 Create inclusive and welcoming public places

Vision

**Stronger together.
Prepared for the future.**

Mission

Collaborate to manage risk and build resilience in Greater Sydney through knowledge sharing, capacity building and planning for our communities, infrastructure, and natural environment.

Direction 03

Connect for strength

An inclusive city that supports social connections and community agency

- 14 Embed dignity principles in leadership and engagement
- 15 Replenish resilience through creative and cultural expression
- 16 Support First Nations self-determination
- 17 Facilitate community-led action
- 18 Engage children and young people in decision-making about the future and their wellbeing
- 19 Measure and value social capital
- 20 Facilitate inclusive access to social infrastructure

Direction 04

Be ready

A city where people and organisations are prepared for emergencies

- 21 Embed people-centred emergency planning
- 22 Research community preparedness and support coordinated campaigns
- 23 Improve emergency awareness in apartment buildings
- 24 Coordinate and encourage volunteering
- 25 Collaborate to be better prepared for emergencies

Direction 05

One city

A city with coordinated governance that people trust

- 26 Promote and participate in collaborative governance and engagement for Greater Sydney
- 27 Adopt region-wide data and tools
- 28 Enhance the Resilient Sydney data platform
- 29 Strengthen the resilience of council assets
- 30 Galvanize resilience across Greater Sydney

RESILIENT SYDNEY

RESILIENT SYDNEY

Snapshot of Greater Sydney

Greater Sydney encompasses the Blue Mountains to the west, the Hawkesbury River to the north, Lake Burragorang and the Royal National Park to the south. Home to 5.3 million people from more than 200 cultures, the region covers approximately 12,370km².

People

5,231,147 People

66% of NSW's and 21% of Australia's population

Density of

429
per square km

25/sq km

in Hawkesbury v. 8,173/sq km

in City of Sydney

GDP of

\$473,282 billion

68% of NSW GDP,

25% of Australian GDP

Over 200 cultures

41% of residents
born overseas

Place

33 local government areas

2287 MW

solar PV coverage
across Greater Sydney
rooftops

21.7%

canopy cover
across the Metro
Urban Area

Emissions of

45 M tonnes CO₂-e

(trending down by 8% since 2014)

River systems and catchments

3 major catchments | 9 rivers | over 100 creeks



RESILIENT SYDNEY

Resilient Sydney

Who we are

Resilient Sydney is a collaboration network of all 33 Greater Sydney councils. Resilient Sydney is guided by a regional steering committee representing councils from across Sydney, state government, business and community stakeholders. We are a member of the global Resilient Cities Network. The program began in 2015 and the first resilient Sydney strategy was published in 2018.

The strategy aimed to increase the capacity of people, communities, businesses, institutions and systems in Greater Sydney to survive and adapt in the face of acute shocks events and ongoing stresses.

A small team, led by the chief resilience officer facilitates the Resilient Sydney program. Resilient Sydney works with cities around the world to share best practice. It facilitates resilience actions through collaboration with leaders and resilience ambassadors in Greater Sydney councils.

Over the past 8 years, the resilient Sydney network has enhanced the way we understand our city and strengthened the way we work together.

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Championing local government

Local government is uniquely placed to contribute to place-based resilience. Councils have broad responsibilities, delivering stewardship of place and services for local communities across the 4 domains of resilience: natural and built environment, health and wellbeing, economy and society, and governance and planning.

Local councils work closely with their communities. They have local knowledge and relationships that enable them to play an influential role in connecting other levels of government to local communities.

Councils also bear the brunt of shock events. They work in the context of the place to plan, prepare, respond and recover from shock events – alongside their communities.

Resilient Sydney champions the role of local government. Resilient Sydney facilitates collective advocacy on shared concerns for Greater Sydney councils. We also act as a conduit connecting state and federal government to Greater Sydney councils.

Resilient Sydney invests in the capacity of all Greater Sydney councils. This supports councils to respond to resilience challenges and ensures the ongoing resilience of this critical level of government in our city.

RESILIENT SYDNEY

Our achievements

Since the resilient Sydney strategy was launched in 2018 we have:

Mayoral summits

on key issues including affordable housing, waste and emergency planning

380+ people

using the resilient Sydney data platform

32 councils

participating in annual campaigns for emergency preparedness

21 councils

with net zero targets for their communities

19 councils

with resilience plans

18 councils

with reconciliation action plans (RAPs)

16 councils

with urban forest plans

9 councils

with emergency dashboards

8 councils

with affordable housing contribution schemes

6 councils

reviewing resilience of their assets

City resilience

City resilience is the capacity of individuals, communities, businesses and systems in a place to survive, adapt and thrive no matter what shocks and stresses they experience.

Over 100 cities around the world have a resilience strategy.

Sydney along with Paris and Rotterdam is now implementing our second strategy.

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RESILIENT SYDNEY

Resilient Sydney collaboration in action



Greater Sydney Heat Taskforce and heat smart city plan

The Greater Sydney Heat Taskforce began in 2023 to address the risk of extreme heat in Greater Sydney. Developing the heat smart city plan involved 370 people from 40 organisations. It is the first plan of its kind for Sydney and includes governance, planning, education and awareness, and economic actions.

Collaborators include:

- state departments, agencies and utilities including health, planning, infrastructure and community sectors
- federal environment and emergency management agencies
- Business Western Sydney
- Australian Red Cross, Sweltering Cities and other non-government organisations
- academics from Western Sydney University and Sydney University

- councils including Blacktown City Council and Liverpool City Council.

The project has also delivered a:

- heat risk methodology for assessing community risk including a digital heat-risk mapping tool
- heatwave management guide for local councils on key interventions they can take to support their communities in heatwaves
- cool suburbs assessment tool to help industry and governments rate and manage heat impacts through urban design.

The Greater Sydney heat taskforce is convened by the Western Sydney Regional Organisation of Councils (WSROC) and Resilient Sydney. The heat taskforce was funded under the joint Australian Government-NSW Government national partnership agreement on disaster risk reduction.

Photo: Greater Sydney Heat Taskforce launch the heat smart city plan, 2024 / WSROC

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RESILIENT SYDNEY

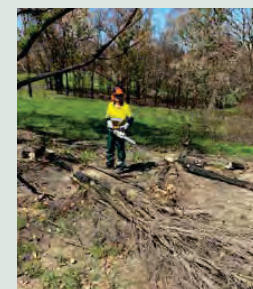


Resilient Sydney data platform

The resilient Sydney platform project started in 2019, delivering Greater Sydney councils with action-oriented, consistent data and visualisation reports. The practical reports help councils understand, benchmark, monitor and compare the environmental footprint and community sustainability performance of their regions. The platform provides access to data at metropolitan, local government area and suburb levels for environmental impacts, renewables trends and transport use.

The platform now hosts more than 10 years of data, enabling councils to efficiently understand trends, opportunities and progress against environmental commitments. There are more than 380 local government users of the platform, supported by more than 5,000 hours in training to date.

Photo: (left) Noah Dawson, Department of Planning, Housing and Infrastructure / (middle) Inner West Council / (right) Front cover NSW Department of Premier and Cabinet, "Building social cohesion: A resource for local government, 2023



Local government bushfire recovery network

The local government bushfire recovery support group was created in January 2020 to support recovery efforts during the severe fire season. The group includes Resilient Sydney, City of Sydney, Blacktown City Council and other supporting councils, Local Government NSW and the Office of Local Government.

The collaboration facilitated support from local governments across NSW for the first time during a major natural disaster. The group matched requests for support from affected councils with offers from unaffected ones. By June 2020, 106 requests and 556 offers had been made.

The group now involves various partners including the Office of Emergency Management and is ready to mobilise in future shock events.



Partnering with local government to strengthen social cohesion

Social cohesion is a key feature of resilient communities. Councils, through place-based initiatives and strong relationships with their local communities, are well-positioned to nurture and strengthen social connections and cohesion. The NSW Department of Premier and Cabinet, in collaboration with Resilient Sydney, commissioned Cred Consulting to create a pilot program to support the role local government plays in building social cohesion. Building social cohesion: a resource for local government is a comprehensive toolkit identifying the 6 roles councils play to strengthen social cohesion and measure the outcomes of their initiatives. The resource was developed with input from more than 100 NSW councils and a review of international frameworks and best practice case studies.

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RESILIENT SYDNEY

Shocks and stresses facing Greater Sydney

Shocks

Shocks are sudden events that disrupt a city. Shocks include natural hazards such as heatwaves and floods, international crises such as economic crisis or disease pandemic, and critical infrastructure failures. When planning for city resilience, it is important to consider the cumulative effects from multiple shock events.



Resilient Sydney undertook a comprehensive resilience risk assessment alongside community engagement to identify the priority shocks and stresses facing Sydney. The detailed outcomes are available in the synthesis report and community engagement reports.

Shocks for Greater Sydney

International crisis

- | | |
|---|--|
|  Economic crisis |  Cyberattack |
|  War & conflict |  Disease outbreak |

Natural hazards

- | | |
|---|---|
|  Heatwaves |  Storms |
|  Bushfires |  Coastal hazards |
|  Flooding | |

Critical infrastructure failure

- | | |
|--|---|
|  Energy |  Water |
|  Transport |  Waste |
|  Digital networks |  Shelter |

Source: Resilient Sydney

RESILIENT SYDNEY

Stresses

Stresses are ongoing challenges. They include unaffordable housing and cost of living pressures that weaken the ability of the city and communities to respond to and recover from shock events. It is important to consider how stresses increase the vulnerability of people, places and economies to shock events.

To inform the strategy, Resilient Sydney identified top stresses through community engagement and a comprehensive resilience risk assessment.






Stresses for Greater Sydney

Stresses that increase vulnerability for individuals and communities relating to geography and demographics

Inequity

- | | |
|---|--|
|  Health services |  Education |
|  Housing |  Cost of living |
|  Transport | |

Wellbeing

- | | |
|---|--|
|  Mental health |  Family violence |
|  Chronic health conditions |  Social isolation & lack of community connections |
|  Racism & vilification | |

Stresses that undermine the ability of the city to function effectively and manage increasing risks

Governance

- | | |
|--|---|
|  Fragmented governance |  Environmental degradation |
|  Reducing social cohesion |  Disrupted supply chains |
|  Low trust | |

RESILIENT SYDNEY



Shocks and stresses in different parts of Greater Sydney

Both the resilience risk assessment and community engagement indicated that different parts of Sydney face different shocks and stresses. The publicly available geospatial data used in the resilience risk assessment has been shared with councils and is available in the full risk assessment report. This gives a more granular account of natural hazard shocks relevant to specific parts of Greater Sydney.

The evidence base identified that geographic and economic inequality is increasing in Sydney. The first five stresses relate to inequity of access to services and opportunities and the increased likelihood of experiencing these stresses as a result of living in western parts of Sydney.

Photo: Andrew Merry

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Many resilience responses identified in this strategy such as building social connections, strengthening asset management and improving collaboration are shock agnostic. Most actions in the strategy focus on addressing stresses and vulnerabilities to strengthen the resilience of Greater Sydney to all shock events. This is also important to building resilience to the cascading and compounding nature of major shocks – that is where communities experience multiple shocks and stresses as a result of the initial event.

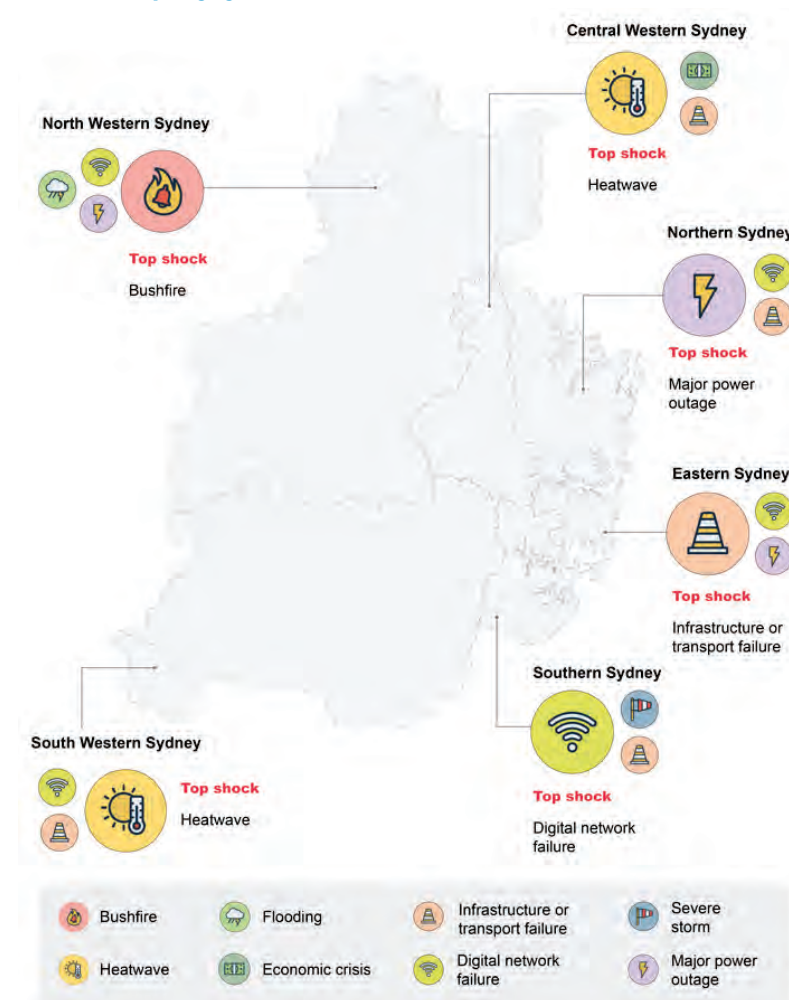
Where specific natural hazard risks are high, local councils in collaboration with the NSW Government and Resilient Sydney are developing and implementing hazard-based action plans.

For example, data indicates that communities in western Sydney are more likely to be exposed to extreme heat. Specific actions to address heatwaves are identified in the heat smart city plan, a collaboration between the WSROC, Resilient Sydney, state government agencies, academics and community organisations.

Another example, is north western Sydney which is significantly affected by flood risk. Specific actions to mitigate the impact of floods on these communities are identified through the Hawkesbury Nepean Valley disaster adaptation plan led by the NSW Reconstruction Authority.

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Shocks across Greater Sydney identified in community engagement



Source: Cred Consulting

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Developing the strategy

Four main drivers of change are now shaping human societies: **globalisation, urbanisation, climate change and digitalisation.**

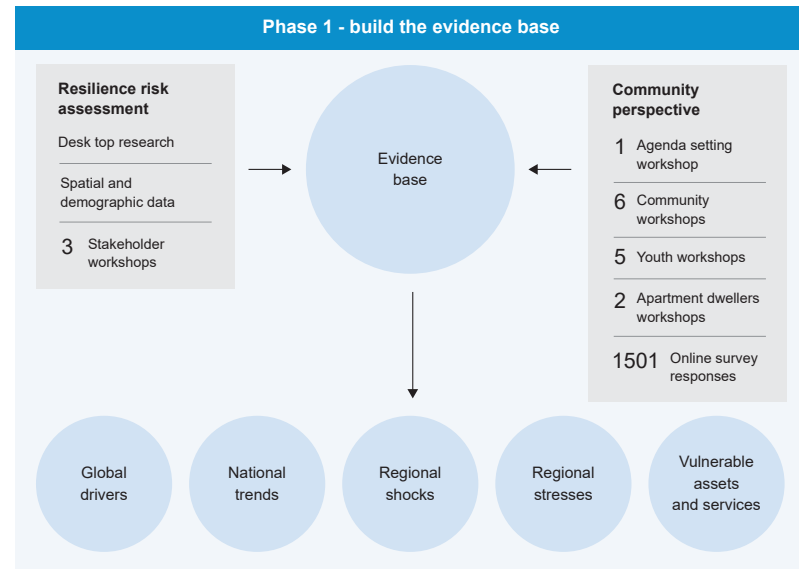
The city resilience framework is an internationally recognised way to understand how cities are changing and how we can strengthen their resilience.

The city resilience framework responds to these drivers.

The framework describes the characteristics of a resilient city across 4 dimensions:

- **Health and wellbeing:** the health and wellbeing of everyone living and working in the city.
- **Natural and built environments:** the quality of the ecosystems and built infrastructure connecting and supporting the city
- **Economy and society:** the systems within the society and economy that enable urban populations to live peacefully and sustainably.
- **Governance and planning:** appropriate leadership, governance and strategy enabling the city to learn from the past and take timely action.²

The resilience risk assessment that informs the strategy was structured by the dimensions outlined in the city resilience framework. The resilience risk assessment alongside the outcomes of community engagement identified priority shocks and stresses facing Greater Sydney.



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RESILIENT SYDNEY

The strategy is based on extensive research and engagement across 4 phases to:

- 1 Build the evidence-base including priority shocks and stresses for Greater Sydney
- 2 Test the shocks and stresses and identify resilience challenges
- 3 Explore action areas to address these resilience challenges
- 4 Develop and refine actions

This process involved:

- an extensive review of current frameworks, strategies, policies and reports
- First Nations engagement with organisations, Elders and young people
- eight community workshops with 282 people across Sydney
- five youth workshops
- five multicultural roundtables
- an online survey of 1501 community members
- four workshops with resilience ambassadors from Greater Sydney councils
- three risk assessment stakeholder workshops
- sector workshops on volunteering, arts and culture and with public health workers
- deliberative panel on natural hazard risks
- a summit attended by 171 representatives from local and state government
- interviews and meetings with over 100 stakeholders and experts
- participation in 30 sector events attended by over 1200 people

Through the strategy development process, we have engaged over 2000 community members and 150 organisations. All 33 councils in Greater Sydney have been involved.



Finalising the actions

The actions in the strategy were developed with stakeholders at the Resilient Sydney strategy summit in August 2024 and in subsequent meetings.

Each action in this strategy addresses multiple shocks and stresses. The actions are spread across the four dimensions of the city resilience framework. Resilience principles have been applied to each action to ensure they:

- address multiple shocks and stresses
- build relationships and resilient behaviours for ongoing impact
- appreciate the critical roles played by different levels of government, the community and business
- can be scaled up for regional outcomes or modified to suit the local conditions.

More information about the risk assessment and engagement methodology and outcomes is in the synthesis report² and community engagement report.

Photo: Cassandra Hannagan

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RESILIENT SYDNEY

Community insights



People we consulted to develop this strategy are worried about

- having less personal resilience due to fatigue and uncertainty
- shocks and stresses affecting wellbeing and mental health
- having no control in a system that can feel uncaring
- cost-of-living pressures
- a lack of affordable and quality housing
- health and transport services
- damage to the environment and climate change.

Photo: Jacquie Manning

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People said they want

- to be better prepared for emergencies
- government to learn from lived experience
- clear and accessible government communication
- to build community connectedness and a sense of agency
- support for community leaders and local initiatives.

RESILIENT SYDNEY

Of the respondents to the online survey³

- 91%** said housing was not affordable and did not meet people's needs
- 84%** felt that there was unequal distribution of wealth in Sydney
- 59%** of those who live in southwest and northwest Sydney said it was not easy to move around Sydney by public transport and walking
- 53%** felt that government was not accountable and did not provide clear information to the public
- 36%** agreed that Sydney is welcoming and connected
- 26%** felt that Sydney is prepared for a crisis
- 20%** agreed that different levels of government work well together to managed our city

Perspectives from groups in the community³

- First Nations people stressed the importance of caring for Country, respecting and protecting cultural knowledge, and working with Aboriginal-controlled organisations
- young people were concerned about the impact of misinformation, polarisation and disinformation, and the lack of action on climate change
- multicultural communities called for collaboration and support for community leaders and initiatives
- multicultural communities identified that shock events provide opportunities for greater exploitation and social division
- apartment residents said they were not well prepared for emergencies in their buildings, and many did not know their neighbours.

The communities' role in responding to natural hazard risks

Resilient Sydney convened a deliberative panel of 50 people randomly selected from across Sydney. They identified 8 key roles communities should play in responding to the growing risks of natural disasters.

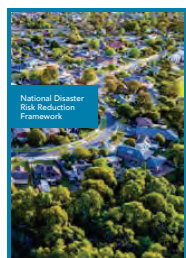
1. Be personally prepared for natural disasters.
2. Understand and plan for increasing risks in your area (including learning from experiences elsewhere).
3. Build community connections and support each other, including vulnerable community members.
4. Take part in decisions about reducing the impacts of disasters and hold government to account.
5. Take part in decisions about responding to disasters when they happen and hold government to account.
6. Help all groups in the community have their voices heard, including vulnerable community members.
7. Be part of community projects and activities.
8. Recognise and draw experience from First Nations people's wisdom.

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RESILIENT SYDNEY

Australian frameworks for resilience

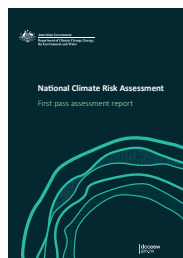
In developing the strategy, consideration has been given to relevant federal and state frameworks and climate projections.



The national disaster risk reduction framework guides national, whole-of-society efforts to reduce risks and minimise the loss and suffering caused by natural disasters.



The 2023 critical infrastructure resilience strategy provides a framework for how industry, state and territory governments, and the Australian Government work together to strengthen the resilience of critical infrastructure.



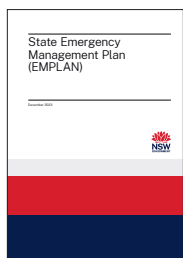
The national climate risk assessment (first pass) identifies current and future climate change risks.



The state disaster mitigation plan (SDMP) informs the state's mitigation and adaptation planning approach to natural hazard risks.



The NSW and Australian regional climate modelling (NARCIIM) project release the new projections – NARCIIM2.0 in late 2024. These projections provide plausible future climate change impacts for the Greater Sydney region.



The State Emergency and Rescue Management Act 1989 governs the state's emergency management arrangements.

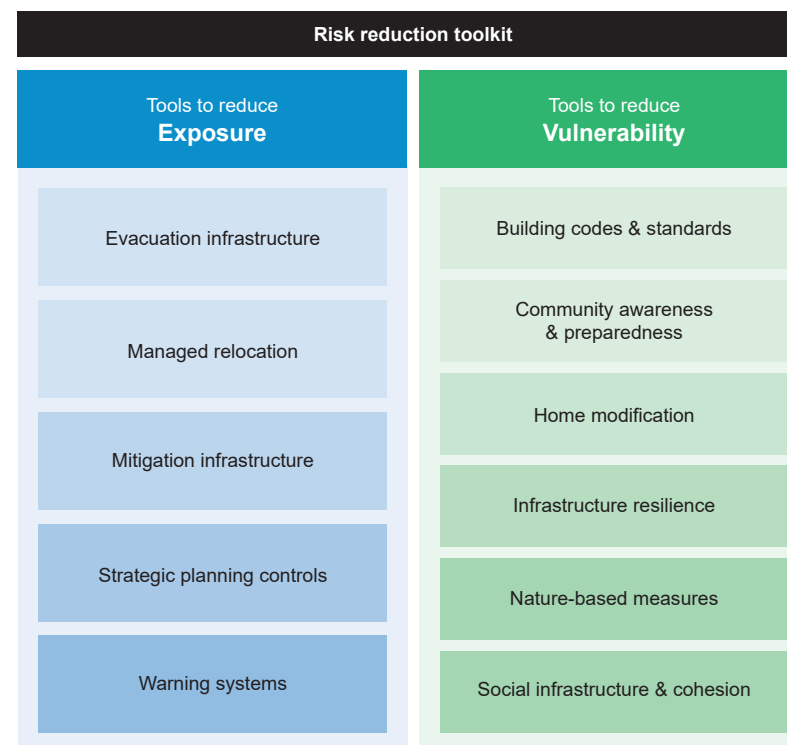
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RESILIENT SYDNEY

Aligning with the State Disaster Mitigation Plan

The state government is implementing a disaster mitigation and adaptation framework directed by the NSW Reconstruction Authority Act 2022⁷. The SDMP provides a toolkit for reducing exposure and vulnerability to natural hazards. Actions in the resilient Sydney strategy have been mapped to the toolkit and enablers (collaborative governance, funding, capacity and capability, data and insurance) to demonstrate how the strategy aligns with the SDMP.

State disaster mitigation plan – toolkit⁷



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Implementing the strategy together

The Resilient Sydney approach

Role of the Resilient Sydney office and network

The resilient Sydney office coordinates and supports action across local government and with state and federal agencies to implement the strategy. The chief resilience officer and the program team will develop an implementation plan to support the delivery of actions outlined in the strategy.

The 33 local councils of Greater Sydney use the strategy as a basis for their own resilience actions embedded in their community strategic plans and other strategies and plans. Each council can select the action pathways that are most appropriate to address their place-based risks and resilience challenges.

Using the resilient Sydney ambassadors network and communities of practice, councils collaborate to leverage investment and knowledge and maximise resilience outcomes for their communities.

Collaboration for implementation

It will take a coordinated effort to achieve the resilience goals identified in this strategy. Collaboration across all levels of government, national, state and local and partnerships with business and communities will be necessary to achieve most of the goals.

Resilient Sydney will work with partners to develop an implementation plan for actions in the strategy. This plan will identify priority focus areas and key collaborators for action pathways. The implementation plan will be reviewed and updated on an annual basis to respond to system changes, challenges and priorities.

National government frameworks provide high-level strategic direction and resourcing. Relevant departments include:

- Department of Home Affairs
- National Emergency Management Agency
- Federal Department of Climate Change, Environment, Energy and Water
- Australian Human Rights Commission

There are numerous state government departments that deliver data, policy and planning to provide essential systems and services that support Greater Sydney and enhance its resilience including:

- Department of Premier and Cabinet
- NSW Reconstruction Authority
- Department of Climate Change, Energy, the Environment and Water
- Department of Planning, Housing and Infrastructure
- NSW Health
- NSW State Emergency Services
- Department of Community Justice
- Homes NSW
- Office of Local Government
- Transport for NSW
- NSW Police
- Fire & Rescue NSW
- Local Land Services
- Department of Primary Industries and Regional Development
- Office of Sport NSW

Changes to legislation and regulation by state government will be required to facilitate some of the actions in this strategy. Resourcing and support for local government will be essential to ensure state government policies, plans and targets are achieved.

There are a range of land and asset managers in Greater Sydney that play an important role in building resilience including:

- Aboriginal land councils
- NSW National Parks
- Sydney Water and Water NSW
- Energy utilities including Endeavour Energy and Ausgrid
- NSW TelCo Authority, NBN and telecommunications providers
- Department of Education
- universities
- private landowners.

Local government works closely with individuals and community groups to effectively deliver initiatives in local places. These include:

- Traditional Custodians
- Aboriginal-controlled organisations
- Australian Red Cross
- Charities, not-for-profit and community organisations
- local business networks.

Resilience Sydney also works with experts and advocates including:

- government and advisory bodies such as the NSW Net Zero Commission, the Rental Commissioner, Small Business Commissioner, Disability Council, Multicultural NSW

- council groups including Western Sydney Regional Organisation of Councils, Northern Sydney Regional Organisation of Councils, Southern Sydney Regional Organisation of Councils, The Parks - Western Parkland Councils, Sydney Coastal Councils, Parramatta River Catchment Group, Cooks River Alliance, Georges Riverkeeper and NSW Association of Local Government
- international networks including Resilient Cities Network and C40
- peak bodies and industry groups such as NSW Council of Social Services, Australian Sustainable Built Environment Council, Climate Council, Green Buildings Council, Property Council, Committee for Sydney, Owners Corporation Network, Centre for Volunteering,
- insurance sector
- business groups including Business Sydney and Business Western Sydney
- academics and research institutes including the Natural Hazards Research Australia, Sydney Environment Institute, Australian Institute for Disaster Resilience, Collaborating 4 Inclusion, Young and Resilient Research Centre, Sydney Policy Lab, Smart Green Cities Research Centre, Green Infrastructure Lab
- Advocacy and innovation groups including Sweltering Cities, Climate-KIC, and the Australian Centre for Social Innovation.

Our strategy



Vision

**Stronger together.
Prepared for the
future.**

Photo: Cassandra Hannagan

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Mission

**Collaborate to manage
risk and build resilience
in Greater Sydney
through knowledge
sharing, capacity
building and planning
for our communities,
infrastructure, and
natural environment.**

Five directions

The strategy has 30 actions across five directions.

Direction 01 – care for our environment

Focuses on how we reframe our relationship with the natural environment to value and protect it and use resources sustainably.

Direction 2 – people-centred city

Considers how we make this place safe and equitable, now and in the future, for all the people who live here.

Direction 3 – connect for strength

Proposes actions to build strong social connections and communities where we care for each other.

Direction 4 – be ready

Responds to the urgency for us to be collectively prepared for shock events by harnessing stronger relationships and empowering communities.

Direction 5 – one-city

Addresses the governance challenges facing Sydney in a way that enables the goals of directions 1, 2, 3 and 4 to be realised.

Although this strategy maps out actions to build resilience over the next 5 years, the decisions we make now, will have serious consequences for generations to come. The expectation of today's governments to improve their stewardship for the future was palpable in the youth workshops. In the words of one Aboriginal Elder, "We want to be remembered as good ancestors".

Structure of the directions

For each direction we describe the challenges facing Greater Sydney and why we need to act. We identify actions based on priorities and opportunities identified through community and stakeholder engagement and the risk assessment.

For each action we describe the specific resilience challenge and the goals we want to achieve, and outline action pathways that move us towards these goals. The pathways provide Resilient Sydney, councils and partners with options to focus effort depending on the local context and current priorities.

For each action we describe:

- resilience challenges
- resilience goals
- action pathways
- priority shocks and stresses addressed by the action
- alignment with the state disaster mitigation plan toolkit
- case studies of existing initiatives demonstrating action pathways.

**"We want to be
remembered as good
ancestors".**

First Nations Elder

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RESILIENT SYDNEY

Direction 01

Care for the environment

A city where we care for the environment and live sustainably



Photo: Julie Vulcan

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RESILIENT SYDNEY

Greater Sydney has incredible natural beauty and ecologically significant environments. We rely on our healthy natural environments for clean water and air, and our green (parks and reserves) and blue (creeks, waterways and beaches) places to sustain the wellbeing of the people who live here. Healthy natural environments can better withstand and mitigate the impact of shock events such as heatwaves and flooding. However, human activities over our city's history have degraded the land and waters of Sydney. Urbanisation continues to encroach on our bushland.

The environment of Greater Sydney is also under pressure from climate change. Since the pre-industrial period, NSW has warmed by 1.4 to 1.6°C which is 1.4 times faster than the global average¹⁰. The risk assessment identified escalating threats to Greater Sydney's natural places and ecosystems. Current environmental and biodiversity policies and legislation in NSW are not strong enough to protect the natural environment¹¹.

People are currently using more resources than the planet can sustain (CSIRO, n.d.) with wealthy nations consuming the most. The global economy has begun to change to more sustainable living by decarbonising energy systems and using more renewable energy sources. However, we also need to manage other key resources sustainably including water, food and waste. Urban-built environments with "greater densities of people create very large stocks and flows of resources". This is an opportunity to rebalance society's relationship with resources (CSIRO, n.d.).

Caring for the environment was a strong theme in consultations. People spoke about the healing effect of spending time in natural places, particularly during the pandemic. They expressed grief at environmental loss and damage. First Nations people described environmental loss as a threat to their culture (Resilient Sydney, 2024). People raised the need to improve equitable access to nature and green and blue places in Greater Sydney (Resilient Sydney, 2024).

Since the pre-industrial period, NSW has warmed by 1.4–1.6°C, 1.4 times faster than the global average.

(CSIRO 2021)

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RESILIENT SYDNEY



Caring for Country

Photo: Katherine Griffiths

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For First Nations people, Country takes in everything within the physical, cultural and spiritual landscape. It includes:

- landforms, waters, air, the sky and sacred places
- trees, rocks, plants, animals, foods, medicines, minerals
- cultural practice, kinship, knowledge, ceremony, songs, stories and art, spiritual beings, and people – past, present and future (Local Land Services, 2023).

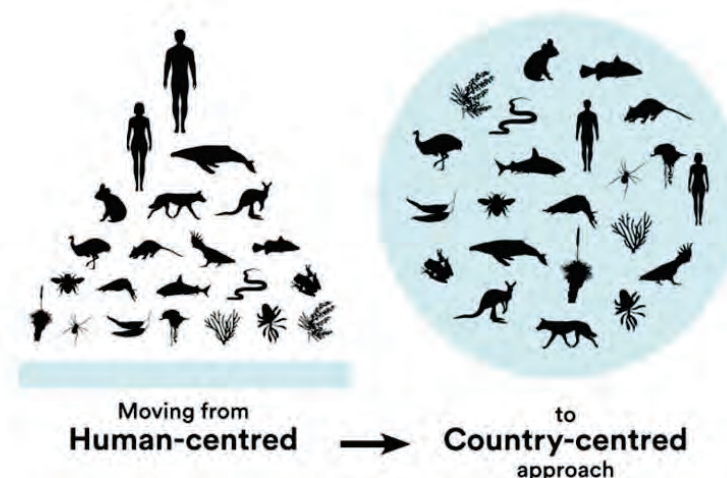
Caring for Country enables self-determination for Aboriginal and Torres Strait Islander people living in Sydney and underpins their wellbeing. Consultations identified the importance of elevating First Nations voices in decision-making to heal and care for Country.

One way of thinking about caring for Country is to move away from a human-centred approach and toward a Country-centred approach.

RESILIENT SYDNEY

Figure 1: Taking a Country centred approach⁷

Image: Diagram from Connecting with Country Framework adapted from German architect Steffen Lehmann's 'Eco v Ego' diagram, 2010.



First Nations' approaches to caring for Country include:

- cultural burning practices to restore healthy ecosystems and support native flora and fauna
- native food and medicine collection and harvesting
- management of unique habitats such as coastal dunes and middens
- protection and maintenance of culturally significant sites
- sharing lore and culture on Country.

Diagram source: AECOM, Greater Sydney Resilience Risk Assessment Report / Resilient Sydney 2024

We all benefit from caring for Country. Caring for Country builds community connections and a shared understanding of place by bringing people together to learn about and care for their local environment. Healing and restoring green and blue places in Greater Sydney will protect biodiversity. It will improve equitable access to healthy natural places for the people who live here.

Local initiatives can:

- grow and maintain healthy trees and habitat to cool our streets and public places
- better care for small, fragmented parcels of land. For example, 36% of green

space in Australian cities is made up of street verges (Government Architect NSW, 2024).

- significantly increase the biodiversity of neighbourhoods across Greater Sydney
- raise awareness about the threats to our environment
- engage more people in caring for Country.

Greener neighbourhoods support physical and mental wellbeing. (Magdalena van den Berg, 2015) When modern land management is informed by First Nations knowledge of Country we will all be better able to care for this place.

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RESILIENT SYDNEY

Managing resources to increase resilience



"The transition towards sustainable and resilient societies will ultimately depend on the responsible management of the planet's finite natural resources". Yet globally, we continue to use ever-increasing amounts of natural resources.

"The global material footprint rose from 43 billion metric tons in 1990 to 92 billion in 2017—an increase of 113% since 1990". Water, energy and agricultural land are not managed sustainably. Moving to a circular economy and using less resources are key to avoiding further environmental degradation and ecosystem collapse.

Global material footprint

92 billion

Metric tons in 2017

113% increase

From 43 billion metric tons in 1990.⁹

Photo: CUHRIG

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Water

Greater Sydney relies heavily on **a single surface water reservoir for 85% of its drinking water supply**⁴.

Rain, droughts, and bushfires are happening more often and with more intensity. Risk of contamination, reduced supply and poor water quality is growing along with the need for more treatment and alternative sources. This raises the cost of our water supply.



Energy

Our energy system is undergoing a transformation. However the benefits are not equally shared. **Greater Sydney needs a resilient grid with electrification benefiting all.**

We need to accelerate the decarbonisation of our buildings and transport. We must also ensure the grid is able to respond to increasing demands. Efficiency, smart demand management, building ratings and support for electrification is required to balance demand for new renewable energy infrastructure.

Pressure is growing on governments, institutions, and businesses to transition to net zero emissions. At the same time, damage to powerlines from extreme weather events and demand during heatwaves have increased pressure on the energy network and become the leading causes of power outages.



Food production

About one third of the food produced for human consumption each year is lost or wasted, most of it in developed countries.

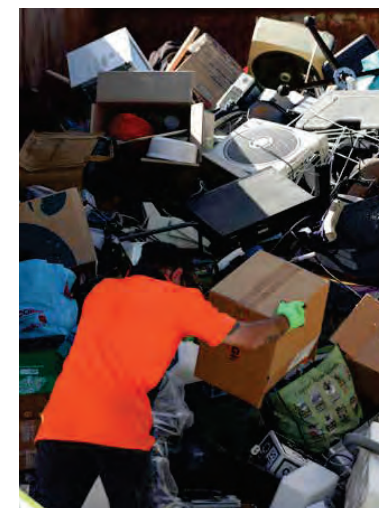
In the Sydney basin, continued urbanisation is predicted to reduce food production by 60% between 2011 and 2031. This loss of production will reduce Greater Sydney's food self-sufficiency from 20% to 6% by 2031. Fresh, nutritious food continues to become less affordable. Foodbank reported a 47% increase in requests for food relief from charities in Greater Sydney in 2020 compared to 2019.

60% reduction in food production between 2011-2031

In the Sydney basin, due to urbanisation

Only 6% food self-sufficiency by 2031

in Greater Sydney



Waste management

The state government has recently acknowledged that **Greater Sydney will run out of landfill space by 2030**¹⁰.

Globally and locally, people are creating more waste, and its disposal is a growing concern.

The waste management system is sensitive to disruptions. The failure of critical waste infrastructure may lead to pollution or contamination affecting the health of people and the environment. Shock events such as floods and disease outbreaks often create more waste. Waste disposal is an increasing cost for local government.

Local governments within Greater Sydney have begun to implement food organics and garden organics waste management to reduce the volume of waste to landfill.

Photo: (left) Chris Southwood / (right) Mark Metcalf

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RESILIENT SYDNEY

Action 01

Embed First Nations knowledge and practices in land management

Shocks & stresses



Bushfires



Coastal hazards



Mental health



Racism & vilification



Social cohesion



Environment degradation

Resilience challenge

Current land management systems do not support caring for Country. Administrative and regulatory barriers restrict access and cultural practices on most land in Greater Sydney. Thousands of years of knowledge held by Traditional Custodians should be better valued and applied in caring for Sydney's increasingly vulnerable ecosystems.

State Disaster Mitigation Plan alignment

- Nature-based measures
- Social Infrastructure and cohesion

Resilience goals

The connections to Country of First Nations people are nurtured through access to Country, sharing the stories of Country and caring for Country.

Knowledge and practices to care for Country are protected, restored and shared creating economic opportunities and ensuring future generations can practice culture.

Country is better cared for and healed, improving the resilience of Sydney's natural ecosystems.

Aboriginal-led governance in genuine partnership with land managers and local communities builds a shared responsibility for the wellbeing of Country.

RESILIENT SYDNEY

Action pathways

1

Advocate for funding and management agreements that enable First Nations-led stewardship of land in Greater Sydney.

2

Advocate for research to quantify the social, economic and environmental benefits of First Nations land management to inform policy and practice in Greater Sydney.

3

Collaborate with Traditional Custodians and First Nations organisations including Aboriginal land councils to understand and reduce the barriers to caring for Country created by current administrative and regulatory processes.

4

Provide opportunities for councils and other land managers to experience and engage in First Nations land management practices.

5

Support councils to reinstate the original Aboriginal language names through dual-naming of geographical features in Greater Sydney.

6

Encourage the development of caring for Country plans across Greater Sydney by promoting current examples including the Cumberland Plains Caring for Country Aboriginal outcomes strategy 2024.

7

Create and share a capability matrix for councils to inform their caring for Country goals and activities.

8

Share and promote the 'connecting with Country' (Government Architect NSW, 2023) framework to plan, design and deliver built-environment projects.

RESILIENT SYDNEY

Case study



Caring for vulnerable coastal sites

In the Sutherland Shire, the community plays an important role in caring for the environment. There are 485 bushcare volunteers looking after 109 sites. Aboriginal Heritage Officer, Graham Avery, leads free cultural tours at Sutherland Shire community nursery, building knowledge about Dharawal culture and language within the local community and for council staff.

Sutherland Shire Council has constructed an elevated walkway at Grays Point to protect the significant Aboriginal shell midden, the critically endangered littoral rainforest, and endangered celtis leaf beetle population (*menippus darcy*).

The Sutherland Shire Council community nursery has propagated 300 of *Celtis paniculata* (native celtis) seedlings, to support this local rainforest ecosystem.

Sutherland Shire Council

*Links to relevant websites for case studies are provided in appendix

Photo: (left) Aboriginal Cultural Officer, Graham Avery with a native celtis tree / Resilient Sydney / (right) Michael Middleton, Biodiversity Manager and Greg McCarthy, Head of Environmental Health and Compliance from Penrith City Council supporting a Cultural Burn in Penrith on Dharug Ngurra / Resilient Sydney

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Caring for Country with cultural fire

Dharug, Gundungarra and Dharawal Traditional Custodians are leading cultural burns in Western Sydney. Councils and agencies are working with Traditional Custodians and cultural fire experts such as Firesticks Alliance to support the re-emergence of this critical approach to caring for Country.

Cultural burns are being conducted as part of the Cumberland Plain conservation plan. One example is the cool burns of grassland at the defence establishment in Orchard Hills to reduce weed species and promote native grassland ecosystems. Blue Mountains council has also established a pathway for Traditional Custodians to request cultural burns and for council to undertake this practice on their land.

The approach promotes deep cultural learning. It connects Traditional Custodians and First Nations communities with landowners and managers through a hands-on approach to caring for Country. It builds capacity to apply cultural fire to heal ecosystems in Greater Sydney. It brings another critical layer of knowledge about fire in Australia to the state agencies who manage bushfire risk.

Blue Mountains, Penrith, Liverpool, Campbelltown and Wollondilly councils, Department of Planning, Housing and Infrastructure, Greater Sydney Local Land Services, NSW National Parks.

RESILIENT SYDNEY

Case study



Eastern suburbs banksia scrub

Eastern suburbs banksia scrub (ESBS) is a critically endangered ecological community along Sydney's coast. This ancient plant community once grew across 5,300 hectares of land between North Head and the Royal National Park in Sydney. Today, less than 146 hectares remain.

Indigigrow is a 100% Aboriginal owned and operated not-for-profit wholesale native plant nursery based at La Perouse Primary School and Matraville Sports High School. Indigigrow employs young Aboriginal apprentices in horticulture to collect seeds and cuttings from ESBS remnants and propagate local plants. These young people are now driving the revival of ESBS.

Photo: Indigigrow

To help speed up the process of restoring coastal habitat, Indigigrow went fully wholesale to the public to make local native plants affordable and accessible for everyone.

There are significant remnants of ESBS in Randwick council area including Malabar Headland, La Perouse and Randwick Environment Park which has a walk with interpretive signage so people can easily learn more about this unique Sydney ecosystem.

Indigigrow, Randwick Council, Greater Sydney councils

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RESILIENT SYDNEY

Action 02

Connect and protect green and blue places

Shocks & stresses



Resilience challenge

The environment in Greater Sydney is under more pressure as urban areas, infrastructure and climate change impacts increase. People rely on the natural environment for their wellbeing. However, there is inequitable distribution of, and access to, parks and reserves (green places) and creeks, waterways and beaches (blue places) across Greater Sydney (Aecom, 2024) (Resilient Sydney, 2024).

State Disaster Mitigation Plan alignment

- Mitigation infrastructure
- Nature-based measures
- Infrastructure resilience
- Social infrastructure and cohesion

Resilience goals

Connected high-quality green and blue places support the wellbeing of people through more opportunity for recreation, active transport and spending time in nature.

Interconnected green and blue networks support greater biodiversity, protect ecological integrity and increase natural habitats and riparian corridors across Greater Sydney.

There is collaboration across governments to design, implement, and maintain nature-based measures to improve resilience of ecosystems and environments in Greater Sydney.

Greater Sydney has a region-wide plan to map, protect and enhance a sustainable network of green and blue places.

RESILIENT SYDNEY

Action pathways

1

Advocate for state government to include minimum standards for green and blue infrastructure (eg parks, gardens, street trees, green walls and roofs, ponds, swales and rain gardens) in strategic planning and assessments of developments.

2

Promote collaboration between councils, state government and river and coastal alliance groups to systematically record, track and sustainably manage green and blue infrastructure. This includes identifying more land and waterways that can be acquired or rehabilitated to strengthen green and blue networks.

3

Identify opportunities for councils, Aboriginal land councils, state government and private land managers to partner with each other on green and blue infrastructure projects.

4

Build on the Department of Planning, Housing and Infrastructure framework for valuing green infrastructure and public spaces to better measure the value of natural assets to local economies and to physical, mental, social and cultural wellbeing.

5

Collaborate with councils, river and coastal alliance groups and other landowners and managers in Greater Sydney to develop a community of practice for information sharing and problem-solving on initiatives that cross administrative boundaries.

6

Support investment in restoring and naturalising waterways and stormwater channels. Prioritise locations that provide new connections and expand riparian corridors.

7

Promote partnerships between state and local governments, Sydney Water and river and coastal alliance groups to provide more opportunities for people to access, care for and enjoy rivers and other bodies of water. This would include developing new swim sites.

8

Support councils to collaborate with state government to improve green and blue places through the 'metropolitan greenspace program' and the 'greening our city program', and to develop a Greater Sydney plan that protects and maintains a sustainable green and blue network.

RESILIENT SYDNEY

Case study



Campbelltown's plan for a green blue grid

Campbelltown is experiencing significant urban growth, meaning careful planning is required to ensure future communities can thrive.

Their green blue grid plan aims to create a sustainable and resilient urban framework, integrating nature-based solutions and green infrastructure to mitigate the impacts of climate change. The plan promotes active transport links and habitat corridors. Outcomes will benefit the physical, mental, social and cultural wellbeing of residents and support healthy local ecosystems.

The plan is designed to connect across the LGA boundaries with neighbouring councils and other land managers such as the botanic gardens.

Campbelltown City Council

Photo: Campbelltown City Council

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Swimming in the Parramatta River

Sydney's rivers have been rediscovered as places for recreation and to enjoy nature. However, for over 200 years agriculture, industry, and urban development have polluted our rivers.

Renewed efforts to care for our rivers and clean up catchments has seen swimming return to the Parramatta River. There are now six swimming locations: Bayview Park Baths, Cabarita Park Beach, Chiswick Baths, Dawn Fraser Baths, Putney Park Beach and Lake Parramatta Reserve.

Councils collaborating through the Parramatta River Catchment Group, are continuing to invest in swim sites with support from the NSW Government's 'places to swim' grants.

Connecting with rivers through recreation is not only good for physical and mental wellbeing, but also gives people a greater understanding and appreciation of our blue natural places.

The City of Canada Bay, Parramatta Council, Inner West Council, Parramatta River Catchment Group, Hunters Hill Council, City of Ryde Council, NSW Government, Sydney Water, City of Parramatta, NSW EPA

Photo: Putney Beach / Ryde City Council

RESILIENT SYDNEY

Case study



Celebrating First Nations culture along the Great West Walk

The bush food trail on the Great West Walk invites the community to actively engage with nature and immerse themselves in First Nations culture. The Great West Walk is a 140km walking route stretching from Parramatta to the Blue Mountains.

The bush food trail was created in partnership with local First Nations organisations, including Muru-Mittigar and funded by state government and Penrith City Council.

Educational signage connects visitors with the cultural and ecological heritage of this part of Dharug Ngurra (Country). This include information about how Dharug people use local plants. There are areas for workshops, educational activities and community gatherings.

Thousands of trees and scrubs have been planted along the Great West Walk to improve biodiversity and shade and cool the urban environment. The project demonstrates how urban greening can be a tool for adapting to climate impacts while celebrating cultural heritage.

Muru-Mittigar, Traditional Custodians, Penrith City Council, NSW State Government.

Photo: (left) Joshua Vincent, JoVi Creative / (right) 6 year survey, Sawmillers Reserve, Nov 2024 / Aliah Banchik



Living seawalls

Over half of Sydney Harbour's foreshore has been replaced by seawalls, much of which is managed by local councils. To restore marine biodiversity, Sydney councils have partnered with Living Seawalls, a program with the Sydney Institute of Marine Science, that enhances the ecological value of built structures in the marine environment.

Living Seawalls modules are fixed to existing built structures, including seawalls, pilings and groynes. The modules are designed to mimic the features of a natural shoreline such as rockpools and crevices to encourage biodiverse marine communities. Providing microhabitats can boost biodiversity by 36%. They also stay up to 10°C cooler than exposed seawalls.

150 species have recently been observed on panels that were installed in North Sydney in 2018. Species include 25 algal, 90 invertebrates and 35 fish species that use the panels for food and shelter.

This Sydney-led initiative is being applied globally, offering adaptable ways to enhance marine ecosystems on built structures.

Sydney Institute of Marine Science, Mosman, Lane Cove, City of Sydney, North Sydney, Canada Bay, Northern Beaches, Inner West and Sutherland Shire Councils

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RESILIENT SYDNEY

Action 03

Increase tree canopy and habitat across Greater Sydney

Shocks & stresses



Heatwaves



Mental health



Water



Chronic health conditions



Social isolation



Environment degradation

Resilience challenge

Loss of tree canopy and habitat is contributing to biodiversity loss and intensifying the urban heat effect across Greater Sydney.

Resilience goals

Greater Sydney has more high-quality, connected forest canopy and multi-storey habitat to enhance urban biodiversity and support ecological and community resilience.

Parts of Sydney with poor canopy coverage are identified and prioritised for increased greening.

State Disaster Mitigation Plan alignment

- Nature-based measures
- Infrastructure resilience
- Social infrastructure and cohesion



Photo: Katherine Griffith

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RESILIENT SYDNEY

Action pathways

1

Advocate for planning controls, incentives, fiscal measures, regulation and enforcement to minimise loss of urban tree canopy and support its protection and extension.

2

Advocate for planning controls that maximise tree canopy and green cover habitat targets and deep soil provisions in all urban areas.

3

Support existing partnership arrangements with the NSW Government to develop, record and track tree canopy to meet equitable targets for Greater Sydney.

4

Promote partnerships with public and private sector property owners to create microhabitats (including microforests, biodiversity corridors, wetlands, rain gardens, green roofs, and green walls).

5

Advocate for undergrounding or where this is not feasible, bundling of electrical wires to decrease the need to prune street trees and improve the safety and resilience of power lines.

6

Support councils to maximise urban greening by bringing community members together for specific projects targeting privately held land and public institutions, including schools, hospitals, cemeteries and universities.

7

Promote the 'biodiversity in place' framework and 'greener neighbourhoods guide' to increase native vegetation, restore habitat, and apply First Nations knowledge.

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RESILIENT SYDNEY

Case study



North Sydney tree canopy and native havens

North Sydney's tree canopy significantly declined in the face of pressure from infrastructure and housing projects between 2007 to 2022. However, council's commitment to protecting and increasing tree canopy has reversed the trend. Tree canopy cover across the LGA has increased from 24.9% in 2022 to 27.4% in 2024. Total tree canopy cover is now at 51.1% on public land.

North Sydney council is also engaging residents in creating and caring for native habitat corridors in their backyards and local streets through their 'native havens' and 'streets alive' programs. North Sydney's local plant guide includes tips for creating a wildlife habitat garden. They also provide free local native plants to residents.

North Sydney Council

Photo: North Sydney Council

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Gardening at Waverley Cemetery

In 2022, Waverley local Carrie Furneaux won first place in the Waverley Garden Awards for the category, 'special street and shared gardens' with an innovative entry at her mother's grave in Waverley Cemetery. Carrie transformed a forlorn and austere place with thriving native and ornamental plants. From one small plot, flourishing flowers and scrubs now stretch down an aisle filled with new life – birds, butterflies, lizards and bees.

Volunteers organised through Waverley Council's volunteer program meet regularly on Saturdays, Sundays and mid-week to weed, propagate and plant native plants at the cemetery.

"My hope for the future, is to spread our wings further to create wonderful habitats for flora and fauna and transform the resting places of those long gone to a place of beauty, contemplation, reflection, a place for healing, joy and a home to our native species."

Waverley Council

Photo: Gene Ross

RESILIENT SYDNEY

Action 04

Increase biosecurity awareness

Shocks & stresses



Disease outbreak



Health services



Fragmented governance



Mental health



Environment degradation

Resilience challenge

Biosecurity threats pose a significant risk to the human and animal populations of Greater Sydney. These threats degrade our natural environments and undermine food production. Known imminent threats include shot hole borer, fire ants and bird flu.

Resilience goals

There is greater awareness and better surveillance and data on biosecurity risks, impacts and response requirements both within government and communities.



The tiny polyphagous shot hole borer has led to over mature 3000 trees being removed in Perth in an effort to eradicate this damaging pest.

State Disaster Mitigation Plan alignment

- Warning systems
- Community awareness and preparedness
- Nature-based solutions

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RESILIENT SYDNEY

Action pathways

1

Increase council awareness of biosecurity risks through engaging with state government on the Greater Sydney risk assessment of biosecurity threats. Promote this as a way for councils to identify their priorities and coordinate action.

2

Engage with Department of Primary Industry and Regional Development to strengthen the understanding of roles and responsibilities for all parties in responding to a biosecurity.

3

Use state government training materials to build knowledge and improve surveillance of ongoing and emerging biosecurity threats.

4

Promote opportunities to increase knowledge of the community and landowners about biosecurity risks and the implications of inaction including the use of citizen science programs to have more "eyes on the ground" to collect information about pests.

5

Advocate for state government to conduct a region-wide biosecurity emergency response training drills with councils for better biosecurity preparedness across Greater Sydney.

RESILIENT SYDNEY

RESILIENT SYDNEY

Action 05

Secure the future of Sydney's water supply

Shocks & stresses



Disease outbreak



Water



Health services



Mental health



Environment degradation

Resilience challenge

Changing climate is impacting rainfall, making drought more likely. This will impact dam water availability and water quality, threatening the security of the water supply to Greater Sydney's growing population.

Resilience goals

Water resources are efficiently managed using integrated water cycle management, water conservation measures and water-sensitive urban design throughout Greater Sydney.

Greater Sydney has sustainable, cost-effective and reliable sources of drinking water.

State Disaster Mitigation Plan alignment

- Mitigation infrastructure
- Nature-based measures
- Infrastructure resilience

Photo: Moyo Studio



RESILIENT SYDNEY

Action pathways

1

Support the implementation of Sydney Water's Greater Sydney water strategy to improve the resilience of infrastructure, expand supply of rainfall independent drinking water and conserve and better utilise all our water resources.

2

Collaborate on community education campaigns that:

- increase the value the community gives to water
- promote actions to conserve water
- improve community understanding of recycled water.

3

Advocate to all levels of government for projects that integrate water cycle management, harness energy and maximise beneficial use of water resources across Greater Sydney.

4

Promote the efficient use of water and better demand management to optimise the use of limited water resources.

5

Collaborate with Sydney Water, councils and private owners to create climate-resilient green places with access to water that is fit for purpose to maintain green places and support healthy ecosystems.

RESILIENT SYDNEY

Case study



Purified Recycled Water Discovery Centre

Sydney Water has opened a purified recycled water discovery centre at Quakers Hill. It provides an opportunity for community members to see the process and understand how water is produced at a purified recycled water plant.

Purified recycled water has been used for over 50 years in cities across the world including Perth. The water comes from industry and homes (including from kitchens, showers and toilets). It is purified through advanced treatment processes to meet strict Australian guidelines for water recycling.

Greater Sydney faces the risk of serious drought however, we currently rely on rainfall for 85% of our drinking water. Purified recycled water could provide up to 25% of Sydney's water supply, taking pressure off Warragamba dam and helping Sydney be more resilient to drought.

Sydney Water

Photo: Sydney Water



Green Square stormwater drain

To address flooding in the Green Square urban redevelopment area, the City of Sydney and Sydney Water constructed a \$120million, 2km stormwater drain from Zetland to Alexandra Canal.

Two huge gross pollutant traps and a new water recycling plant treat water from the drain so it can be used by the residents of the Green Square town centre. 320 million litres of non-potable (non-drinking) water is piped to new buildings and open spaces every year.

The storm water drain keeps Green Square safe during downpours and helps capture and use rainwater to increase resilience during times of drought. It saves Sydney's precious drinking water, keeps local parks green and has reduced and cleaned up the water that ends up in the Cooks River.

City of Sydney, Sydney Water

Photo: Jesse Smith

RESILIENT SYDNEY

Action 06

Support electrification and the energy transition

Shocks & stresses



Heatwaves



Energy



Digital network



Cost of Living



Environment degradation



Disrupted supply chains

Resilience challenge

Electrification is a critical step towards energy resilience. It reduces fossil fuel use, which is driving climate change. Significant planning and investment are needed to ensure a smooth and equitable transition to a clean energy future.

State Disaster Mitigation Plan alignment

- Building codes
- Home modification
- Infrastructure resilience

Resilience goals

Greater Sydney achieves an equitable and lowest-cost energy transition using clean renewable electricity in efficient, electric, grid-interactive buildings.

Increased use of renewable electricity and energy storage enables householders and businesses to reduce energy costs.

Sydneysiders have improved health outcomes from reduced air pollution.

Greater Sydney communities transition equitably from energy consumers to energy producers with a focus on smart demand management and efficiency.

RESILIENT SYDNEY

Action pathways

1

Collaborate with the state government to co-design and implement actions under the NSW Consumer Energy Strategy to support households and businesses to reduce costs and carbon emissions.

4

Use communities of practice to share data insights and best practice guidance on implementation for electric vehicle (EV) charging stations, electrification retrofitting and better-performing buildings.

2

Set city-wide and LGA-specific emissions reduction and net zero targets. Endorse local evidence-based strategies that rapidly reduce carbon emissions from key sectors.

5

Advocate for local businesses and households to benefit from funding and guidance that supports an equitable transition to net zero outcomes and better performance from buildings and vehicles.

3

Advocate for consistent regulations that eliminate fossil fuels in new developments and build resource capacity for the energy transition.

RESILIENT SYDNEY

Case study



Renewable energy supply agreement

In 2022, 25 NSW councils signed a landmark renewable energy supply agreement. The deal, worth roughly \$180 million for 214 gigawatt-hours a year of electricity was brokered by Southern Sydney Regional Organisation of Councils (SSROC). The approach combined the buying power of councils to secure a low-risk renewable energy agreement at highly competitive rates. The agreement means that 83% of energy needs for these councils is supplied by solar farms in Moree, central west NSW and the Riverina – a win for communities across NSW.

The agreement involves the supply of electricity to over 300 major council facilities, more than 210,000 streetlights and more than 3000 small sites. Renewable energy supplies 100% of the energy needs for 19 of the councils. Council facilities and services for over 3 million people are now powered by renewables.

SSROC, Bayside, Burwood, Campbelltown, Canada Bay, Canterbury-Bankstown, Fairfield, Georges River, Hornsby, Hunters Hill, Inner West, Ku-ring-gai, Lane Cove, Liverpool, Mosman, North Sydney, Parramatta, Port Stephens, Randwick, Ryde, Singleton, Sutherland, Tamworth, Waverley, Willoughby and Woollahra Councils.

Photo: SSROC

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Reaching Net Zero Together

The net zero Ku-ring-gai program provides a leading example of how councils can actively engage their communities to deliver against ambitious emissions reduction targets.

Ku-ring-gai council has set a target for their community to reach net zero emissions by 2040 or earlier. Net zero Ku-ring-gai is creating a community online and through local events and networks. There are webinars, local case studies and a calendar of community events. The program links residents and businesses with champions and volunteer groups so they can learn from each other as they go all-electric, reduce waste and become more energy efficient.

Ku-ring-gai Council

Photo: Ku-ring-gai Council

RESILIENT SYDNEY

RESILIENT SYDNEY

Action 07

Improve the security of Greater Sydney's food systems

Shocks & stresses



Economic crisis



Waste



Cost of Living



Fragmented governance



Environment degradation



Disrupted supply chains

Resilience challenge

Food security is under pressure in Greater Sydney. There is inequity of access to nutritious and healthy food. As development grows and farmland becomes urban precincts, Greater Sydney's access to local and affordable food supplies continue to decline.

Resilience goals

People in Greater Sydney have reliable access to good quality, affordable and nutritious food to support their physical and mental wellbeing.

State Disaster Mitigation Plan alignment

- Community awareness and preparedness
- Social infrastructure and cohesion

Action pathways

1

Support capacity building in Greater Sydney to increase community preparedness to withstand disruption of food supplies and to reduce food waste.

2

Advocate for state government to investigate how urban agriculture in Greater Sydney could be supported and implemented.

3

Support councils to develop sustainable food programs that increase community access to nutritious, affordable and healthy foods and promote food consumption that does not harm the environment.

4

Advocate for state government to develop a NSW food system plan to promote equitable access to nutritious food and address food insecurity and food production, including urban agriculture, and integration with local government and service providers.

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RESILIENT SYDNEY

Case study

**Village Pantry**

Organisations across Greater Sydney are working together to not only provide low-cost and free meals but also reduce food waste.

Community Support Services in Bankstown provides nourishing food hampers from their village pantry to families, international students and people who are homeless. They work with Foodbank, OzHarvest and SecondBite among others to source food. This multicultural community-led organisation also runs economic development programs such as 'sew good' which teaches sewing skills and supports microbusinesses. Their vision is reviving the village, create a community in Western Sydney where all women and their families are supported to thrive through nourishment, nurturing and empowerment.

"Those who are able are encouraged to donate a gold coin and those unable simply receive the food for free." Mona Mohamed, Founder, CCS

Community Support Services, Bankstown

Photo: Foodbank Australia

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**Happy Hens**

The Happy Hens social enterprise is dedicated to connecting people of all generations through productive gardening and sustainability activities.

Their projects include the Bedlam Bay community garden on NSW National Parks land and Henley Green community garden located on the old bowling green owned by Hunters Hill council. Residents come together to create food gardens, organise seasonal markets selling fresh produce and hold community events such as 'bedlam at the Bay' for mental health awareness.

The Happy Hens run composting, reuse and recycling programs including using coffee grounds donated by local cafés to enrich the soil.

"We aim to make Gladesville, Hunters Hill, Ryde, and beyond an engaging, enjoyable, and sustainable place to live."

Collaborating: Happy Hens, Hunters Hill council, NSW National Parks

Photo: Happy Hens Social Enterprise Inc

Photo: Happy Hens Social Enterprise Inc

Photo: Happy Hens Social Enterprise Inc

Photo: Happy Hens Social Enterprise Inc

RESILIENT SYDNEY

Action 08

Address Greater Sydney's waste crisis

Shocks & stresses



Disease outbreak



Waste



Fragmented governance



Environment degradation



Disrupted supply chains

Resilience challenge

The way we manage materials and residual waste is a key risk to the health and safety of people and the environment. Adding to this, Greater Sydney is running out of landfill space. Urgent action is needed to avoid waste production and transform waste processing technology and infrastructure.

State Disaster Mitigation Plan alignment

- Strategic planning controls
- Infrastructure resilience

Resilience goals

People living and doing business in Greater Sydney participate in and benefit from a safe, equitable, cost-effective and efficient materials management system.

Greater Sydney's waste management system is resilient to disruptions and supports a circular economy and a net zero city.

Councils more efficiently manage costs and emissions and improve the quality of waste streams, leading to higher-value recycled products and cost recovery.

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RESILIENT SYDNEY

Action pathways

1

Advocate for waste management to be recognised as an essential service with legislated requirements.

2

Collaborate with state government to deliver a waste infrastructure implementation plan that solves landfill challenges and plans material flows for all waste streams. Advocate for investment in planning and development for advanced recycling and recovery solutions.

3

Collaborate with state government to do transparent, high-quality and timely data reporting that supports councils to cost-effectively contract services and handle material flows.

4

Support councils to collaborate with state agencies to develop service continuity plans for the management of critical waste streams.

5

Streamline processes and communication with communities to make it easier for people to minimise waste production, repair, reuse and recycle. This would divert more waste streams for a safer environment and safer city.

6

Encourage alternative waste solutions and waste avoidance and reduction strategies. Support new business models to drive circular economy solutions.

RESILIENT SYDNEY

Case study



Waste leadership forum

In May 2023, Resilient Sydney and the City of Sydney convened mayors from across Greater Sydney to discuss waste. Local councils are on the front line of waste management. Lack of affordable, sustainable and long-term options for managing Sydney's waste presents mounting risks for councils and their communities.

The call for a region-wide response to waste is being led by Northern Suburbs Regional Organisations of Councils (NSROC) and Hornsby Council. Greater Sydney councils, regional organisations of councils and Resilient Sydney signed a memorandum of understanding (MOU) with the NSW Environment Protection Authority in December 2024.

The MOU establishes the Waste Leadership Forum. Council and state government executives are working on key actions to improve waste data, infrastructure planning and circular economy outcomes.

NSROC, WSROC, SSROC and the Parks, Greater Sydney councils, NSW Environmental Protection Authority

Photo: Alfio Mancigli

RESILIENT SYDNEY

Direction 02

People centred city

An equitable city with climate
resilient neighbourhoods



Photo: Katherine Griffiths

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RESILIENT SYDNEY

As the impacts of climate change increase, many more communities in Sydney face risk from natural hazards including floods, bushfires, coastal inundation and heat. More areas of Sydney will become unsafe for new housing. Existing housing will need to be modified to become climate resilient, and water and energy efficient. Understanding these risks helps us take proactive action to minimise many adverse impacts of climate change. It means we can reduce our exposure to hazards and protect communities and assets.

Housing affordability was identified as a top stress throughout consultation. Over 35% of renter households in Greater Sydney experience housing stress (paying over 30% of monthly income on housing costs). Unaffordable housing costs the Sydney economy \$10 billion a year (Committee for Sydney, 2023).

Community engagement (Resilient Sydney, 2024) and the resilience risk assessment identified that communities across Greater Sydney have inequitable access to services and opportunities (Aecom, 2024). This inequity undermines the resilience of people to withstand shock events. Inequitable access to transport, particularly in Western Sydney was a high concern raised in consultation.

Heat is the most significant climate risk to health and wellbeing in Greater Sydney.

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RESILIENT SYDNEY

Climate responsive planning



Climate adaptation and mitigation strategies are increasingly important to protect people, the economy and ecosystems, now are in the future. Long-term planning that properly considers climate change will benefit social cohesion, human health and wellbeing, environment, infrastructure, and the economy (Department of Health and Aged Care, 2023).

Heat is the most significant climate risk to health and wellbeing in Sydney. Heatwaves already cause more deaths than any other natural hazard (Department of Health and Aged Care, 2023). Heatwaves are expected to double in frequency and duration over the next 50 years (Committee for Sydney, 2024). Extreme heat has a big impact on the environment, the economy and social connections.

Photo: Flood waters surround Windsor 2021
Adam Hollingworth

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RESILIENT SYDNEY

Affordable and quality housing

Shelter is a basic human need. A well-designed and maintained home can reduce energy bills, improve health and protect lives in extreme events. Lack of affordable and quality housing was the top stress (along with cost of living) identified across all consultation.

Local government makes an important contribution to increasing affordable housing through affordable housing schemes and levies that help with meeting state targets. Community and private sectors, including institutional investors such as super funds, are also critical to solving Sydney's housing crisis.

We heard from communities that housing in Sydney is not resilient to climate impacts including heat and extreme wet weather. Renters said they are powerless to improve their housing to respond better. The resilience risk assessment identified residential housing and particularly social housing as very vulnerable to shock events (Aecom, 2024)

Connected and safe neighbourhoods

Not being able to travel around safely, affordably, and efficiently was identified as a key stress in consultation. This reduces equitable access to essential services, education and employment opportunities.

Women report feeling unsafe moving through public places and on public transport. Safety impacts choices in relation to where and when people travel (Sydney Women's Fund, 2024).

Public places play a vital role in the social, cultural and economic life of cities. However, when people do not feel safe in a place, they are less likely to use that space, reducing their connections to their community and decreasing their resilience.

Over 35% of renter households in Greater Sydney experience housing stress (paying over 30% of monthly income on housing costs).

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RESILIENT SYDNEY

Action 09

Plan and design places to withstand increased natural hazards

Shocks & stresses



Heatwaves



Bushfires



Flooding



Coastal hazards



Housing stress



Shelter

Resilience challenge

Climate change is exposing more communities in Greater Sydney to extreme impacts from natural hazards including flooding, bushfires, coastal inundation and heat.

State Disaster Mitigation Plan alignment

- Managed relocations
- Strategic planning controls
- Building standards and codes
- Home modifications

Resilience goals

Homes are designed, built and retrofitted to withstand increasing impacts from extreme weather and keep people safe.

Planning policies and plans avoid increasing the number of people and homes in areas that are or will be vulnerable to natural hazards.

Plans are in place to support communities in areas that will become too risky for people to live in.

Action pathways

1

Advocate for adaptive strategic planning and design that is based on mitigating long term climate risks and avoids maladaptive short term solutions.

2

Advocate to state government that high risks areas are identified including areas where increasing hazard risks are too great to build new homes.

3

Advocate for regional data and consistent planning and mitigation responses to manage risks from flooding and sea level rise across council boundaries.

4

Advocate for building codes that respond to the risks from a changing climate.

5

Collaborate on adaptation plans for high-risk neighbourhoods including mitigation infrastructure, managed relocations, hazard-specific building codes and standards, and building modifications.

6

Plan and design buildings that consider the lifespan of the building and changing risks for that place.

7

Advocate for the publication of insurance risk information.

Case study



Coastal flood resilience in New York

New York city is adopting reforms to improve city resilience after Hurricane Sandy in 2012. In high-risk areas, coastal flood resiliency zoning strengthens building standards and gives owners flexibly to more easily improve the flood resilience of their properties.

Waterfront parks and public spaces play an important role in city resilience. Projects are informed by the 'design and planning for flood resiliency' guide to provide high-quality public spaces that recover quickly from storms and are designed with risks in mind.

Public spaces along the coast are the first line of defence against storm surge and sea level rise. Natural areas such as wetlands are incorporated to provide protection from storm surge.

Photo: Busa Photography

RESILIENT SYDNEY

Action 10

Improve the heat resilience of communities in Greater Sydney

Shocks & stresses



Heatwaves



Energy



Health services



Mental health



Family violence



Shelter

Resilience challenge

Extreme heat is a significant threat to Greater Sydney's health, liveability, infrastructure, and productivity. Infrastructure failure or disruption combined with heat could have catastrophic effects for people. Lack of clarity on roles and responsibilities within government hampers response to extreme heat events.

State Disaster Mitigation Plan alignment

- Mitigation infrastructure
- Strategic planning controls
- Building codes
- Community awareness and preparedness
- Home modifications
- Infrastructure resilience
- Nature-based measures

Photo: SCM Jeans

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Resilience goals

People, organisations, and built and natural environments are better prepared and able to withstand extreme heat.

Systems and services are in place that equitably protect lives, health and wellbeing during heatwaves.



Action pathways

1

Work with WSROC, the Greater Sydney Heat Taskforce and key stakeholders to implement recommendations in the Greater Sydney Heat Smart City Plan (2025-2030).

2

Advocate for a clear set of roles and responsibilities in reducing and managing heat impacts in our region.

3

Collaborate with the state government, councils and community organisations on community awareness campaigns and tools to plan for heat events.

4

Continue to build council capacity to manage the environmental and safety impacts of heat and drought. Design and maintain streets, local parks, sport facilities and active outdoor spaces to provide shade and cooling, conserve water and protect facilities.

RESILIENT SYDNEY

Case study

Greater Sydney heat smart city plan

The Greater Sydney heat smart city plan has been developed under the Greater Sydney Heat Taskforce, a multi-sector collaboration of organisations across government, industry and the community sectors. The plan's directions are:

1. Heat smart decisions: collaboration, shared understanding and monitoring of heat risk improves heat risk decision-making for Greater Sydney.
2. Heat smart places for people: homes and buildings are heat-responsive and can keep people safe from heat, while heat mitigation and adaptation are required in state and local planning controls.
3. Heat smart economies: the private sector plans for heat, supports risk reduction, minimises the economic impacts of heat, and seeks commercial opportunities in adaptation.
4. Heat smart infrastructure: interconnected, resilient infrastructure enables communities to survive and thrive.
5. Heatwave ready: clear governance arrangements, funding and guidance support effective heatwave management, while communities and organisations are empowered to build resilience, reduce risks and manage emergencies.
6. Heat smart research: researchers and practitioners work collaboratively to deliver heat-resilient solutions.

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RESILIENT SYDNEY

Action 11

Increase and improve affordable rental housing

Shocks & stresses



Economic crisis



Heatwaves



Storms



Housing



Shelter



Chronic health conditions

Resilience challenge

Housing stress is affecting a growing number of Greater Sydney households exposing more people to social stresses, economic shocks and environmental hazards.

Resilience goals

All Greater Sydney Councils have affordable housing contribution schemes.

There is a clear framework and increased capacity to deliver more affordable rent-controlled housing through partnerships between the state government, local government and community housing sector.

State Disaster Mitigation Plan alignment

- Strategic planning controls
- Building standards and codes
- Home modifications

Photo: Nightingale Housing, Marrickville
Nightingale

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Action pathways

1

Support the development and implementation of council affordable rental housing policies, schemes and levies to increase affordable housing.

4

Advocate for affordable rental housing to be affordable in perpetuity or replaced locally at the same level if sold or redeveloped.

2

Share knowledge and case studies about how to develop innovative housing projects on council land that increase housing for targeted communities.

5

Research whether local economic conditions can support higher affordable housing targets across Greater Sydney.

3

Promote the use of the South Sydney Regional Organisation of Councils affordable housing toolkit. This toolkit supports councils build capacity to meet affordable housing targets and partner with not-for-profit community housing providers.

6

Collaborate with the state government and NSW Rental Commissioner to support rental reforms and programs that improve fairness, building quality and wellbeing for renters.

7

Advocate for a healthy homes standards scheme for all rental housing to better respond to extreme weather such as heatwaves and major rain events.

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RESILIENT SYDNEY

Case study

**Affordable housing working group**

The Southern Sydney Regional Organisation of Councils (SSROC) partnered with Resilient Sydney to host a city-wide forum in April 2021. Following the forum, the affordable housing working group was established, led by SSROC, Cumberland Council and City of Sydney to look at pilot projects and policy approaches.

Research was conducted into barriers to councils adopting affordable housing contribution schemes.

Photo: City West Housing, Green Square
Katherine Griffiths

Photo (opposite page): (left) St George Community Housing, Redfern / St George Housing
(right) Healthy Home Initiatives (HHI) New Zealand

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**City of Sydney's affordable housing approach**

The City of Sydney has developed a comprehensive approach to increasing affordable housing, delivering 1447 homes. To date, over \$400million collected from their affordable housing contribution scheme has been given to community housing providers to build 873 affordable rental homes.

The City of Sydney has sold land to community housing providers at a discount rate. Projects include 162 dwellings in Redfern on the former council depot and the establishment of the first transgender women's housing cooperative in Sydney.

Planning control changes that permit affordable housing in mixed business zones enable community housing providers to purchase less expensive land for new affordable homes. Voluntary planning agreements have also secured additional affordable rental properties.

The City of Sydney's affordable and diverse housing fund provides grants up to \$3 million to help community providers leverage private finance for projects. The fund has supported 52 dwellings for young people leaving out-of-home care and 42 aged care units for older people at risk of homelessness.

City of Sydney, community housing providers

**NZ Healthy Homes Standard for rental properties**

The New Zealand healthy homes standards set minimum requirements for heating, insulation, ventilation, moisture ingress and drainage, and draught stopping in rental properties. The regulations came into effect in 2019 with the aim to close the gap in quality between rental and owner-occupied homes.

Landlords are responsible for ensuring their properties meet the standards and continue to do so over time. The standards apply to private rentals, government owned housing and community housing.

All new or renewed tenancy agreements must include specific information about the rental property's current level of compliance with the healthy homes standards. Landlords who don't meet their obligations are in breach of the tenancy act and may face consequences such as financial penalties. There are easy to use tools and checklists for landlords and tenants.

The outcome of the standards is warmer, drier houses for all New Zealanders and less respiratory illness linked to cold, damp and mouldy homes.

Aotearoa – New Zealand. Te Tūāpapa Kura
Kāinga – Ministry of Housing and Urban
Development

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RESILIENT SYDNEY

Action 12

Better connect communities with active and public transport

Shocks & stresses



Energy



Transport shock



Transport stress



Education



Cost of Living



Chronic health conditions

Resilience challenge

Transport options that are not good enough or hard to access are impacting people's work and education opportunities, access to services, social connections and wellbeing. This is happening particularly in of western Sydney.

Resilience goals

Public transport services and active transport options provide affordable ways for people to move around Greater Sydney safely and efficiently.

People in Greater Sydney have access to local neighbourhoods with essential services from their home.

State Disaster Mitigation Plan alignment

- Evacuation infrastructure
- Infrastructure resilience
- Social infrastructure and cohesion

Photo: State of New South Wales
(Transport for NSW)

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Action pathways

1

Advocate for the rapid completion of the strategic cycleway corridors and walking connections to public transport hubs. (NSW Government Transport for New South Wales, 2023)

2

Advocate for more transport hubs with climate-responsive and gender-inclusive facilities including bike parking, toilets, drinking fountains, lighting, smart infrastructure, wayfinding, seating and cool refuges.

3

Advocate and support increasing greening along proposed and existing active transport routes to create shade and encourage their use.

4

Promote collaboration between state and local governments and industry to deliver and manage seamless journeys across public and active transport, day and night.

5

Collaborate with Transport for NSW (TfNSW) to collect and share more granular data including demographic information on people movement and transport mode-use.

6

Promote collaboration between TfNSW and local councils to deliver community engagement and behaviour change campaigns that encourage mode-shift to active and public transport.

7

Encourage active travel to schools and childcare centres supported by safe walking and riding options.

8

Support councils to implement car-share facilities and reduce private vehicle ownership.

Case study



Sydney active transport forum

In 2017, Resilient Sydney helped establish the Sydney Active Transport Forum bringing transport planners from state and local governments together to align policies and create cross-boundary active transport solutions. The City of Sydney and City of Parramatta coordinated the forum and 14 Sydney councils were involved.

In 2019, the state government took on the coordination role and expanded the forum across NSW. Four years later, the forum has now developed into a state-wide community of practice with over 600 members. During this time, 30 Greater Sydney councils have either developed an active transport policy or are developing one.

Transport for NSW,
Greater Sydney Councils

Photo: State of New South Wales
(Transport for NSW)

RESILIENT SYDNEY

Case study



Connecting the Parramatta River foreshore

The escarpment boardwalk is the final link in the Parramatta Valley cycleway. The community can now experience over 20km of off-road paths on both sides of the Parramatta River.

The river paths wind through open parks, local playgrounds and sporting fields, as well as mangroves on elevated boardwalks and in some sections through a tree canopy six metres off the ground. They provide active transport connections for students at local schools, workers with jobs in Parramatta CBD and people who walk and ride for enjoyment. The Parramatta foreshore paths reduce traffic and support wellbeing.

The pre-cast concrete panels of the escarpment boardwalk have been designed to withstand extreme situations, including a potential ferry strike and high velocity floodwaters. The new boardwalk section is expected to significantly increase the 2 million pedestrians and cyclists who currently enjoy the Parramatta CBD foreshore every year.

City of Parramatta, TfNSW

Photo: City of Parramatta

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Willoughby Public School active travel

Traffic was becoming a significant safety and environmental issue at two large schools with over 2000 students in Willoughby. The solution was to get more students walking and cycling to school.

Teachers at Willoughby Public School, with the support of the Observatory Hill Environmental Education Centre, designed an active travel geography unit. Year 5 students explored the benefits of walking and cycling to school and identified the best routes. Once the routes were safety checked by Willoughby City Council, a map was created by the Bicycle Network and directional and safety markings added to the footpaths. ©

Based on the success of the program, TfNSW Get Kids Active 2025/26 program has \$500,000 to support up to 10 more councils implement this behaviour change program.

Now Willoughby Council is transforming one of the routes into a green, pedestrian-friendly street. The students are leading the community consultation on this project by sharing their research and experience.

Willoughby City Council, Willoughby Primary School, TfNSW, Observatory Hill Environmental Education Centre, Bicycle Network

Photo: Willoughby City Council

RESILIENT SYDNEY

Action 13

Create inclusive and welcoming public places

Shocks & stresses



War & conflict



Disease outbreak



Heatwaves



Cost of Living



Social isolation



Reducing social cohesion

Resilience challenge

Public places are important for connecting neighbourhoods and people. However, many people, including women and young people, do not feel safe and welcome in many public places in Greater Sydney.

Resilience goals

Public places are safer, more inclusive and better connected with improved access to public transport.

Inclusive, engaging and safe places support local economies and diverse cultural and social experiences.



State Disaster Mitigation Plan alignment

- Evacuation infrastructure
- Strategic planning
- Nature-based measures
- Infrastructure resilience
- Social infrastructure and cohesion

Photo: Cumberland Council

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Action pathways

1

Promote urban design and planning for climate-resilient public places that are safe and inclusive, day and night, such as through the transport oriented development program.

2

Advocate for the TfNSW Safer Cities approach, including gender-inclusive placemaking principles, to be implemented more broadly.

3

Promote resources about child friendly cities that align with the UN Convention on the International Rights of the Child such The Child Friendly Cities and Communities Handbook (UNICEF, 2018)

4

Encourage councils to streamline approval processes to facilitate more community activities and events hosted in public places.

5

Support councils to collaborate and share knowledge of global best practice for activation plans, day and night, for main streets and other local public places.

RESILIENT SYDNEY

Case study



Her Way Projects

With funding from Transport for NSW, Sydney councils are using "walkshops" to better understand the experiences of women and girls in public places. Walking through the place, women and girls from local communities, identify safety and access concerns. Hundreds of women and girls across Sydney have participated.

Their insights have led to quick fix projects to improve public spaces including installing creative lighting, decluttering and cleaning, public art, new seating and planter boxes and increasing activity with outdoor dining and street festivals.

The projects have created safer and more welcoming transport hubs and local town centres including at Guilford Lane at Guilford Station, Blacktown, Mount Druitt and Canley Vale town centres.

These pilot neighbourhoods are being closely monitored and evaluated so outcomes can be applied to other transport hubs in Greater Sydney.

Blacktown, Bayside, Canterbury Bankstown, City of Sydney, Cumberland, Fairfield councils, Transport for NSW.



Photo (top to bottom): Mt Druitt Town Centre, Blacktown City Council / Back to Guilford festival, Cumberland Council Canley Vale walkshop, Legacy Studios

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Direction 03

Connect for strength

An inclusive city that supports social connections and community agency



Photo: Lisegagne

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Communities in Greater Sydney are fatigued by consecutive shocks and ongoing stresses. Mental health was identified through the risk assessment and community engagement as the top stress for people in Greater Sydney. People in Greater Sydney report significant increases in depression, anxiety and other mental health illnesses compared to pre-pandemic levels (University of Sydney, 2023). Nearly 40 per cent of young Australians (16 to 24) experienced a mental health disorder between 2020 – 2022 up from 26 per cent in 2007. (Australian Bureau of Statistics, 2022). People in community consultation identified social isolation as undermining their wellbeing. Building connections to place and to each other is more important than ever as this helps to replenish personal and community resilience.

The World Economic Forum identified “erosion of social cohesion and societal polarisation” as the 5th most significant global risk in 2023 (World Economic Forum, 2023). In Australia, the Scanlon Social Cohesion report found that “declines in our sense of national pride and belonging, increasing financial strain and a weakening sense of social inclusion and justice were warning signs” for social cohesion (O'Donnell, 2023). Trust in the decision-making of governments is diminishing and is now less than 50% in national surveys (O'Donnell, 2023). These trends affect our ability to act collectively and make decisions on difficult and complex issues.

The World Economic Forum identified “erosion of social cohesion and societal polarisation” as the 5th most significant global risk in 2023.

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Respecting dignity and building trust



In times of crisis and change, decision-making processes are often curtailed. This means that people have little control over major decisions that affect their lives. Throughout consultation, we heard that dignity was not always respected in the delivery of essential services and during emergency response and recovery.

Honouring people's dignity means we recognise everyone's inherent value – that everybody is somebody and has the right to be treated as such. By embedding dignity in leadership and service delivery, we can reduce the harm caused when people's dignity is violated. We address situations where someone's dignity has been violated.

When people feel that they are seen, heard, understood, included and given the benefit of the doubt they are more likely to trust and feel trusted. Communities that have their voices heard and can influence decisions and hold government to account are more resilient.

Photo: Jacquie Manning

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As a society we continue to struggle to reconcile our collective past and respect the peoples who have been custodians of this place, now known as Sydney, for thousands of generations. Truth-telling is a principle of dignity. Truth-telling in Sydney offers opportunities for greater resilience through shared connection to the place where we live and to each other.

Creative and cultural expression is critical to understanding each other's perspectives and building community connectedness. We heard through consultation that creative projects are important to the recovery process: to express loss, build empathy, heal and create hope. However, a lack of affordable creative production, rehearsal, performance and presentation spaces is having an impact on opportunities for the community to engage in creative practice. The cost of living and housing stresses are putting Greater Sydney's creative sector under increasing pressure.

Supporting self-determination in communities

People in Greater Sydney have experienced the pandemic and other disasters and know that stresses and future shock events are inevitable. We heard throughout community engagement that people can feel a sense of powerlessness during times of crisis. We also heard that community connections and support got them through.

First Nations people have experienced 237 years of consecutive shock events starting with colonisation in 1788. The Australian Human Rights Commission recognises self-determination for Aboriginal and Torres Strait Islander communities in alignment with the 'UN declaration of the rights of Indigenous people'.

The Australian Local Government Association is a signatory to the 'closing the gap national agreement 2020' (Closing the Gap in Partnership, 2022). This agreement seeks to transform the way governments work with Aboriginal communities to overcome entrenched inequality and strengthen resilience. The Productivity Commission identified inaction by governments to put in practice principles of self-determination as a key factor undermining progress on closing the gap (Productivity Commission, 2024).

People said that being involved in local solutions strengthens their resilience. There has been an increase in local and regional disaster resilience groups. Communities expect governments to listen to and consider their lived experience when planning mitigation and adaptation measures for shock events. Local businesses and organisations including social enterprises, mutuals and cooperative, and business networks are investing in community resilience and leading recovery efforts.

Building social capital

Social capital describes the relationships that underpin communities:

- The bonds in our immediate family or social group.
- Our connections to other groups.
- Our ability to engage with decision-making authorities.

Communities with high levels of social capital are better able to withstand and recover from a crisis event (National Emergency Management Agency, 2024). However, the impact of the investment to strengthen social capital is hard to measure. It is therefore undervalued.

Our consultation and the risk assessment identified that social capital in Greater Sydney is being undermined by inequality, racism, vilification, international conflicts, misinformation, and polarisation. Levels of community connectedness differ across Greater Sydney. Social isolation and lack of strong community connections reduce people's resilience making them more vulnerable to shock events.

Social infrastructure is the facilities, spaces, services and networks that support the wellbeing of communities. These include community places such as community centres, libraries, theatres, parks and playgrounds, sporting and recreation facilities, places of worship and social clubs. These places, along with networks, programs and services, support participation in social life. They provide places for people to build a sense of community belonging, strengthen social cohesion and help address loneliness. However, social infrastructure is not equitably available to everyone in Greater Sydney. Many community and sporting facilities are also highly vulnerable to climate impacts.

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RESILIENT SYDNEY

Action 14

Embed dignity principles in leadership and engagement

Shocks & stresses



War & conflict



Disease outbreak



Health services



Mental health



Racism & vilification



Family violence

Resilience challenge

Difficult and disrespectful interactions in the delivery of services, and emergency response and recovery environments, harm people's wellbeing and reduce their resilience. Government policies that are not informed by the people who they affect often violate dignity.

State Disaster Mitigation Plan alignment

- Managed relocations
- Community awareness and preparedness
- Social infrastructure and cohesion

Resilience goals

The concept of dignity informs the development and implementation of recovery plans and initiatives, helping communities and individuals remain resilient.

Engagement with communities is genuine, inclusive, safe and fair, and respects historical and local contexts. It informs decision-making to build trust and empower communities.

People know and respect the history of Sydney and its people.

Action pathways

1

Promote dignity principles to local government and emergency response and recovery agencies to inform the framing of relevant plans and protocols.

2

Promote and use tools for genuine and respectful community engagement through the local government community engagement practitioner's network.

3

Support campaigns that address racism, homophobia and other forms of vilification, and that promote respecting dignity.

4

Identify ways to redress dignity violations of the past by acknowledging our shared history.

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Applying a dignity lens

Dignity is an inherent value that everyone possesses from birth, making us all equal in our dignity. When dignity is violated, often through abuse of power, or when people view themselves as superior, another person's worth is devalued. The brain reacts to dignity violations in the same way as it does to threats of physical harm. A toxic cycle can develop when individuals who are focused on their own pain hurt each other, perpetuating the violation of dignity. This undermines community resilience and social cohesion.

There are 10 essential elements of dignity:

- 1 Acceptance of identity.
- 2 Inclusion: Ensuring people feel included and valued.
- 3 Safety: Providing an environment free of the threat of physical or psychological harm.
- 4 Fairness: Ensuring fairness in all interactions.
- 5 Independence: Respecting others' independence and autonomy.
- 6 Understanding: Giving people the opportunity to be heard. However, opinions do not need to be accepted, particularly if they violate the dignity of others.
- 7 Benefit of the Doubt: Extending trust to others, assuming they are coming from a good place.
- 8 Accountability: Being willing to apologise and engage in truth-telling and committing to changing harmful behaviours.
- 9 Recognition: validating others' contributions and worth.
- 10 Acknowledgement: hearing, validating and responding to the concerns and experiences of others.

RESILIENT SYDNEY

Action 15

Replenish resilience through creative and cultural expression

Shocks & stresses



Disease outbreak



Bushfires



Flooding



Mental health



Social isolation



Racism & vilification

Resilience challenge

Creative and cultural practices support individual and community expression. They provide insight into people's experiences and perspectives, build social connections and replenish community resilience.

Resilience goals

The role of arts and culture in building resilience and recovering from shock events is recognised and resourced by government.

Creative and cultural practices contribute to a deeper understanding of experiences of shock events and support physical, emotional and mental healing.

People feel empowered to express diverse experiences through their unique cultures and creativity.

Strong, connected and sustainable local creative sectors thrive across Greater Sydney.

State Disaster Mitigation Plan alignment

- Community awareness and preparedness
- Social infrastructure and cohesion

Action pathways

1

Advocate for increased investment in diverse cultural and creative community projects to support recovery and strengthen connections and understanding between people and place.

2

Support the development of a Sydney-wide arts and culture community of practice within local government to support knowledge sharing and enhance collaboration.

3

Collaborate with state government to audit Greater Sydney production and creative spaces. The audit would provide evidence for more cultural infrastructure and resources and to enable prioritisation and resource sharing.

Case study



Documenting the Mount Gosper mega-blaze

The Gospers Mountain fire was Australia's first mega-blaze, a series of blazes centred around a single fire. It burned over a million hectares in 79 days during the 2019–2020 black summer bushfire season, the most severe fire season in Australia's recorded history.

The documentary, *Megablaze: Dancing with the Devil*, directed by Bill Code and produced and co-written by Bill Code and Sarah Allely, explores the impact of the Gospers Mountain megafire on the communities of the Blue Mountains and Hawkesbury regions. The documentary explores themes of resilience, recovery and climate change, what brought communities together and what cause them to fray at the seams.

Wedge-Tail Pictures produced the film in collaboration with Hawkesbury City Council and the support of a black summer bushfire recovery grant.

Wedge-tail Pictures, Hawkesbury City Council, Australian Government, NSW Rural Fire Service

Photo: (left) Bill Code for Wedge-Tail Pictures and Hawkesbury City Council / (right) "Safia Amadou & Mumbi, African Film Fest Australia Co-Directors, Opening Night, 2024 / Richmond Kobla Dido



African Film Fest Australia

For 40 years Arts & Cultural Exchange (ACE) has contributed to social resilience by prioritising cultural expression by Western Sydney's communities.

Despite a long settlement history in Australia, especially in western Sydney, African communities have had few cultural events catering specifically for them. ACE's Africa Film Fest Australia (AFFA) responds to this need.

State government, industry and private sponsorship, and partnerships with City of Parramatta and Riverside Theatres helped enable Sydney's first pan-African film festival to launch in 2024. The four-day AFFA program included 4 Australian premieres, 2 filmmaker panels and an Afrofutures animation workshop.

Sold out sessions attracted 924 attendees including people who travelled from South Australia, Victoria, Queensland and regional NSW.

The audience was as diverse as the program which had features, short films and documentaries from South Africa, Kenya, Senegal, Nigeria, Congo, Algeria, Somalia, Zimbabwe and the Belgian, Scottish and Australian diasporas.

The 2025 AFFA opens at the Sydney Opera House and continues at Riverside Theatres.

Arts and Cultural Exchange, City of Parramatta, Riverside Theatres, Screen NSW and Multicultural NSW

RESILIENT SYDNEY

Action 16

Support First Nations self-determination

Shocks & stresses



Housing



Education



Cost of Living



Mental health



Chronic health conditions



Racism & vilification

Resilience challenge

Aboriginal and Torres Strait Islander people in Sydney do not have access to the choices needed to be able to meet their social and economic needs and realise self-determination.

Resilience goals

Traditional Custodians, Aboriginal-controlled organisations and community members are included in government decisions that affect First Nations people in Greater Sydney.

Local councils in Greater Sydney work in culturally informed ways that support increased self-determination for First Nations communities and address entrenched inequality.



State Disaster Mitigation Plan alignment

- Social infrastructure and cohesion

Photo: Joseph Myers

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RESILIENT SYDNEY

Action pathways

1

Support councils to develop protocols and policies that respect and protect First Nations cultural knowledge

2

Showcase ways councils can adopt clearer processes for engaging with Traditional Custodians, Aboriginal Land Councils and First Nations communities through shared decision-making frameworks and partnership agreements.

3

Demonstrate how councils can most effectively embed ways of working to contribute to closing the gap. These are:

- Building meaningful relationships and shared decision-making with Traditional Custodians, First Nations communities and local Aboriginal land councils.
- Partnering with Aboriginal-controlled organisations.
- Building the cultural capability of the workforce and employing Aboriginal and Torres Strait Islander people.
- Recognising and supporting First Nations data sovereignty.

4

Increase investment in First Nations businesses including advocating for changes to the Local Government Act 1993 to support social procurement policies.

5

Investigate and share opportunities to purchase carbon offsets from First Nations-owned and led initiatives.

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RESILIENT SYDNEY

Case study

**First Nations-led carbon farming**

While pushing emissions down is the priority, investment in carbon and nature projects can assist governments, businesses and organisations to achieve net zero. There is significant potential for carbon farming in NSW that would benefit Traditional Custodians, rural First Nations communities and help heal Country.

This approach has benefits for communities and Country beyond the boundaries of Greater Sydney and recognises the interconnected nature of First Nations communities. Carbon farming in NSW would enable investment in cultural land practices on the traditional Country of many thousands of First Nations people who now live in Sydney.

The Aboriginal Carbon Foundation is a 100% Aboriginal owned not-for-profit established in 2010 to create economic independence for First Nations peoples through a variety of innovative solutions including carbon farming credits. In collaboration with the Firesticks Alliance Indigenous Corporation, they have developed cultural fire credits to sustainably finance cultural burning practices across Australia. First Nations-led carbon projects support self-determination and have significant environmental, social, cultural and economic outcomes.

Traditional Custodians, Aboriginal land councils and land managers, Aboriginal Carbon Foundation, Firesticks Alliance

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**Councils partnering with First Nations communities**

Increasingly, First Nations voices are influencing councils through elected representatives, advisory panels and Aboriginal and Torres Strait Islander staff in strategy and engagement roles. This influence is creating new opportunities across the broad range of council operations.

18 councils in Greater Sydney have a Reconciliation Action Plan. The City of Parramatta recently adopted a First Nations strategy, the first Greater Sydney council to do so. The strategy builds "council's capacity to pursue common goals with First Nations communities and to learn from the resilience demonstrated by the Dharug people who have lived in this place for tens of thousands of years."

These council plans and strategies provide a platform for supporting self-determination of First Nations communities through procurement, engagement, partnerships and decision-making. They open the way to enable First Nations leadership in caring for and managing Country, investing in First Nations businesses, and partnering with First Nations organisations to deliver essential services including affordable housing.

Traditional Custodians, First Nations communities and organisations, Greater Sydney councils.

RESILIENT SYDNEY

Action 17**Facilitate community-led action****Shocks & stresses**

Disease outbreak



Bushfires



Flooding



Mental health



Low trust



Reducing social cohesion

Resilience challenge

People in Greater Sydney have experienced the pandemic and other disasters and know that ongoing stresses and future shock events are inevitable. They want governments to support them to build capacity in their local communities to be better prepared and able to respond.

State Disaster Mitigation Plan alignment

- Community awareness and preparedness
- Social infrastructure and cohesion

Resilience goals

Community voices are integrated into disaster recovery.

Community members are better informed about their role and responsibilities in preparing for and recovering from shocks events in their local area.

There are well-connected networks of people with capacity and resources to respond to shock events within their communities.

Community organisations and businesses have the governance and plans in place be effective in disaster preparedness and recovery.

Photo (opposite page): (left) Resilient Sydney / (right) Parramatta City Council

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RESILIENT SYDNEY

Action pathways

1

Collaborate with state government to create long-term funding pathways and processes that enable local community and business groups to run recovery programs for their communities after shock events.

2

Promote programs to strengthen community organisations' governance and ability to apply for funding and implement disaster recovery actions.

3

Advocate for targeted funding and support for initiatives organised and led by First Nations and culturally and linguistically diverse communities. This will enhance effectiveness through culturally informed approaches and increased trust.

4

Develop and share community materials (in multiple languages and formats) to support community leaders and organisations to prepare people for emergencies and create local community plans for recovery.

5

Actively engage young people, older people, people with disability and culturally and linguistically diverse communities in emergency response training exercises and recovery planning.

6

Promote neighbourhood network-building activities and campaigns.

Photo (opposite page): (left) Atstock Productions / (right) Macdonald Valley Association

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RESILIENT SYDNEY

Case study



First Nations Response

First Nations Response is a grassroots organisation led by Aboriginal women. It was founded in 2020 during the lockdowns to provide culturally appropriate support and urgent food relief to communities in inner Sydney.

They played a critical role helping people who were particularly vulnerable, many living alone in social housing with chronic health conditions. Importantly, the hampers they delivered included fresh, healthy food and not just dry staples.

First Nations Response is driven by the belief that healthy and sustainable food systems are essential for thriving First Nations communities. They pride themselves on creating a safe and dignified environment. They rely on volunteers, helping to create connections and build respect across communities.

Flexibility in their most recent grant has enabled First Nations Relief to be more responsive to community need. In addition to their weekly food services, they support communities during floods, protests, vigils, sorry business and deaths in custody. They also support women escaping domestic violence by providing furniture and household essentials.

First Nations Response, City of Sydney and Inner West councils



Being connected and prepared

The Macdonald Valley in the Hawkesbury has been significantly impacted by floods and fires over the last 5 years. The remote area is prone to being cut off. Communications are sparse and electricity outages can last for weeks. In response, the Macdonald Valley Association, established the connected and prepared project.

The valley has been divided up into 5 sectors with 25 community volunteer wardens. Wardens are permanent residents who look out for their immediate neighbours in their sub-sector. Wardens are not emergency responders but provide information and direct neighbours to emergency services. All wardens are connected via a WhatsApp network that includes SES and RFS personnel. This has proved invaluable to getting help to people fast.

The valley has a UHF radio network. 450 handheld radios have been distributed to all households. Everyone has an emergency grab bag which includes a first aid kit, radio and torch, V-sheet to identify your location for helicopters or boats, USB stick to store vital documents, and personal and property emergency plans.

Community volunteers, Macdonald Valley Association, Federal Government black summer bushfires recovery grant

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RESILIENT SYDNEY

Case study

**Lifesaving PPE from local leftovers**

Reverse Garbage in Marrickville is one of Sydney's oldest environmental social enterprises. It promotes reuse and sells industrial discards to help fund their environmental education programs, along the way saving 100,000 tonnes a year of waste from landfill.

In the early days of the pandemic, a doctor rang Reverse Garbage to ask for help because his hospital had run out of face shields. Within 48 hours, the Reverse Garbage team produced a

face shield from everyday items in the Reverse Garbage shop – plastic sheets from binder folders, foam off cuts, elastic and double-sided tape.

In the following weeks, 81 volunteers made 2100 face shields that were distributed across Sydney and even as far as Katherine in the Northern Territory. Not only was the project a local solution to overcoming supply chain issues, it also helped rally the community – a positive story during a time of great stress and anxiety.

Reverse Garbage Cooperative

Photo: Reverse Garbage,
Sydney Morning Herald

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RESILIENT SYDNEY

Action 18

Engage children and young people in decision-making about the future and their wellbeing

Shocks & stresses



Bushfires



Flooding



Education



Mental health



Social isolation



Low trust

Resilience challenge

Children and young people are experiencing mental health impacts from stresses including climate change, cost of living pressures and social isolation. They are also growing up with increasing disruption from extreme weather events. Polarising and desensitising content on social media also has a negative impact. Many young people feel disempowered in the face of global uncertainty.

State Disaster Mitigation Plan alignment

- Community awareness and preparedness
- Social infrastructure and cohesion

Resilience goals

Greater Sydney is a place where children and young people thrive.

Children and young people receive the support they need during shock events.

Young people have the capacity, skills and knowledge to maintain strong mental health and social support networks.

Young people play an active role in planning for and responding to future shock events.

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RESILIENT SYDNEY

Action pathways

1

Support councils to engage young people in the co-design, decision-making and implementation of actions to address issues that affect their lives and futures and enhance their resilience.

2

Promote engagement and decision-making that is inclusive of young people with different identities, perspectives and knowledge including First Nations, culturally and linguistically diverse and LGBTIQ+ young people, and young people with disability.

3

Advocate for councils to implement the 'supporting infants and children in disasters: a practice guide' from Emerging Minds (Emerging Minds, 2024).

4

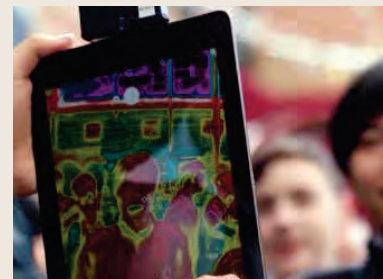
Advocate for greater support to engage young people as partners in resilience planning, preparation, response and recovery.

Photo (opposite page): (left) Students measure heat / Powerhouse Parramatta / (right) Sutherland Shire Council

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RESILIENT SYDNEY

Case study

**50°C: Climate, Heat and Resilience**

50°C: Climate, Heat and Resilience is a new interdisciplinary program for year 9-10 students run by the Powerhouse in collaboration with western Sydney schools. It is supported by the NSW Office of the Chief Scientist and Engineer.

The program was launched at Riverside Theatre in December 2024 attended by over 800 students. The 10 week program examines heatwaves and extreme urban heat in Greater Sydney and explores how we can respond and adapt.

Students develop skills associated with fieldwork, data science, communication and community leadership. Students are empowered with knowledge from experts and practical experiences to drive change in their communities.

The program is integrated across the curriculum and supported with online resources. It inspires students to engage with climate change in a practical way and creates a sense of agency through action-learning. Students will share the outcomes of their projects with key decision-makers, academics and industry at the 50°C Climate Summit, hosted at Western Sydney University.

Powerhouse, NSW Government, CSIRO, WSU, UNSW, USyd, Blacktown, Parramatta and Cumberland councils, WSROC, Sydney Water, Story Factory, AYCC, Sweltering Cities, Greening Australia, corporate partners.

**Youth climate and biodiversity forum**

Sutherland Shire's youth climate and biodiversity forum empowers young people from the Sutherland Shire and beyond to make a positive contribution to addressing climate, environmental and resilience challenges.

This annual multi-school event strengthens youth interpersonal and communication skills, builds leadership skills, facilitates school collaboration, nurtures social cohesion and inspires young people to act.

55 students from 7 schools attended the 2024 forum, engaging with local government, participating in democracy and having their voices heard. It is an important principle of the forum that there are tangible and ongoing outcomes including local environment projects that students continue to do after the forum.

Sutherland Shire Council collaborated with Resilient Sydney to deliver a youth consultation workshop as part of the 2024 forum. Students, teachers and youth facilitators learnt about city resilience and considered how it can strengthen their local community and Greater Sydney. The workshop provided valuable input into the resilient Sydney strategy.

Sutherland Shire Council, local schools, UN Youth Ambassadors, Resilient Sydney

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RESILIENT SYDNEY

Action 19

Measure and value social capital

Shocks & stresses



Economic crisis



Health services



Cost of Living



Mental health



Social isolation



Low trust

Resilience challenge

Evidence shows that communities with strong social capital recover from shock events and cope with ongoing stresses better. However, the social infrastructure and local programs that build social capital are often undervalued.

Resilience goals

A commitment to building social capital is embedded into government plans and policies.

Social capital is measured to support investment in social infrastructure.

Councils and community organisations understand the value of social capital and work together in ways to strengthen it.



State Disaster Mitigation Plan alignment

- Community awareness and preparedness
- Social infrastructure and cohesion

Photo: Pekic

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RESILIENT SYDNEY

Action pathways

1

Support the application of a social capital measurement framework to inform investment in social infrastructure across Greater Sydney. Align the framework across state and local governments.

2

Build knowledge across councils and community organisations to use social capital to build resilience and better prepare for future shock events.

3

Strengthen community leaders' ability to engage with all levels of government and each other through community leadership and network forums.

4

Advocate and promote funding pathways that foster collaboration and reduce competition between organisations and programs supporting social capital.

5

Support a community of practice on social policy and programs within local government to facilitate knowledge sharing and enhance collaboration.

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RESILIENT SYDNEY

Case study



Connecting people through bush care

Since 2008, Bushlink has been a driving force in fostering both inclusion and environmental stewardship. Bushlink is an award-winning initiative by Northside Enterprise Inc, that provides meaningful employment for people with disability through environmental projects and education.

The program trains people with disability to be skilled bush regenerators. Bushlink provides bush care services for local councils, NSW National Parks, educational facilities and private landowners. They focus on improving the resilience of local bushland – enhancing natural areas and restoring natural habitats.

Photo: Bushlink

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Teams of Bushlink regenerators also lead school students in caring for their school environment. Bushlink is currently working with over 20 schools in northern Sydney transforming school grounds and building respectful relationships and connections with students and staff.

Bushlink is aiming to replicate the model with new partners across Greater Sydney engaging people in caring for the environment to breakdown barriers, foster resilience and create a more inclusive society.

Northside Enterprise Inc, Northern Beaches, Willoughby and Lane Cove councils, NSW National Parks, schools

Case study



CommUNITY Connect Conference

City of Canterbury-Bankstown hosts an annual CommUNITY Connect conference that brings together community workers from government and non-government organisations.

Over 110 people attended the 2024 conference which explored the intersectional experiences of moving through different stages of life. The conference heard perspectives from First Nations, culturally and linguistically diverse, and LGBTIQ+ communities, and people with disability.

Participants expanded their networks with other professionals and community leaders. They participated in workshops to discuss solutions for emerging trends and to meet local needs. They elevated their knowledge, understanding and skills through professional development sessions. This year, they also developed actions for the Resilient CB Action Plan.

The information gathered at CommUNITY Connect conferences is collated and helps set the priorities for council's community grants program. These priorities are also shared through networks to inform the work of local organisations.

City of Canterbury Bankstown, local organisations and service providers

Photo: (left) Canterbury Bankstown Council / (right) David W Noble



Blue Mountains Planetary Health

Blue Mountains council is transforming the old Katoomba golf course into a centre for planetary health. The initiative aims to bring experts and community together to explore and test ways to build resilience in the face of increasing natural disasters.

The Blue Mountains planetary health initiative supports local action to restore the health of natural systems. The hydrological cycle is an important focus. Slowing water down and keeping it in the land improves the health of river systems and increases bushfire resilience. The centre is located on a swamp, a perfect example of natural water management. The centre is also testing practical solutions such as collecting water in community underground tanks under roads and parks which can be used for firefighting.

To connect people, the initiative includes a community media network that elevates stories of local stewardship. There is a range of council and community-led education programs and activities to support community action and build social connections.

Blue Mountain Council, Western Sydney University, Blue Mountains World Heritage Institute, UTS Institute for Sustainable Futures, Monash Sustainable Development Institute, Notre Dame University, Sydney University's Environment Institute and National Parks and Wildlife Service, NSW Government

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RESILIENT SYDNEY

Action 20

Facilitate inclusive access to social infrastructure

Shocks & stresses



Heatwaves



Cost of Living



Mental health



Social isolation



Chronic health conditions



Racism & vilification

Resilience challenge

Social infrastructure including community centres, libraries, theatres, parks and playgrounds, sporting and recreation facilities are not equitably available across Greater Sydney. Social infrastructure is particularly vulnerable to increasing impacts from natural hazards, for example, being flood prone or lacking insulation for heat.

State Disaster Mitigation Plan alignment

- Community awareness and preparedness
- Social infrastructure and cohesion

Resilience goals

The importance of social infrastructure is recognised in government planning.

Investment is made in the right social infrastructure as Greater Sydney communities grow.

People in Greater Sydney have access to community facilities in their neighbourhoods.

Social and community assets are more climate resilient.

RESILIENT SYDNEY

Action pathways

1

Support initiatives to map social infrastructure in Greater Sydney and its ability to serve communities and remain resilient in the face of increasing climate risks.

2

Advocate for investment in climate-resilient social infrastructure to be part of all new developments.

3

Advocate for schools to be better resourced to strengthen networks with their local communities and share their facilities during non-school hours.

4

Support a framework that informs the delivery of effective social infrastructure by considering community needs, functionality of facilities, and maintenance and programming costs.

5

Explore ways to measure how communities are using local community facilities, services and programs to overcome barriers and maximise the benefits for those who need them most.

6

Collaborate with the NSW Office of Sport on implementing inclusive-use agreements for council facilities and other measures to promote better access for women and girls, young people and culturally diverse communities.

7

Advocate for local programs and events that connect people across different generations and social groups to build social capital.

RESILIENT SYDNEY

Case study

**Julia Reserve Youth Precinct**

Julia Reserve Youth Precinct in Oran Park, is made up of a state-of-the-art skate park, basketball courts, parkour training area and youth and community centre. The precinct provides holistic support through the co-location of multiple youth services and agencies. Services and programs include afterschool drop-in programs, art classes and cultural events, employment services, case management and school holiday programs.

Young people were consulted on the design of the precinct as well as having ongoing input into the programs and activities. All services located at the centre undergo a detailed induction process to ensure a consistent and safe approach to supporting the children and young people who use the centre.

Camden Council has developed a youth strategy with local young people that outlines the priorities for the precinct and its services and programs. Julia Reserve provides a welcoming and safe environment where young people can have fun and receive wrap around support.

Camden council

Photo: Camden Council

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RESILIENT SYDNEY

Case study

**Play Her Way**

Women's sport has made its mark on the national stage in recent years. However, women and girls still face significant barriers to equal participation. Nationally, only 3.7% of girls aged 15-17 met the physical activity guidelines in 2022. This age group participates at a rate 23.5% lower than boys.

The benefits sport has to physical and mental wellbeing are not being equally experienced. The NSW Office of Sport play her way strategy seeks to develop sporting environments based on inclusivity, equality and respect; and a system-wide approach to addressing barriers and opportunities particularly for adolescent girls.

Local councils have an important role in achieving lasting gender-equality in sport. Many local sporting facilities have historically been designed for men. Councils can set standards for more inclusive and accountable cultures in the sporting clubs who hire their facilities. They can collect information to better understand and address barriers to women and girls enjoying access to sporting facilities in their local area.

NSW Office of Sport, local councils

Photo: Nat Sport Media

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RESILIENT SYDNEY

Direction 04

Be ready

A city where people and organisations are prepared for emergencies



Photo: Australian Red Cross

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RESILIENT SYDNEY

Improving emergency preparedness

Sydney-siders have experienced bushfires, floods and storms in the past 5 years. People are becoming more aware of the importance of resilience and know they need to be ready for future shock events.

Red Cross, local councils and state agencies are running a range of campaigns to raise emergency and disaster preparedness. However, more work is needed to embed emergency preparedness in the daily lives of people living in Greater Sydney.

Recent shock events have shown how important it is to look after each other. During consultation people often raised the importance of supporting people who needed more help than themselves. The Royal Commission into Violence, Abuse, Neglect and Exploitation of People with Disability found that people with disability are at much greater risk of neglect during emergencies. As a result the NDIS Commission introduced an emergency and disaster management practice standard that requires all personal plans to include emergency response planning.

Preparing and sharing tailored plans with emergency services before shock events improves personal preparedness for people with disability and others who need more assistance in an emergency. Although there is a strong body of research and excellent training resources from organisations such as Collaborating for Inclusion, there is no ongoing funding mechanism to ensure people who need them have personalised emergency plans.

More people are living in high-density communities in Sydney. However, many do not know how to be safe in their apartment buildings. Shorter residence times are contributing to a high turnover in tenancies. Apartment residents often lack strong social networks within their buildings and have low awareness of emergency procedures (Resilient Sydney, 2024).

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RESILIENT SYDNEY

Harnessing skills in our communities



Volunteering increases social capital in communities by strengthening skills and connections that can support people in times of crisis. While volunteering is prolific in Australian society many factors threaten its sustainability. The number of formal volunteers is declining and there are barriers to participation (Volunteering Australia, 2023). People are time poor and are looking to contribute in different ways.

Community consultation revealed people want to help each other to be prepared to act in an emergency. Increasing numbers of informal volunteers want to support their community after disasters. New processes are needed to harness these capabilities and skills to supplement the dwindling numbers of formal volunteers and ensure the experience is effective, rewarding and safe.

Photo: Chad Ajamlian

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RESILIENT SYDNEY

Coordination and communication

Effective communication is essential during a crisis. Ensuring people know how and where to get information in an emergency is a key enabler of individual and community preparedness.

Current practices for communicating with communities before, during and after emergencies do not adequately cater for culturally and linguistically diverse communities, people with disability and people without access to digital channels.

During consultation people said that although state and local governments play an important role in emergency preparedness, more needs to keep people safe during an emergency. They were often unclear about who to get information and support from before and after an emergency.

More needs to be done to embed emergency preparedness in the daily lives of people living in Greater Sydney.

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Action 21

Embed people-centred emergency planning

Shocks & stresses



Heatwaves



Flooding



Health services



Mental health



Social isolation



Chronic health conditions

Resilience challenge

Some people are more at risk in an emergency situation and need extra preparation and support to make sure they are safe.

Resilience goals

Emergency plans are developed with people with disability and other people at risk in shock events.

State and local emergency planning frameworks have a coordinated, person-centred and inclusive approach that responds to people's needs.

Local emergency plans incorporate the needs and experiences of people with disability.



State Disaster Mitigation Plan alignment

- Community awareness and preparedness
- Social infrastructure and cohesion

Photo: Katherine Griffiths

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Action pathways

1

Advocate for all levels of government to support the implementation of the 'disability inclusive disaster risk reduction' framework and toolkit (The University of Sydney).

2

Develop a business case for the 'people-centred emergency preparedness' (P-CEP) tool and facilitator training to be sustainability funded and delivered across local councils and community services organisations.

3

Promote the P-CEP peer leadership program through community campaigns to build the capacity of community members to support family and friends to be better prepared.

4

Promote information sharing between the National Disability Insurance Scheme (NDIS) and councils. Include up-to-date information on how many people with disability live in a local area to inform emergency response planning.

5

Advocate for diverse perspectives to be included in Local Emergency Management Committee decisions and plans, including people with disability, First Nations people and people from culturally and linguistically diverse communities.

6

Advocate for co-designed emergency planning with social housing tenants.

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RESILIENT SYDNEY

Case study

**P-CEP in action**

Belong Blue Mountains 'be ready' program helps people with disability and seniors develop person-centred emergency preparedness (P-CEP) plans, ensuring they are safer and more resilient in emergencies.

Following the Collaborating4Inclusion P-CEP approach, trained facilitators guide participants through conversations to identify their specific support needs, understand local disaster risks, and create a personalised emergency plan. A key part of this process is developing an action plan outlining practical steps participants can take to improve their preparedness. Support is provided both individually and through group workshops, helping participants strengthen social connections and communicate their emergency support needs to their networks.

So far, over 200 personalised P-CEP plans have been developed, equipping Blue Mountains residents with the knowledge and strategies to stay safe in emergencies.

Belong Blue Mountains

Photo: (left) Collaborating4Inclusion, University of Sydney / (right):Sturti

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**Designing preparedness programs with the community**

Australia Red Cross and City of Sydney worked with social housing representatives from the Forest Lodge and Glebe coordination group to co-design a community resilience and emergency preparedness program for social housing residents.

The co-design process built on existing materials – the Australia Red Cross RediPlan and the Inner City Voice emergency preparedness handbook for people living in social housing. It identified the types of emergencies people were most worried about, what people needed to know to be safe in their homes and neighbourhood, and how the activities would be delivered.

On the advice of residents, the program covered both heat and fire emergencies and included an emergency go-bag for residents. 30 residents participated in 4 workshops. 300 residents received a go-bag.

The success of the program lay in the fact it was customised to the community and that trusted community members were leading it. The process has created local resilience champions and provides a scalable approach for increasing emergency preparedness in communities with high levels of vulnerability to shock events.

Australia Red Cross, City of Sydney, Forest Lodge and Glebe coordination group, Carbon Neutral Cities Alliance

RESILIENT SYDNEY

Action 22**Research community preparedness and support coordinated campaigns****Shocks & stresses**

Heatwaves



Bushfires



Flooding



Mental health



Low trust



Fragmented governance

Resilience challenge

More residents of Sydney need to be prepared for future shock events.

Resilience goals

More people living in Greater Sydney have a household emergency plan that meets their individual needs.

State government, emergency response agencies and organisations, and local councils work together to deliver emergency preparedness campaigns.

Councils have access to consistent, effective, and inclusive communication resources and research to support local initiatives to prepare communities.

State Disaster Mitigation Plan alignment

- Community awareness and preparedness



Photo: NSW State Emergency Services

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RESILIENT SYDNEY

Action pathways

1

Support annual and seasonal emergency preparedness programs such as 'get ready' (NSW Government) and EmergencyRedi (Australian Red Cross).

2

Collaborate with NSW Reconstruction Authority on their community preparedness program including research on community preparedness and integrated campaigns.

3

Collaborate with partners to measure the impact of preparedness campaigns and share the outcomes with councils to inform future actions.

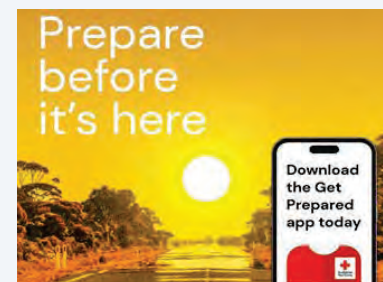
4

Advocate for all preparedness materials to be provided in community languages and shared through culturally effective channels. Ensure campaigns are inclusive of people with disability and people who do not have access to digital channels.

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RESILIENT SYDNEY

Case study



EmergencyRedi week

Despite the increasing prevalence and intensity of extreme weather events, the Australian Red Cross reports that only one in three Australian households have discussed practical emergency plans with their children and even fewer, only 27% have talked about how to mentally prepare for disasters.

The Australian Red Cross EmergencyRedi Week is an annual initiative to raise awareness about the importance of being prepared for emergencies. The campaign encourages people to download the 'get prepared' app and create a personalised RediPlan.

Each year, Resilient Sydney works with the Australian Red Cross to get as many Greater Sydney councils involved. In 2024, 32 Greater Sydney councils and the Western Sydney Regional Organisation of Councils organised EmergencyRedi Week activities.

Red Cross, Greater Sydney Councils, WSROC

Photo: Australian Red Cross



Building emergency preparedness into community programs

Campbelltown City Council has a resilient communities program that runs emergency preparedness workshops in communities that are vulnerable to natural disasters with the Australian Red Cross, SES, RFS and Fire and Rescue.

They also deliver emergency preparedness workshops at libraries as part of existing programs including seniors catchups, seniors IT programs and family play groups. The program reaches people who can be particularly at risk in an emergency and establishes the council as a trusted place to seek information.

Bayside Council's resilience team worked with library staff to co-opt existing programs during EmergencyRedi Week to support emergency preparedness in multicultural communities. They held a free English class on how to communicate in an emergency including making practice 000 calls and describing different emergencies. The lesson plan proved popular and was considered extremely valuable by participants who brought home extra easy-English resources to share with their friends and families.

Campbelltown City Council, Bayside Council, Australian Red Cross, SES, Fire and Rescue and Rural Fire Service

Photo: Gettys

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Action 23

Improve emergency awareness in apartment buildings

Shocks & stresses



Heatwaves



Energy



Shelter



Mental health



Social isolation



Reducing social cohesion

Resilience challenge

There are low levels of emergency awareness in apartment communities.

Resilience goals

Apartment dwellers have emergency preparedness plans and the skills and knowledge to respond to shock events.

Owners corporations, working with their strata and building managers, cost-effectively improve the resilience of their dwellings.

State and local government policy, planning and practices improve the wellbeing, social connectedness and emergency preparedness of apartment residents.

State Disaster Mitigation Plan alignment

- Community awareness and preparedness
- Social infrastructure and cohesion

Case study



Hi neighbours!

Lane Cove and Willoughby councils have jointly developed a program to strengthen social connections in apartment buildings. The program includes a meet your neighbours tool kit for residents, building managers and strata committees. It offers lots of ideas about how to get people from the same building together.

The kit includes a resilience tool for vertical communities to assess their social connections, preparedness for emergencies and the resilience of the building and infrastructure. Residents work

on this assessment together and identify actions to reduce risks and build resilience. As part of the pilot program, Lane Cove council organised the Red Cross to hold emergency preparedness sessions. These proved to be very popular as a meaningful way to connect with neighbours.

The councils are now offering funding to support more vertical communities who are interested in joining the program. The guide and tool kit are available online for councils to use.

Lane Cove Council, Willoughby City Council, Australian Red Cross, Department of Premier and Cabinet

Photo: Fancy Boy Photography

RESILIENT SYDNEY

Action 24

Coordinate and encourage volunteering

Shocks & stresses



Heatwaves



Bushfires



Flooding



Storms



Coastal hazards



Reducing social cohesion

Resilience challenge

National data indicates volunteering has declined and that it is changing. New processes are needed to harness community skills, capabilities and local knowledge of informal volunteers to supplement emergency services.

Resilience goals

Volunteering continues to be valued across society. People have positive experiences volunteering in contexts that work for them.

Volunteering training is accredited.
Volunteer skills are recognised.

There is a regional database of volunteer expertise shared between state and local government. This improves place-based volunteer capacity to respond during shock events.

State Disaster Mitigation Plan alignment

- Community awareness and preparedness
- Social infrastructure and cohesion
- Enabler – capacity and capability

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Action pathways

1

Collaborate with state government through the disaster adaptation planning process to identify and record community volunteering resources. Use this to build surge capacity for shock events.

2

Share case studies through networks to promote volunteering programs and processes to increase volunteering, build social capital and community resilience.

3

Work with organisations with volunteers to build emergency response skills that are appropriate for their place-based risks.

Case study



Recovery coordination in Wollondilly

The resilient Wollondilly mobile recovery van and the disaster recovery volunteer database are key resilience projects enhancing disaster preparedness and recovery within the Wollondilly local government area.

The disaster recovery volunteer database is designed to connect spontaneous volunteers with volunteer agencies, streamlining the coordination and deployment of support during recovery efforts following a disaster. It also serves as a tool for linking volunteers and fostering a network of community members ready to assist in recovery efforts.

The resilient Wollondilly mobile recovery van is a versatile hub for community engagement, recovery support and emergency response. Equipped with essential supplies and communication tools, the van can be deployed to impacted areas, providing a mobile recovery assistance point for distributing resources and sharing critical information to impacted residents.

These projects support community resilience by fostering volunteerism, improving recovery coordination, and ensuring effective disaster responses across Wollondilly.

Wollondilly Council

Photo: Wollondilly Shire Council



Connecting people to place and each other

Hornsby Shire Council was awarded a grant from the state government for a volunteer citizen science project to track endangered species. The project focused on creek biodiversity.

Participants worked together to collect and document eDNA water samples. The results from two eDNA sampling events in Spring 2023 and Autumn 2024 are available on the data dashboard developed by the project team. In August 2022, there was a confirmed platypus sighting in Colah Creek where they were previously thought to be extinct.

The project is one of many across local councils that develop skills, knowledge and local community connections through volunteering which can be utilised during shock events. They also have great local outcomes for people and the environment.

Hornsby Shire Council, NSW State Government

Photo: Hornsby Shire Council

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RESILIENT SYDNEY

Action 25

Improve collaboration to be better prepared for emergencies

Shocks & stresses



Cyberattack



Heatwaves



Flooding



Storms



Bushfires



Fragmented governance

Resilience challenge

In an emergency it is critical people understand their roles, communicate consistently and pool and share available resources. This needs to be done in a collaborative way at a regional level before events occur.

State Disaster Mitigation Plan alignment

- Emergency infrastructure
- Community awareness and preparedness
- Enabler – capacity and capability

Resilience goals

Councils are clear on their roles and effectively contribute in emergency scenarios across Greater Sydney.

Communications planning is in place so that councils can support each other in the event of major communication service failure.

Local governments have established inclusive communication channels to disseminate crucial information and warnings.

Communities are prepared and know how and where to access reliable information and support in emergency events.

RESILIENT SYDNEY

Action pathways

1

Maintain the local government emergency response group that can mobilised to provide coordinated support from councils in shock events.

2

Encourage councils to identify resources to share in an emergency and document this through a regional framework.

3

Advocate for councils to collaborate with state government and businesses to establish place-based community communication plans. These plans would support and supplement emergency communication channels during emergency events.

4

Support councils to identify safe and appropriate community facilities and public places that can:

- provide services to support community preparedness
- disseminate local communication in an emergency
- provide a community gathering place during an emergency.

5

Promote centralised community donations through mechanisms such as the 'give it' website. (GIVIT)

Case study



Recovery on wheels

The western edge of Greater Sydney faces significant natural disasters including bushfires and flood. A mix of suburban developments, rural properties, agricultural areas and remote villages make post-disaster recovery a complex task.

The 'recovery on wheels' network was established during the black summer bushfires recovery to respond to community needs in a coordinated way. It expanded during the Hawkesbury Nepean floods in 2020 and 2021.

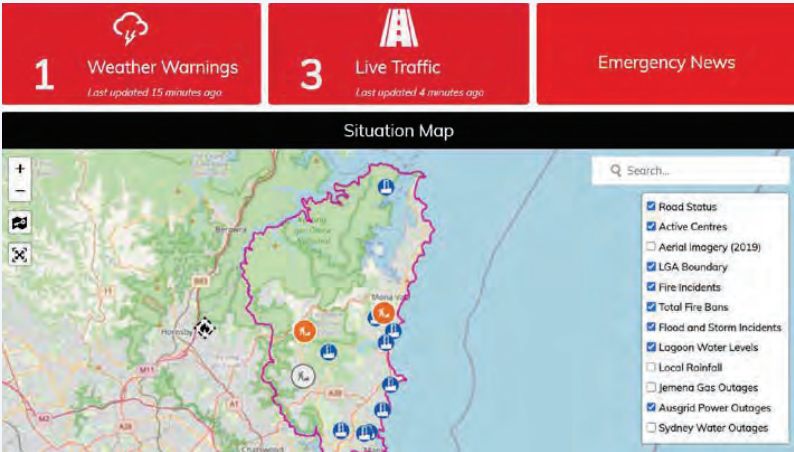
The network's focus has now moved to fostering strong ongoing relationships and resilience in preparation for future events. This will enable the network to quickly pivot to recovery when needed.

The network is coordinated by Hawkesbury and Penrith Councils. The network is connected into local emergency management committees and works closely with community organisations including Peppercorn Services, Wesley Mission, Legal Aid, Red Cross and Rural Aid.

Hawkesbury, Penrith, Blue Mountains, Blacktown, The Hills, Lithgow, and Wollondilly Councils, NSW Reconstruction Authority, NSW Health, Local Land Services, Environmental Protection Authority, Service NSW, SES, National Emergency Management Authority

Photo: Penrith City Council

Case study



Using technology to keep people safe

9 bushfire and flood-prone Greater Sydney councils have built disaster dashboards. This means residents can quickly find emergency information including evacuation orders, council updates on local roads, SES notifications, and a local hazards map. The dashboards are an important resource for 1.6 million people across Greater Sydney.

Bayside Council's smart flood sensors project uses green-powered CCTV equipped with AI and smart sensors to detect floodwater on roads and activate LED warning signs during flash floods. The signs offer advanced warnings in low visibility to stop drivers and pedestrians accidentally entering floodwaters. The real time data is also available on an open data platform.

Other councils are using technology to better inform their operations during extreme weather. Blacktown City Council uses real time weather data to make operational decisions that respond to extreme weather events such as activating cool zones or pausing outdoor work to keep people safe during heat waves.

Penrith City, Hornsby Shire, Hawkesbury City, Blue Mountains, Sutherland Shire, Northern Beaches, Camden, Wollondilly Shire and Blacktown City councils, Bayside Council, NSW Reconstruction Authority

Photo: Northern Beaches Council

RESILIENT SYDNEY

Direction 05

One city

Connecting governance
and building trust



Photo: Cassandra Hannagan

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RESILIENT SYDNEY

Greater Sydney has 3 levels of government: local, state and federal, and hosts multiple regional peak bodies. A complex and multi-level governance system requires a high degree of collaboration to implement action that responds to shocks and stresses.

Australia is experiencing declining trust in government (Aecom, 2024). Workshop participants and survey respondents were concerned that government decisions do not align with community values and needs.

- Only 20% of survey respondents believe all levels of government work well together to manage the needs of Greater Sydney.
- 53% felt that government was not accountable and did not provide clear information to the public (Resilient Sydney, 2024).

However, national surveys also consistently report that trust in local government is higher than other levels of government (Organisation for Economic Co-operation and Development, 2024). Local government provides a trusted interface for place-based action. Collaboration across levels of government is needed to share critical data so councils can set targets, make planning decisions, manage assets and track performance.

Only 20% of survey respondents believe all levels of government work well together to manage the needs of Greater Sydney.

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Evidence-based decision-making



Data is critical for understanding current and future risks to Greater Sydney and the potential consequences of shock events for places, economies, and people. A science-informed evidence base (including agreed climate projections) is needed to support decisions at both regional and local scales.

The state government must decide how NARClm2.0 climate projections are used in assumptions for land use planning and other functions that impact local government.

Timely access to reliable, quality data is increasingly valuable for businesses, organisations and individuals to manage their risks. Governance frameworks and standards for data and information sharing are needed to ensure data sharing is transparent, reliable, responsible and sustainable.

Robust regional risk assessments with community engagement will enable state and local governments to prioritise adaptation and mitigation planning for natural disasters and other shock events. A strong data-informed evidence base helps disparate groups unite on a common problem, supporting better resilience.

Photo: MTS Stock Studio

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Resilience of council assets

Existing assets have been designed to suit historic climates and may not withstand future conditions. Building and upgrading assets to be more resilient is an ongoing challenge for councils. Considering resilience at the design stage is the most efficient and cost-effective approach.

The historical funding mechanisms for asset maintenance may not be enough to ensure assets can cope with a changing climate. Local governments need to work with other levels of government to identify sustainable and equitable ways to fund adaptation and mitigation pathways for their assets. This should include investment after disasters to build back.

Collaborative governance

The foundation of Resilient Sydney is collaborative governance. We take proactive action to address the complex and critical issues affecting the resilience of Greater Sydney by building relationships. Resilient Sydney's approach to strengthening governance:

- Enables the sharing of risk data and other vital information.
- Facilitates working between levels of government and across agencies and jurisdictions.
- Engages communities in research, plans and decisions.

Coordinated and transparent governance can rebuild trust in government decision-making and secure a stronger social licence to act.

The foundation of Resilient Sydney is collaborative governance.

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RESILIENT SYDNEY

Action 26

Promote and participate in collaborative governance and engagement for Greater Sydney

Shocks & stresses



Digital network



Waste



Low trust



Reducing social cohesion



Environment degradation



Fragmented governance

Resilience challenge

Multiple levels of government create complexity for decision-makers in Greater Sydney. Without collaborative problem-solving, we are unlikely to address complex city-wide challenges.

State Disaster Mitigation Plan alignment

- Enabler – collaborative governance
- Enabler – capacity and capability

Resilience goals

Collaborative governance models are in place to address city-wide resilience challenges.

Community values and priorities are included in government decisions about planning and infrastructure, and disaster mitigation and adaptation.

Decision-making and planning processes ensure people understand the concept of tolerable risk and decide what it means for their communities.

Community involvement in decision-making leads to a shared responsibility for managing risk, social licence to act and improved trust in government.

RESILIENT SYDNEY

Action pathways

1

Collaborate with the regional organisations of councils across Greater Sydney to address regional resilience challenges.

2

Participate in region-wide governance structures for the disaster adaptation plan (DAP).

3

Collaborate on developing a region-wide engagement framework to support the development of the DAP, adaptation pathways and place-based preparedness programs for communities across Greater Sydney.

4

Ensure climate risk assessment processes, adaptation pathways and place-based preparedness programs are inclusive of First Nations people's connection to Country and knowledge of place.

5

Collaborate with NSW Reconstruction Authority to develop a regional database of organisations, community groups, networks and volunteers. Use this to map surge capacity that can be mobilised in a shock event.

6

Coordinate regional community engagement activities on critical issues where collaboration on a shared position between councils will deliver the best outcome.

RESILIENT SYDNEY

Action 27

Adopt region-wide data and tools

Shocks & stresses



Bushfires



Heatwaves



Flooding



Coastal hazards



Low trust



Fragmented governance

Resilience challenge

A regional approach to data and planning for resilience is critical to effectively mitigate and adapt to the escalating risks to the places, people and economies of Greater Sydney.

State Disaster Mitigation Plan alignment

- Strategic planning
- Enabler – data
- Enabler – capacity and capability

Resilience goals

Science-based data, including climate scenario predictions, is agreed across all levels of government to support planning and decision-making at local and regional scales.

A consistent, regional-wide approach to providing local councils in Greater Sydney with access to timely, reliable, robust and securely managed information enables councils to efficiently direct resources to resilience actions.

State and local government are better able to benchmark, set targets, prioritise actions and report on performance and resilience to shocks and stresses.

RESILIENT SYDNEY

Action pathways

1

Collaborate with state government on a single source of hazard data. The data includes agreed climate projections and coastal inundation mapping to ensure consistent application of this data to the common planning assumptions.

2

Advocate for businesses to share hazard risk data with state and local governments.

3

Collaborate with state government to develop a consistent, shared approach for sensor data collection to better inform climate-smart decision-making for Greater Sydney.

4

Explore ways to collect comparable community insights across Greater Sydney such as a set of standard consultation questions for community strategic plans.

5

Explore and share emerging opportunities to use data in making strategic and operational decisions.

RESILIENT SYDNEY

Action 28

Enhance the Resilient Sydney data platform

Shocks & stresses



Energy



Heatwaves



Water



Low trust



Fragmented governance



Environment degradation

Resilience challenge

Local government requires an increasingly complex range of data to:

- Inform how it allocates resources to build community and organisational resilience.
- Respond to mandatory state reporting and planning requirements.

Resilience goals

Councils have access to reliable and suitable data to set benchmarks and targets, and to inform strategies, policies and operations.

Councils can effectively respond to mandatory reporting requirements and report on operational performance.

There is a standardised and streamlined approach to providing local government with regional data so councils can direct funds to action rather than data collection.

State Disaster Mitigation Plan alignment

- Enabler – data
- Enabler – capacity and capability

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RESILIENT SYDNEY

Action 29

Strengthen the resilience of council assets

Shocks & stresses



Economic crisis



Heatwaves



Bushfires



Flooding



Storms



Coastal hazards

Resilience challenge

Greater Sydney councils face increasing challenges in maintaining their assets and services as the frequency and intensity of shock events escalate.

Resilience goals

The resilience of council-managed assets to natural and other hazards is improved by reducing the risks and impacts arising from asset failures on systems, people, the environment and economy.

Long-term financial sustainability of local government is strengthened through the cost-effective adaptation of assets and services.

State Disaster Mitigation Plan alignment

- Enabler – funding
- Enabler – capacity and capability
- Infrastructure resilience

Action pathways

1

Support council asset managers across Greater Sydney through guidance and peer learning to incorporate resilience assessments into asset management plans.

2

Support councils to develop business continuity plans that respond to emerging threats including cyber-attacks and cumulative shock events.

3

Support councils develop priority adaptation lists for infrastructure and assets that the community relies on. The lists are informed by an understanding of the interdependencies between resilience risks.

4

Collaborate with the NSW government to develop regional prioritisation plans for asset renewal. Identify adaptation pathways for councils to increase the resilience of their assets and services.

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RESILIENT SYDNEY

Case study

**Darwin's Walk**

The popular and historic Darwin's Walk runs alongside Jamison Creek which captures most of the runoff from Wentworth Falls township. The track has been flood-damaged many times and repaired with existing materials. However, it was heavily impacted by major flooding in 2020 and then successive storms in 2021, 2022 and 2024. These events significantly altered the creek-line and eroded the earthen tracks. The timber boardwalks and bridges were washed downstream.

Photo:

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It was clear that more resilient infrastructure was required. A new track alignment was established away from the creek. Resilient design elements included replacing timber steps with sandstone, and installing steel footbridges and elevated boardwalks using techniques that minimised disturbance to the environment.

These and other resilient design principles are progressively being applied within many of the Blue Mountains City Council's susceptible natural areas.

Blue Mountains City Council

RESILIENT SYDNEY

Case study

**Mon Vale Surf Life Saving Club**

Sydney's coastline holds great recreational, social and cultural significance. It is also exposed to a range of hazards which are increasing in severity. To rebuild the Mon Vale Surf Lifesaving Club, Northern Beaches Council had to carefully consider erosion, saltwater intrusion, sea level rise and storm surge events.

The project included an 'acceptable risk' methodology that considered hazard risk over the 100 year life of the building and a resilience analysis of a range of engineering approaches. This informed the setbacks and the innovative piling and foundation design. Climate resilient

materials include precast concrete panels which can withstand storm waves, laminated glass to reduce the risk from shattering and stainless steel fittings. The outcome is reduced maintenance costs over a 100-year design life.

Northern Beaches Council worked with the Institute of Public Works and Engineering Australasia to develop two publicly-available practice notes coming out of the project – 'climate change impacts on the useful life of infrastructure' and 'climate resilient materials for infrastructure assets'.

Northern Beaches Council, NSW Stronger Communities Fund, Mon Vale Surf Life Saving Club, Institute of Public Works and Engineering Australasia

Photo:

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RESILIENT SYDNEY

Action 30

Galvanize resilience across Greater Sydney

Shocks & stresses



Flooding



Heatwaves



Waste



Low trust



Fragmented governance



Reducing social cohesion

Resilience challenge

All 33 councils of Greater Sydney with the NSW Government must participate in coordinated actions to increase and enhance the resilience of the city.

Resilience goals

The coordination of new initiatives and sharing of costs and resources accelerates the implementation and success of resilience actions across Greater Sydney.

Streamlined and efficient implementation of resilience actions across Greater Sydney builds a high level of organisational, individual and community preparedness.



State Disaster Mitigation Plan alignment

- Enabler – collaborative governance
- Enabler – capacity and capability

Photo: Resilience Ambassadors Meeting 2024 / Jacquie Manning

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RESILIENT SYDNEY

Action pathways

1

Coordinate implementation of the Resilient Sydney Strategy (2025–2030) and measure, evaluate and report its outcomes.

2

Ensure ongoing support for resilience implementation throughout Greater Sydney led by a representative steering committee.

3

Host Greater Sydney mayoral forums.

4

Host the 'Greater Sydney resilience ambassadors' program.

5

Develop and maintain memorandums of understanding between Resilient Sydney and state government departments and agencies on certain priorities and actions in the strategy.

6

Collaborate with regional organisations of councils, joint organisations, local government rivers and coastal alliances, peak bodies, businesses and researchers to advocate for regional priorities to state and national governments.

7

Participate in international networks and knowledge programs for city resilience.

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RESILIENT SYDNEY

RESILIENT SYDNEY

Appendix

Contact details

RSO@cityofsydney.nsw.gov.au

www.resilientsydney.com.au

[X](https://twitter.com/ResilientSydney) @ResilientSydney

[in](https://au.linkedin.com/company/resilient-sydney) au.linkedin.com/company/resilient-sydney



PE5 COOKS RIVER ALLIANCE UPDATE & BRANDING GUIDE
AUTHOR: Paul Reid, Acting Director Planning and Environment
APPROVER: Michael Mamo, General Manager

RECOMMENDATION

That:

1. Council notes the Cooks River Alliance Update.
2. Council endorses the new branding guide for Cooks River Alliance.

PURPOSE OF REPORT

To provide an update on the Cooks River Alliance (CRA) new branding guide as well as existing arrangements

REPORT

Background

The purpose of the Cooks River Cooks River Alliance (CRA) is to address the complex environmental problems of the Cooks River, which crosses multiple Council and state agency boundaries and to maximize **the efficient use of Councils' resources**. **Through facilitating implementation of a strategic plan, CRA will be a** resource that drives members to take a holistic view of the catchment and to be transparent to their communities in the management of this essential resource.

CRA will enhance Councils' ability to deliver on-ground natural resource management outcomes and community outreach programs by serving as a technical resource and actively seeking funding from public and private organisations for catchment projects.

Aspirational Statement

Given the highly distributed jurisdictional and policy responsibilities associated with the Cooks River, effective whole of catchment management of the Cooks River system can only be achieved via collaboration. Since its inception in 2011, the Cooks River CRA has proved to be a highly successful mechanism to this end. It has brought in millions of dollars in funding to the river, and led to material environmental and community outcomes, demonstrating value to CRA Member Organisations, state government agency stakeholders, and the communities we serve.

Working together in this way has had a profound synergistic effect, bringing together the combined resources, expertise, and capacities of its Member Organisations which has, in turn, developed confidence in state and federal agencies that have channelled significant resources to the Cooks River and its community. The existence of the Cooks River CRA has also provided additional advocacy power to its Member Organisations, gaining significant attention from state and federal politicians and government ministers, that has driven a much higher level of investment into the local region.

CRA Rebranding

The first stage of the Cooks River Integrated Master Plan (CRIMP) is to clearly articulate a common narrative for the river for CRA member organisations, stakeholders and the community. Key deliverables include:

- An overarching narrative or 'brand' for the river, known as *Our Backyard River* (see attachment)
- A Brand Guide (attached) to help CRA Member Organisations, produce promotional materials that enable consistent messaging about the river to your Council's community

Driving this branding campaign are a series of eight stunning videos, and portraits and posters that highlight the unique character of the river and its community in each Local Government Area (LGA), including Strathfield. During April, the CRA secretariat team has arranged for a series of posters to go up on bus stop shelters throughout the catchment and on several large digital billboards. The posters will include QR codes that will direct the public to a newly established "Our Backyard River" website, where they will be able to view the videos and other information about the Cooks River, its story, and the development and implementation of the CRIMP.

Governance Structure

The Cooks River CRA Management Committee oversees strategic direction and makes decisions on CRA activities. This committee consists of nominated Councillors from Councils that have made an agreed financial contribution to CRA, and senior managers from Sydney Water which has also made a financial contribution. These Councils and Sydney Water are collectively referred to as "Member Organisations". The Management Committee may invite other organisations onto the Committee, either as a financial or non-financial voting member.

An Executive Committee made up of senior staff from Member Organisations provides administrative direction to the Secretariat and advice to the Management Committee.

The Secretariat administer the day-to-day operations and financial management of Cooks River CRA projects. This includes project management; liaison between Member Organisations, stakeholders, and the community; coordinating working groups; and convening CRA general meetings and congresses. In essence, the Secretariat helps the Cooks River CRA Member Organisations work together with each other and key stakeholders (e.g. state government entities) towards a healthier Cooks River on behalf of the community.

Strathfield Council Involvement

- Strathfield is a founding member of CRA, joining when it kicked off in 2011. It was also the host Council for CRA prior to Canterbury-Bankstown taking over as the host Council after the NSW Government merged Councils in 2016 (not precisely sure when, but we think it was 2019 when CB City took over).
- Two Councillors sit on the Management Committee
 - Councillor Sandy Reddy
 - Councillor Esther Kim

Current CRA Projects

1. Cooks River Restoration Project

- \$10 Million worth of infrastructure works to progress the improvement of water quality, access and amenities and increase native vegetation throughout the catchment. Key activities include litter reduction and access improvements (**Strathfield**), waterway and access improvements in Parry Park (Canterbury Bankstown), a new canoe launch facility (Bayside) and new habitat establishment (Inner West).
- Project has been delayed by approximately 18 months due to negotiations between the Federal and State governments to administer the grant which delayed the issuing of the funding deed. The funding deed has since been issued and was signed by the CRA on the 20 December 2024.

2. Cooks River Integrated Master Plan (CRIMP)

- The Cooks River Integrated Master Plan will provide a hub for catchment-wide information that does not currently exist for the Cooks River system. The desire for such a hub was identified during a CRA member and key stakeholder engagement workshop during October 2021.
- Milestone 1, branding and storytelling, was completed in December 2024. Milestone 2, the data and information gaps analysis phase, is now underway.

3. Coastal Management Program

- The CRA are bringing together stakeholders from across the catchment to develop a long-term strategy with actions to improve the health of the Cooks River consistent with NSW Coastal Management Act 2016. The final Cooks River Catchment Coastal Management Program (CMP) will identify coastal management issues, and the actions required to address these issues in a strategic and integrated way.
- There are five stages to a CMP. We are currently in Stage 3, where we are identifying and evaluating potential management actions and developing a draft business plan. We expect to have a draft CMP completed by the end of 2025.

4. The Cooks River CRA Aboriginal Community Partnership Strategy

- The Aboriginal Community Partnership Strategy is a roadmap for Aboriginal inclusion and partnership, co-designed with Traditional Custodians and other local Aboriginal people connected to the Cooks River. It recommends nine goals for the CRA to take a collaborative journey towards more inclusive, respectful, and culturally rich engagement with the Aboriginal peoples of the Cooks River.
- On the 1 July last year, the CRA employed an Aboriginal Landcare Coordinator, Stacey Gilbert, to focus on the implementation of this strategy. Over the seven months since Stacey joined the CRA, two of the goals have already been achieved and another four have been initiated and are progressing.

5. Litter Prevention

- The CRA is taking a collaborative, coordinated approach to litter prevention at the catchment scale to significantly reduce litter before it reaches the river.

- Steering and working groups have been established incorporating participants of Member Organisations. Two councils have initiated 'cost of litter' analysis, and two have submitted expressions of interest in Round 2, Stream 2 WASM grants.

6. Wurridjal Festival

- During the months of March and April, Cooks River People gather for Wurridjal Festival to celebrate the annual migration of the mullet and the First Nations cultural practices during mullet season. In 2025, the Wurridjal Festival will take place from 29 March to 12 April with events in each LGA.
- Planning is currently underway ahead of the festival (29 March – 12 April).

FINANCIAL IMPLICATIONS

Proposed Expenditure: \$0

ATTACHMENTS

1. [Cooks River Alliance Brand Guide](#)

Brand Guide

THE COOKS
OUR
BACKYARD
RIVER

Contact

If you have any questions about the brand guide, or you are unsure if your communications best represent Our Backyard River please contact:

Jason L'Ecuyer
Senior Engagement Officer
Cooks River Alliance
e Jason.LEcuyer@cooksrivier.org.au
t 02 9707 9694

- 1.0 Introduction
- 2.0 Identity
- 3.0 Colour Palette
- 4.0 Typography
- 5.0 Graphic Elements & Imagery

Contents

1.0**Introduction**

These guidelines have been created to help you better understand the elements of the 'Our Backyard River' brand identity.

Our Backyard River Brand Guide

1.1

Who we are

‘Our Backyard River’ has been developed by the Cooks River Alliance as a communication tool to help drive wide ranging support for the ongoing regeneration of the Cooks River.

Our Backyard River Brand Guide



4

1.2

Mission

Our Backyard River Brand Guide



LET'S MAKE
IT THE BEST
URBAN RIVER
IN THE WORLD

1.3**Elevator Pitch**

Our Backyard River Brand Guide

Backyards are wonderful things - they provide shady spots on a sunny day, a training ground for amateur sports, a place to potter, and the site of countless birthday cakes and memories.

While not renowned for its glamour, on any given weekend you'll find everything you need along the banks of the Cooks.

Come and explore the Cooks, our backyard river at ourbackyardriver.com.au

2.0

Our Backyard River Brand Guide

- 2.1 Logo
- 2.2 Exclusion Zone
- 2.3 Minimum Space
- 2.4 Partnerships
- 2.5 Good Practice

Identity

7

2.1

Logo

This is the logo for Our Backyard River. It's the primary identifier of our brand and should not be altered or redrawn in any way.

Our Backyard River Brand Guide



2.1

Logo

The Our Backyard River brand acknowledges and allows for the inclusion of the different perspectives and places that surround the river.

Our Backyard River Brand Guide

THE COOKS
OUR
BACKYARD
RIVER

GOOLAY'YARI
OUR
BACKYARD
RIVER

WOLLI
OUR
BACKYARD
RIVER

BIDIGAL
OUR
BACKYARD
RIVER

2.2

Exclusion Zone

It's important to allow for clear space around the logo. This zone indicates the distance required between the logo and any other element.

Our Backyard River Brand Guide



2.3

Minimum size rules

Following the minimum size rule ensures legibility across all applications.

Our Backyard River Brand Guide

The height of the logo should always be at least 16mm high (with inclusion of 'The Cooks')



The height of the logo should always be at least 10mm high (excluding of 'The Cooks')

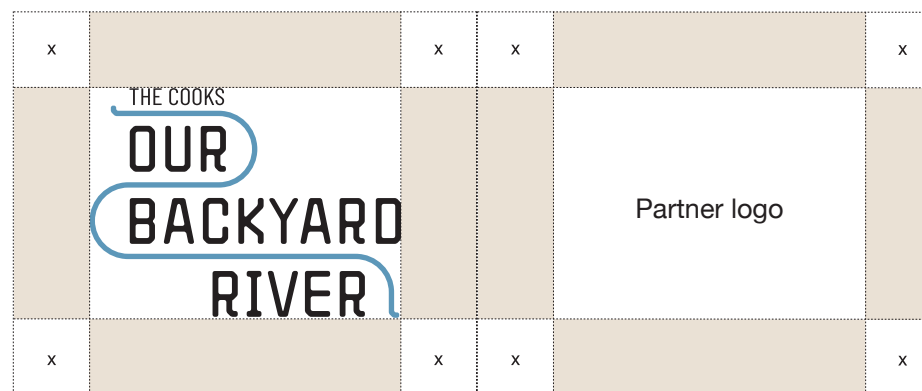


2.4

Partnerships

When the logo is used in partnership with another organisation's identity, the exclusion zone must be adhered to.

Our Backyard River Brand Guide



100% width

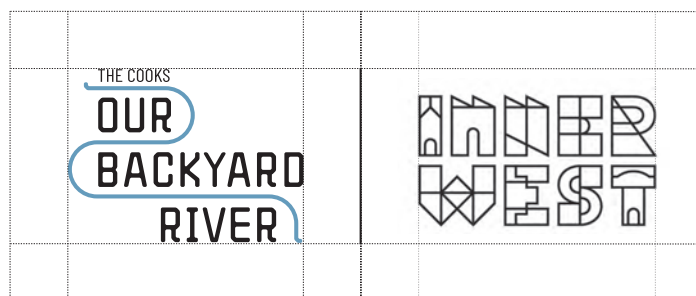
Matching width

2.4

Partnerships

When creating a lockup, a 1pt keyline must be introduced to separate the two logos. Both identities should possess an equal visual weight.

Our Backyard River Brand Guide



100% width

Matching width



2.5

Good practice

The logo can appear in full colour, reverse colour, monochromatic white or a single brand colour.

Our Backyard River Brand Guide

THE COOKS
OUR
BACKYARD
RIVER

Full colour on white

THE COOKS
OUR
BACKYARD
RIVER

Reverse colour on brand colour background

THE COOKS
OUR
BACKYARD
RIVER

Reverse colour on brand colour background

THE COOKS
OUR
BACKYARD
RIVER

Monochromatic on black

THE COOKS
OUR
BACKYARD
RIVER

Monochromatic on colour

THE COOKS
OUR
BACKYARD
RIVER

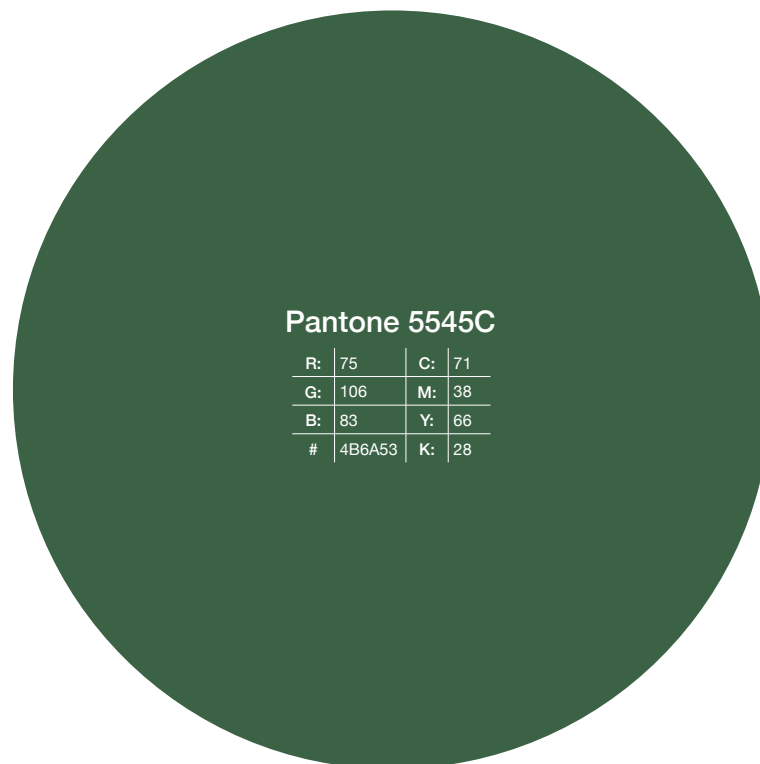
Monochromatic brand colour on white



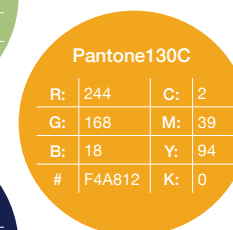
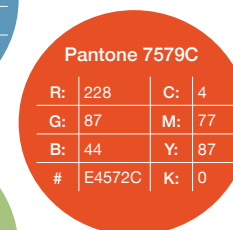
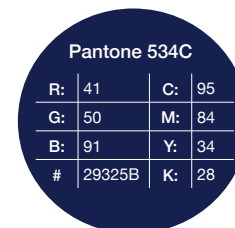
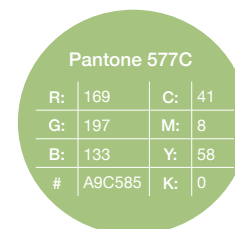
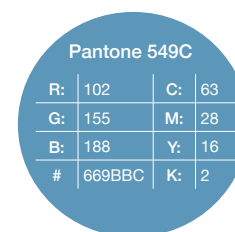
3.1

Brand Colours

Our Backyard River Brand Guide

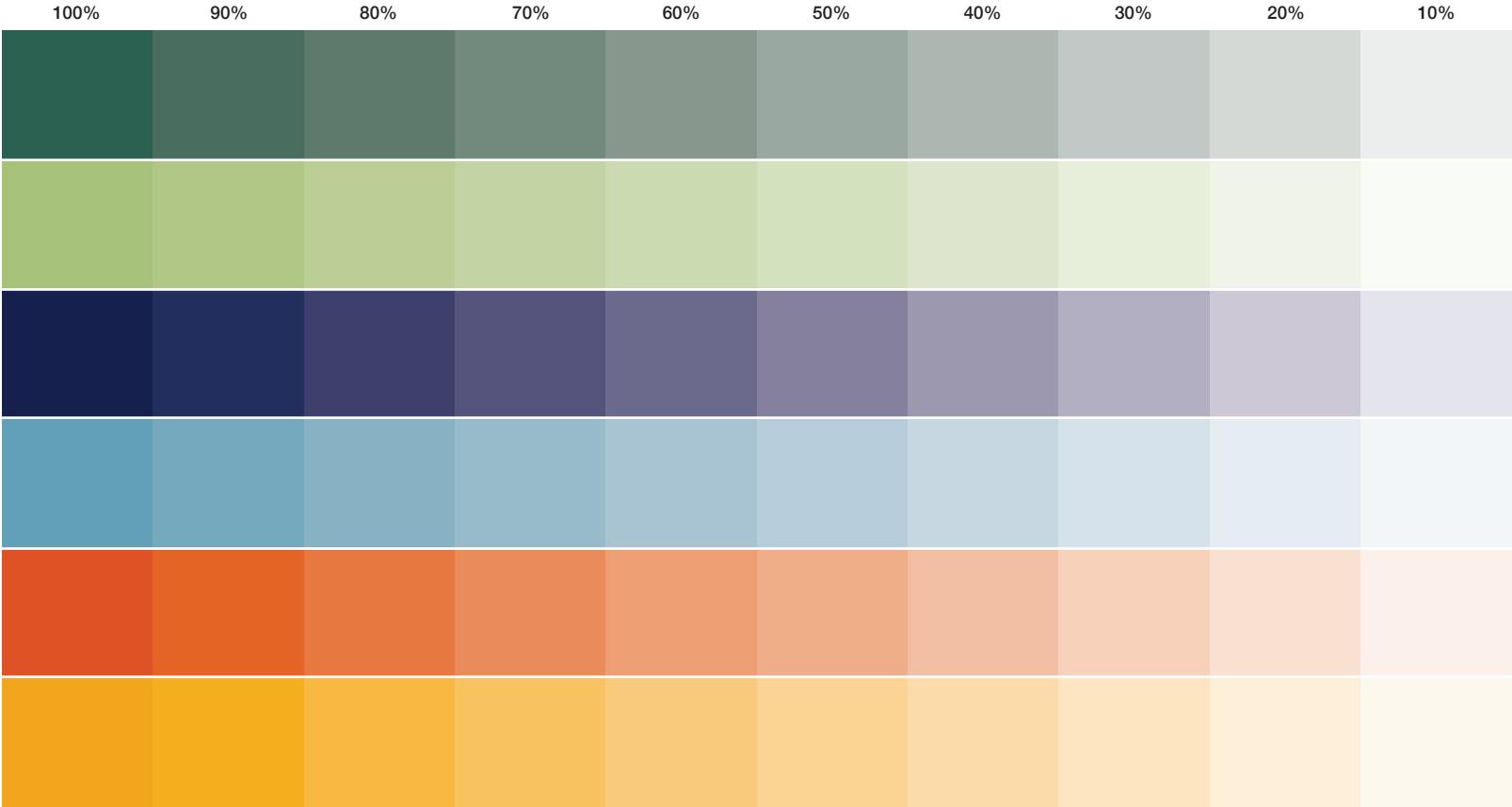


Our brand colours are designed to reflect the human and ecological diversity across our river catchment.



3.2 Tints

Our Backyard River Brand Guide



4.0

Our Backyard River Brand Guide

4.1 Overview

4.2 Colour breakdowns

Typography

18

4.0

Our Backyard River Brand Guide

Headline font:
Barlow Semi Condensed
Medium

[DOWNLOAD HERE](#)

Body copy font:
Open Sans Regular

[DOWNLOAD HERE](#)

EXPLORE THE HIDDEN GEMS OF OUR BACKYARD RIVER

Backyards are wonderful things - they provide shady spots on a sunny day, a training ground for amateur sports, a place to potter, and the site of countless birthday cakes and memories.

While not renowned for its glamour, on any given weekend you'll find everything you need along the banks of the Cooks.

Come and explore the Cooks, our backyard river at ourbackyardriver.com.au

Typography plays an essential role in the identity. Barlow Semi Condensed is a slightly rounded, low-contrast, grotesk type family. It is used always in caps as our headline font.

Key Features

- Designed for Accessibility
- Free Open Source

Open Sans is a humanist sans serif typeface used for all body copy. It forms a nice counterpoint to the our headline font.

Key Features

- Designed for Accessibility
- Free Open Source

5.0

Our Backyard River Brand Guide

5.1 Stickers & Pins

5.2 Examples

Graphic
Elements

20

5.1

Stickers & Pins

Graphic location pins offer some additional brand elements to help tell the story of the river, plus the various activities and hidden gems you can find along its course.

Our Backyard River Brand Guide



5.2

Examples

Example use of location pin within image to tell story of subject

Our Backyard River Brand Guide



5.2

Examples

Example use of location pin within image to tell story of subject

Our Backyard River Brand Guide



5.2

Examples

Example use of location pin within image to tell story of subject

Our Backyard River Brand Guide



5.2

Examples

Our Backyard River Brand Guide



Example webpage



Example poster

Example use of location pins within graphic to tell story of activities and hidden gems along the river.

Thanks

THE COOKS
OUR
BACKYARD
RIVER

December 2024

Version 1.0

EO1 DRAFT BUSKING POLICY - COMMUNITY FEEDBACK
AUTHOR: Cathy Edwards-Davis, Director Engineering & Operations
APPROVER: Michael Mamo, General Manager

RECOMMENDATION

That Council adopts the Busking Policy.

PURPOSE OF REPORT

At the Ordinary Council Meeting 10 December 2024, Council resolved:

332/24

RESOLVED: (Reddy / Kim)

That:

- 1. Council endorses the draft Busking Policy to be placed on public exhibition for a period of 28 days.*
- 2. Should Council receive negligible feedback, that Council delegate for the General Manager to finalise the Busking Policy.*

The draft Policy was placed on public exhibition and this report addresses the community feedback.

REPORT

Strathfield Council supports artists and performers, and values the vibrancy, vitality and cultural expression that they bring to Strathfield. A draft Busking Policy has therefore been developed and is attached to the report.

The purpose of this Policy is to provide a framework that supports artists and performers and monitors and mitigates any risks which could arise from busking. **This policy supports the Strathfield Council's Community Strategic Plan** to facilitate and support cultural and learning programs and activities.

The Policy provides the conditions under which busking is permitted in Strathfield Council on Council owned or managed properties.

The objectives of this policy are to:

- a) Encourage performances that enhance the vibrancy, vitality, and cultural expression of artists and performers in the Strathfield Local Government Area (LGA)
- b) Support creative communities by providing accessible opportunities for artists to showcase their work in public spaces
- c) Enhance public spaces as vibrant destinations that attract visitors and contribute to economic activity

- d) Position busking as a tool for placemaking, creating attractive public areas that encourage foot traffic, support local businesses, and strengthen Strathfield LGA's identity as a lively, culturally rich destination
- e) Provide a framework to ensure busking activities are supported and managed whilst maintaining the well-being and safety of Buskers, and the broader community
- f) To ensure that buskers do not present a hazard or obstruction to pedestrians or motorists or the efficiency of a road or traffic control devices
- g) To ensure the busking contains appropriate content
- h) Ensure busking is managed in a coordinated approach and does not result in a proliferation of busking in any one area

Community Engagement

The draft Busking Policy was placed on public exhibition, on the Have Your Say Strathfield website, from 14 January 2025 to 11 February 2025.

One submission was received from the community. The submission was principally concerned that the draft Policy allows for amplified sound. The submission preferred acoustic sound only and stated:

"Acoustic performances

- *Sound better,*
- *Do not irritate public who approach close by nearly as often, and*
- *Attract an audience more often than **amplified performances.**"*

The draft Policy in relation to Amplified Sound states:

Amplification is permitted. Only a battery powered speaker and amplifier is permitted. Buskers must ensure that their performance does not unreasonably disrupt nearby businesses, residents, or public amenity. The busking performance must not be able to be heard more than 50 meters away.

The draft Policy control therefore is that the amplified sound may only carry up to 50 meters. The draft Policy also allows for Council to direct a Busker to reduce the volume of their performance.

Given the limited community feedback received in response to the draft Policy, there does not appear to be strong community opinions on the proposal to allow busking or indeed to allow amplified busking. Given this, it is recommended that amplified sound, as outlined in the draft Policy, be permitted.

The community feedback also made a submission relating to location. The draft Policy stated that when selecting a location, buskers must be at least 100 metres away from another Busker or approved event or gathering. The community submission was that this should be reduced from 100 metres to 50 metres. This distance is somewhat arbitrary and therefore this feedback is supported and has been changed in the updated Policy, attached.

FINANCIAL IMPLICATIONS

The fees for busking are outlined in Council's Schedule of Fees and Charges, which is available on the Council website.

ATTACHMENTS

1. [Updated Draft Busking Policy](#)

STRATHFIELD COUNCIL

BUSKING POLICY



DRAFT

2025





DRAFT Busking Policy

POLICY DETAILS				
Policy Name		Busking Policy		
Policy Number		Xxx		
Version Number		V01		
Authoriser		Director Engineering & Operations		
Date		xxx 2025		
Minute Number		Xxx		
Review Timeframe		Xxx		
Policy Owner		Manager Resilience, Compliance & Commercial		
CM10 Folder #		Xxx		
CM10 Document #		Xxx		
ASSOCIATED POLICIES		Events in Council Parks & Facilities Policy Public Space Advertising Policy		
ASSOCIATED LEGISLATION		Local Government Act		
VERSION HISTORY				
Version No	Date	Revision details	Modified by	Amendments made
V01	Xxx			

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1. Introduction

1.1. Background and Purpose of Policy

Strathfield Council supports artists and performers, and values the vibrancy, vitality and cultural expression that they bring to Strathfield.

The purpose of this Policy is to provide a framework that supports artists and performers and monitors and mitigates any risks which could arise from busking. This policy supports the Strathfield Council's Community Strategic Plan to facilitate and support cultural and learning programs and activities.

The Policy provides the conditions under which busking is permitted in Strathfield Council on Council owned or managed properties.

1.2. Objectives of the Policy

The objectives of this policy are to:

- a) Encourage performances that enhance the vibrancy, vitality, and cultural expression of artists and performers in the Strathfield Local Government Area (LGA)
- b) Support creative communities by providing accessible opportunities for artists to showcase their work in public spaces.
- c) Enhance public spaces as vibrant destinations that attract visitors and contribute to economic activity.
- d) Position busking as a tool for placemaking, creating attractive public areas that encourage foot traffic, support local businesses, and strengthen Strathfield LGA's identity as a lively, culturally rich destination.
- e) Provide a framework to ensure busking activities are supported and managed whilst maintaining the well-being and safety of Buskers, and the broader community.
- f) To ensure that Buskers do not present a hazard or obstruction to pedestrians or motorists or the efficiency of a road or traffic control devices.
- g) To ensure the busking contains appropriate content.
- h) Ensure busking is managed in a coordinated approach and does not result in a proliferation of busking in any one area.

1.3. Coverage of the Policy

The policy applies to all Council owned or managed land and property.

2. Permit Approvals

An application must be lodged for all busking activities on Council owned or managed property. A Permit for busking is issued under s68 of the Local Government Act. The application will be considered by the relevant Council staff. Granting of a Permit is subject to the Busker agreeing to comply with the requirements of this Policy.

People approved to undertake busking will be provided with a Council issued Permit. A copy of this Permit must be available on request for inspection by any Council Authorised Officer including Council's Rangers.

The Permit does not provide the Busker with sole use or reservation of a site.

The fees for busking are outlined in Council's Schedule of Fees and Charges, which is available on the Council website.

Performers Under 18 Years of Age

Council supports young performers under 18 years of age contributing to the vibrancy of the Strathfield area. Busking Permit applications for people under 18 years of age must be signed by a parent or guardian.

Strathfield Council provides no supervision of buskers under the age of 18 years and recommends an adult accompany young buskers at all times.

3. Types of Performances

The following types of performances are permitted:

- a) Playing a musical instrument
- b) Singing
- c) Comedy routines (non-offensive, as outlined below)
- d) Juggling (non-dangerous items)
- e) Mime/ statue
- f) Dance
- g) Circus skills
- h) Magic
- i) Temporary or handheld artwork
- j) Speeches (non-offensive, as outlined below)
- k) Cultural performances
- l) Recitation/Storytelling
- m) Puppetry
- n) Pavement Art (such as chalk art, drawing and painting)
- o) Council may also approve unique and special activities that meet the busking principles.

The following types of performances are not permitted:

- a) Any performance content promoting or containing alcohol, drugs, firearms, gambling, pornography, tobacco, obscene language, or obscene acts. Performances must be appropriate for all ages.
- b) Any performance containing hazardous activities, e.g. fire, knives, or other dangerous goods.
- c) Any performance with live animals.
- d) Any performance which is offensive including, but not limited to: age, disability, race, sex, intersex status, gender identity sexual orientation discrimination, and political bias.
- e) Any performance which teases, humiliates, or harasses anyone.

4. Sale of Items

Buskers may accept voluntary donations from the community in appreciation of their performance. Buskers must not request donations from the community.

Buskers must not engage in any commercial activities other than selling their own CDs, DVDs, or artwork. This must be supplementary to the performance.

Advertising or promotional material is permitted, only if it:

- a) Is displayed in a manner that does not impact on pedestrian access
- b) Is only displayed during the performance period, and
- c) Complements the busking performance.

5. Locations

Busking is permitted in the main streets/urban centres in the Strathfield Local Government Area. The most appropriate busking areas are locations which are open, clear areas. Examples of appropriate busking areas include a public bench, public plaza, parks, and wide footpaths.

When selecting a location, Buskers must:

- a) Ensure they are not creating a physical obstruction or hazard.
- b) Be aware of their location and ensure that pedestrian, cyclist, and vehicular thoroughfares are left clear. This includes ensuring that gathered audiences also do not block thoroughfares. A minimum of two meters must be kept clear for pedestrian access.
- c) Not block access to the entry or exit of any building, shop, pedestrian walkway, street, or car park.
- d) Keep their performance area clean, safe, and free of trip hazards. Buskers must not leave or abandon any equipment in the public domain. Any unattended equipment may be impounded by an Authorised Officer and there may be a fine for its recovery applied.
- e) Ensure they have a suitable clearance from roads and meet appropriate road safety standards.
- f) Share the public space with other members of the community in a courteous manner.
- g) Be at least 50 meters away from another Busker or approved event or gathering.
- h) Be located away from residential areas, so it does not create a nuisance to residents.

Buskers must use less than 2m² of public space when performing. If the proposed performance area is greater than this, they must seek prior written approval from Council for the specific location.

Busking is not permitted in areas designated for other specific purposes, e.g. within 2 metres of bus stops, within 2 metres of a taxi rank, adjacent to a pedestrian crossing, car parks, within 100m of an approved event area, or within paid outdoor dining areas.

Buskers must respect the rights and diversity of nearby business owners and community members. Buskers are encouraged to advise nearby cafés/stores/businesses of their plans to perform, before setting up.

6. Pavement Artists

Pavement artists must use chalk that is entirely removable by water or draw onto a removable canvas placed over the pavement.

Pavement artists must ensure that there are no trip hazards by taping down the edges of any canvases which are placed over the pavement.

7. Busking Times

Except where otherwise permitted in writing by Council, holders of a Permit may perform:

- a) 8am to 10pm, Sunday to Thursday
- b) 8am to midnight, Friday and Saturday

Performance times for Buskers are limited to a maximum of 2 hours per day in any one location. Any new performance location must be at least 500 metres away. If the proposed performance time is greater than 2 hours per day in any one location, Buskers must seek prior written approval from Council for the extended performance time.

8. Amplified Sound

Amplification is permitted. Only a battery powered speaker and amplifier is permitted. Buskers must ensure that their performance does not unreasonably disrupt nearby businesses, residents, or public amenity. The busking performance must not be able to be heard more than 50 meters away.

9. Policy Breaches

Council reserves the right to direct a Busker to reduce the volume of their performance.

Council reserves the right to direct a Busker to cease their performance on Council owned or managed properties, at its sole discretion.

Buskers must obey all reasonable directions issued by Council or its Authorised Officer.

Repeated breaches of this Policy may result in Council revoking a Busker's Permit.

EO2 ACCESSIBILITY REPORT FOR STRATHFIELD COUNCIL BUILDINGS AND FACILITIES

AUTHOR: Raisa Raihan, Student Engineer

APPROVER: Cathy Edwards-Davis, Director Engineering and Operations

RECOMMENDATION

That Council:

1. Give consideration to accessibility upgrades as part of any future upgrade works at Council buildings and facilities.
2. Take the findings of this audit into consideration as part of the Land and Property Strategy and future capital works budgets.

PURPOSE OF REPORT

At the Ordinary Council Meeting 10 December 2024, Council resolved:

328/24

RESOLVED:

That Council receive a report into the accessibility of Council buildings for residents with a disability.

Strathfield Council has 55 buildings and facilities, 43 of which are currently accessible by the public. Many of these buildings and facilities were constructed before modern accessibility standards were created or matured. Therefore, a review of Council buildings and facilities is necessary to understand their current accessibility status.

REPORT

Staff have assessed Council's 43 publicly usable buildings and facilities to determine if they are accessible by wheelchair users. The scope of the report has focused on parking accessibility, accessibility of entrances, manoeuvrability inside the facility/building and between different floors, availability of accessible bathrooms and emergency exits.

The assessment determined that 20 of 43 Council buildings/facilities met all the accessibility criteria set for access by wheelchair users. For future building works, the inclusion of more accessible bathrooms, disabled parking spaces, additional evacuation plans, and the inclusion of emergency contact details in all buildings/sites should be considered.

The audit included the following criteria:

External Accessibility

External accessibility to Council buildings/facilities covers the ability for residents and the public to access the most accessible entrance of the building/facility from a dedicated accessible parking space or closest parking space if an accessible space is unavailable.

Disabled Parking Spaces

31 of 43 Council buildings/facilities have a designated accessible parking space available. The 12 sites that did not have an accessible parking space had at least one parking space close to the entrance of the facility that could be converted to a disabled parking space.

Accessible Pathway

38 of 43 Council buildings/facilities have a continuous pathway from the most accessible parking space or a designated disabled parking space.

Internal Accessibility

Internal accessibility covers the ability to access all features within a Council building or facility that are available for hirers or the public to access. It also covers the current accessibility of evacuation from a site during an emergency.

Wheelchair Accessibility

35 of 43 Council buildings/facilities had wheelchair access across all floors and rooms. Most of the sites assessed had sufficient turning space in tight spaces except for 5 buildings/facilities.

All flooring in Council buildings and facilities are non-slip when wet and where carpets were present, they are low pile and wrinkle free. Similarly, stairs within all Council buildings and facilities are slip resistant when wet and have a colour contrast strip. The exception to the flooring and contrast strip requirements are two properties.

Accessible Bathrooms

29 of 43 Council sites assessed had an accessible bathroom present in the building or facility. Of the 14 sites without accessible bathrooms, 5 did not contain any bathrooms that may be made accessible as the current bathrooms are for private use only (inside apartments) or for staff only use.

As this report focuses on the accessibility of Council buildings and facilities by a wheelchair user. The scope does not consider complete accessibility as required by the Australian Standards.

Priority Sites

The following tables contain sites that are community centres and are frequently visited by the community:

Accessibility Report for Strathfield Council Buildings and Facilities (Cont'd)

Sites	Comments
Strathfield Community Centre	Accessible, but front entrance level may be uneven.
Dutton Centre	Accessible
Homebush West Community Centre	Accessible
High Street Community Centre	Accessible
Council Customer Service Centre	Accessible
Council's Townhall	Accessible, however only through an emergency access. Further consideration should be given to improve accessibility. Disabled parking space is also steep, however adjustment to levels may be difficult due to underground services and impact to entrances in the surround.
Council's Chamber	Accessible with lift and project is underway to upgrade the existing lift
Council's library	Accessible

Conclusion

Of the 43 Council buildings and facilities assessed in this report, 20 are accessible both internally and externally for wheelchair users.

The key sites which are community Centres are all accessible, however improvements can be considered with any future substantial capital works upgrades.

16 of the assessed sites require at least one change internally to ensure wheelchair accessibility within the building/facility. 18 of the assessed sites require at least one change externally to ensure wheelchair accessibility to the entrance of the site from a parking space.

The areas for consideration in future building works are in the inclusion of more accessible bathrooms and more disabled parking spaces.

The findings of this report should be considered as part of the Land and Property Strategy. Any upgrade works to existing building and facilities should be developed in a holistic manner and planned to ensure cost efficiency and fit for purpose development.

ATTACHMENTS

There are no attachments for this report

EO3 HOMEBUSH MOVEMENT AND PLACE CONNECTIVITY AND STREETScape UPGRADE
PROJECT - AMENDED DESIGN

AUTHOR: Jack Griffiths, Traffic Engineer

APPROVER: Cathy Edwards-Davis, Director Engineering and Operations

RECOMMENDATION

That Council:

1. Note the design amendments made to the Homebush Movement and Place Connectivity and Streetscape Upgrade Project (HMaPP) following community consultation and the Council decision on 10 December 2024.
2. Approve the construction and delivery of Section 1 of the HMaPP.
3. Approve the construction and delivery of Section 2 of the HMaPP.
4. Approve the construction and delivery of Section 3 Part I of the HMaPP.
5. Approve the construction and delivery of Section 3 Part II of the HMaPP.
6. Approve the construction and delivery of Section 3 Part III of the HMaPP.
7. Approve the construction and delivery of Section 3 Part IV of the HMaPP.
8. Approve the construction and delivery of Section 3 Part V of the HMaPP.
9. Approve the construction and delivery of Section 3 Part VI of the HMaPP.
10. Approve the construction and delivery of Section 3 Part VII of the HMaPP.
11. Approve the construction and delivery of Section 3 Part VIII of the HMaPP.
12. Approve the construction and delivery of Section 4 of the HMaPP.
13. Approve the construction and delivery of Section 5 of the HMaPP.
14. Seek additional funding for the construction and delivery of any section of the HMaPP that cannot be delivered with the funding currently available to Council.

PURPOSE OF REPORT

The purpose of this report is to present the updated design of the Homebush Movement and Place Connectivity and Streetscape Upgrade Project (HMaPP) with amendments. The amended design addresses comments received from the community during engagement and the decision from the 10 December 2024

Council Meeting. It subsequently seeks approval on a section-by-section basis to proceed to construction and delivery for the project.

REPORT

The HMaPP is a proposed 3.2km active travel project connecting Airey Park in the west, Ismay Reserve and Powell's Creek in the north, and Strathfield Town Centre in the east, with Homebush Town Centre at the centre of the project (Figure 1). North of the rail line, the project also runs through the Homebush Transport Oriented Development area, supporting the aim of this initiative by providing alternative transport methods to private vehicle use and addressing key concerns of Council by promoting walking and micromobility uses in this precinct.

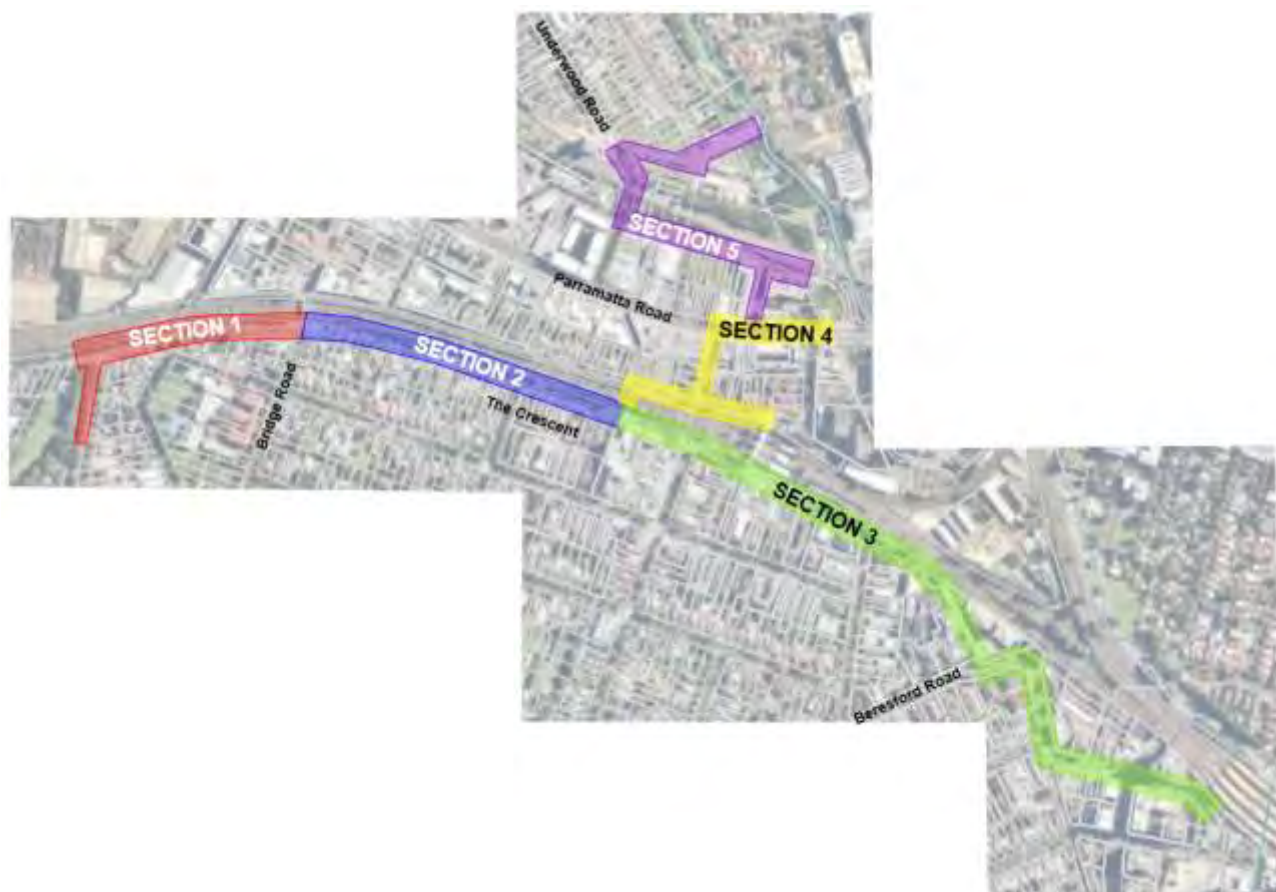


Figure 1 – HMaPP route

The project aims to deliver micromobility and walking improvements for improved usability, on-road treatments to increase road safety, and additional planting and urban design opportunities for heightened place outcomes, particularly within the Homebush Town Centre.

Following community consultation on the project, objection was received due to the proposed removal of parking within and near the Homebush Town Centre. In response, Council officers proposed several alternative design options on The Crescent between Meredith Street and Homebush Road to retain some of the parking proposed for removal. At the Ordinary Council Meeting of 10 December 2024, Council resolved to not proceed with the construction of the HMaPP.

Following this resolution, Council officers have further modified the design to retain almost all on-street parking between Meredith Street and the eastern dead end of The Crescent. To offset proposed parking removal on The Crescent, new unrestricted parking on Loftus Crescent between Subway Lane and Knight Street has been identified for implementation. Additional design elements include new pedestrian crossings and several intersection upgrades.

Each section is discussed as follows, with new sections starting on a separate page for identification of section separation. Additionally, parking implications are discussed for each section.

Figure 2 below shows the results of a parking occupancy survey, conducted by Council staff shown in August 2024 to September 2024.



Figure 2 – 2024 parking occupancy survey results for The Crescent and side streets

SECTION 1 – AIREY PARK TO BRIDGE ROAD (FIGURE 3)

- Shared path on the western verge of Bates Street
- Separated bike path in the northern parking lane of The Crescent
- Planting in the northern verge of The Crescent
- Unrestricted parking removed on the north side of The Crescent – parking occupancy results on The Crescent and in side streets show there is ample availability to accommodate displaced vehicles
- Unrestricted parking reclaimed on the south side of The Crescent and in Bates Street

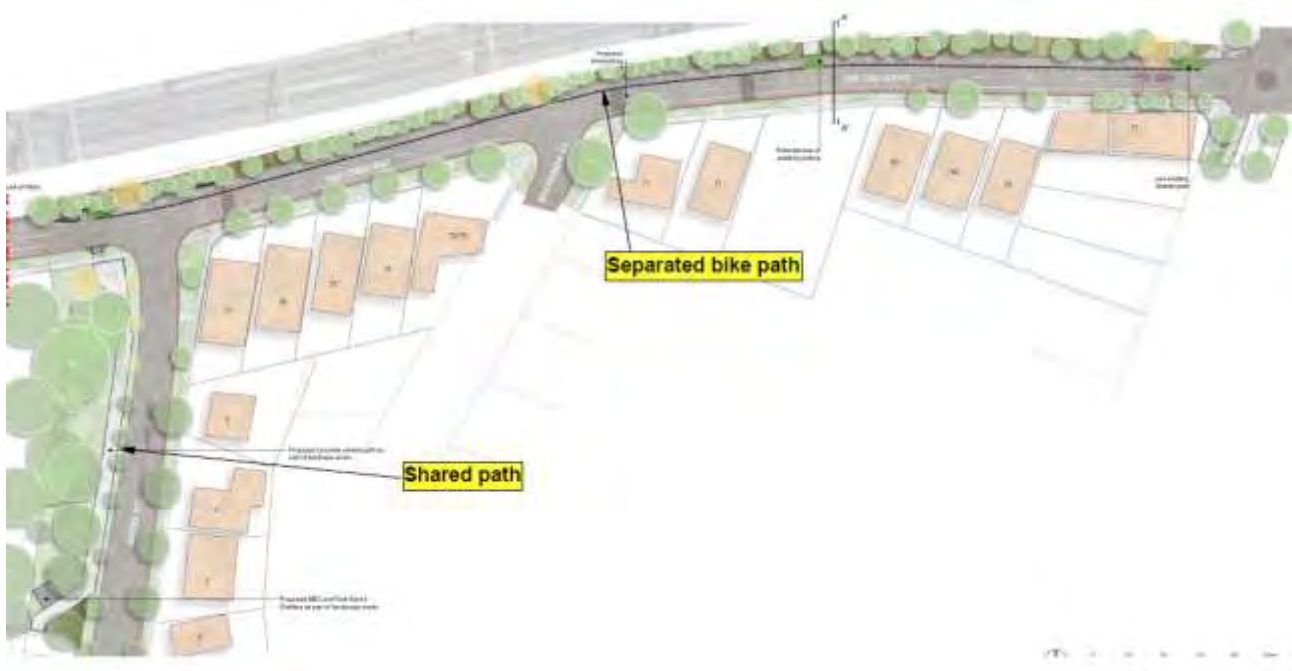


Figure 3 – Section 1 of the HMaPP between Airey Park and Bridge Road

SECTION 2 – BRIDGE ROAD TO SUBWAY LANE (FIGURES 4 AND 5)

- New pedestrian crossings at the intersection of Bridge Road and The Crescent, setback from the intersection to not affect vehicle movements
- Separated bike path in the northern parking lane of The Crescent that transitions into a shared path at Meredith Street for on-street parking retention
- Planting in the northern verge of The Crescent
- New pedestrian crossing on The Crescent west of Subway Lane
- Unrestricted parking removed on the north side of The Crescent between Bridge Road and Meredith Street – parking occupancy results on The Crescent show there is ample availability to accommodate displaced vehicles on the south side of The Crescent
 - Of 22 unrestricted high-demand parking spaces between Meredith Street and Subway Lane (the section in the parking occupancy map with 89.82% occupancy), 18 are retained, with additional parking introduced in Loftus Crescent (discussed in Section 4) offsetting those spaces being removed
- Unrestricted parking reclaimed on the south side of The Crescent



Figure 4 – Section 2 of the HMaPP between Bridge Road and Meredith Street

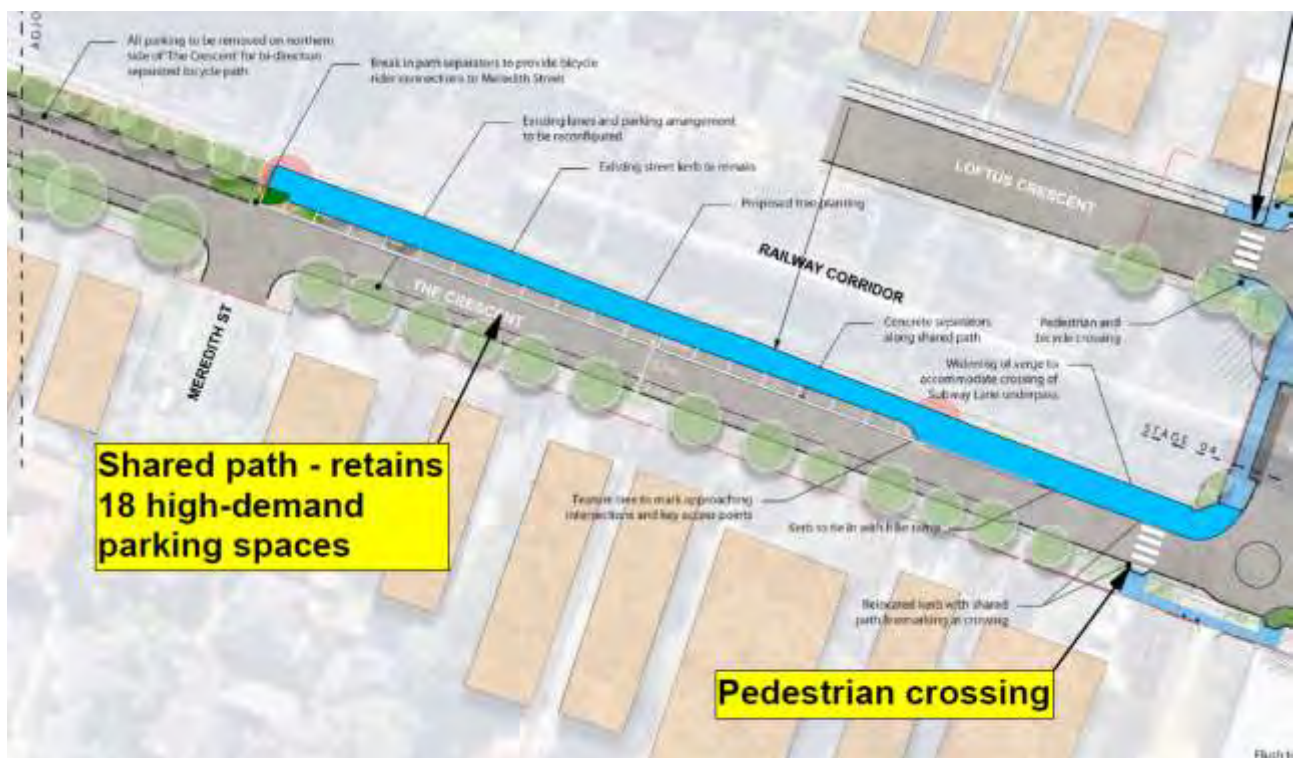


Figure 5 – Section 2 of the HMaPP between Meredith Street and Subway Lane

SECTION 3 PART I – SUBWAY LANE TO ROCHESTER STREET (FIGURE 6)

- New separated bike path on the south side of The Crescent
- Shared path on the corners of Rochester Street with planting
- 'No Parking' / '1-Hour Parking' removed on the south side of The Crescent

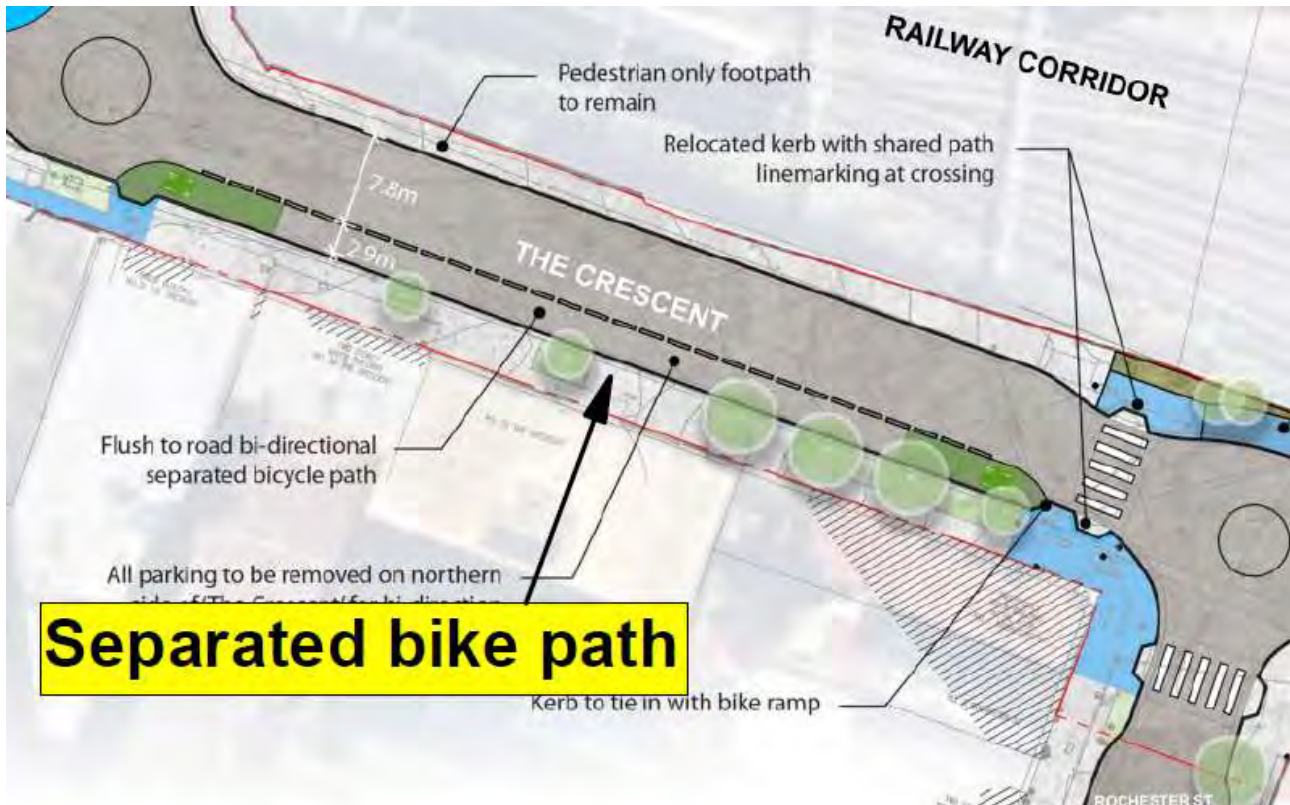


Figure 6 – Section 3 Part I of the HMaPP between Subway Lane and Rochester Street

SECTION 3 PART II – ROCHESTER STREET TO HOMEBUSH ROAD (FIGURES 7 AND 8)

- New kerb widening on the north side of The Crescent to facilitate shared path and new planting for majority of section
- Reduced clutter around both sides of pedestrian crossing outside Homebush Station, including removal of fencing, bollards, and stems, and new planting introduced
- Only parking removed is 1 accessible space and 1 motorbike space
- Several parking restrictions relocated to more appropriate location to suit the parking type: motorbike parking, accessible parking, 10-minute parking (combines existing 15-minute and 5-minute parking restrictions)



Figure 7 – Section 3 Part II of the HMaPP between Rochester Street and Homebush Station



Figure 8 – Section 3 Part II of the HMaPP between Homebush Station and Homebush Road

SECTION 3 PART III – HOMEBUSH ROAD TO END OF THE CRESCENT (FIGURE 9)

- On-road treatments and traffic calming including new road surface and traffic calming
- Existing southern footpath marked as shared path for use on Saturdays during higher traffic levels
- No parking removal



Figure 9 – Section 3 Part III of the HMaPP between Homebush Road and end of The Crescent

SECTION 3 PART IV – END OF THE CRESCENT TO BERESFORD ROAD (FIGURE 10)

- New paving of path for renewal and urban design treatment
- Lighting relocated to side of path for improved usability, lighting levels reviewed for security
- Fencing removed where possible for improved usability
- New planting and seating in existing park at southern end of pathway, fronting Beresford Road
- No parking affected

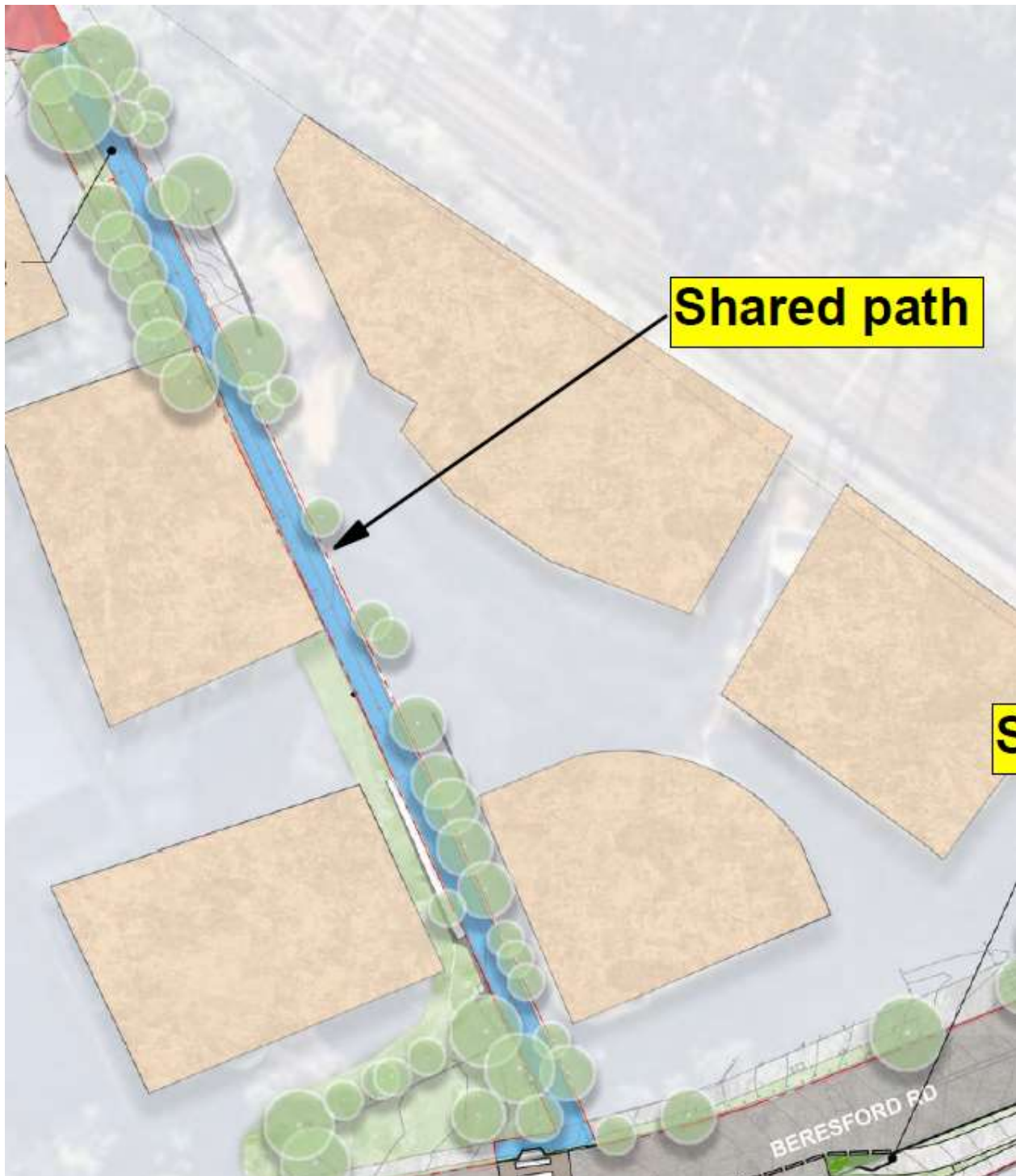


Figure 10 – Section 3 Part IV of the HMaPP between the end of The Crescent and Beresford Road

SECTION 3 PART V – BERESFORD ROAD TO ALBERT ROAD (FIGURES 11 AND 12)

- Separated bike path on the south side of Beresford Road and west side of Elva Street
- New planting in nature strip along road and in separator of bike path
- Some parking removed on south side of Beresford Road, parking removed on west side of Elva Street

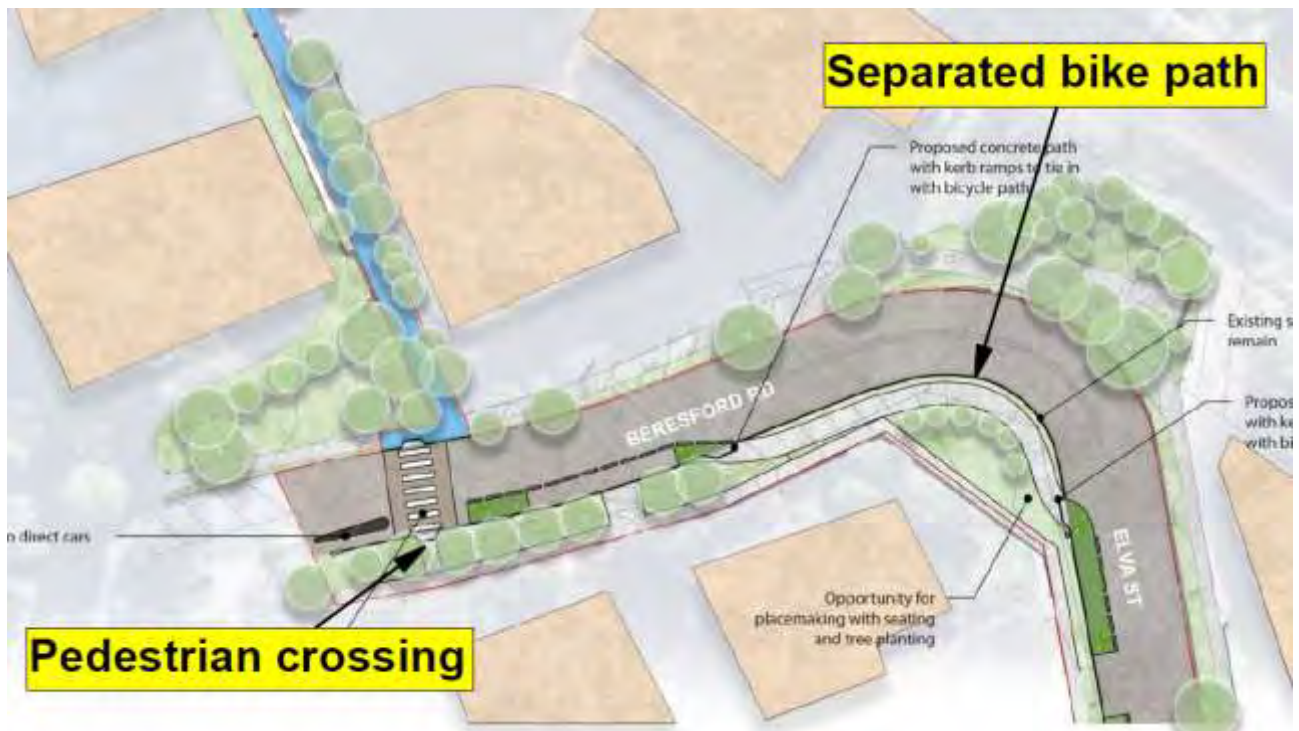


Figure 11 – Section 3 Part V of the HMaPP between Beresford Road and Elva Street

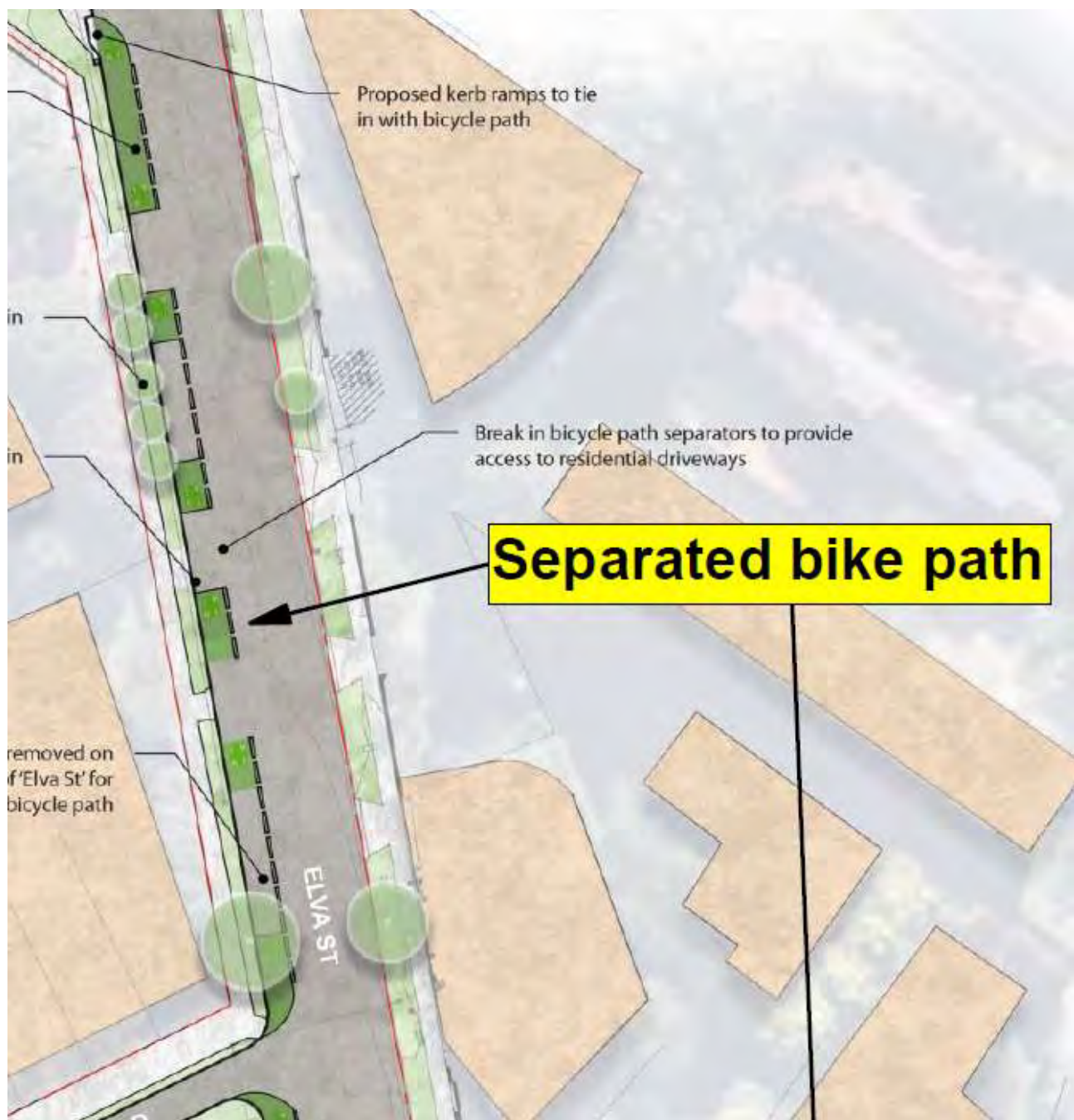


Figure 12 – Section 3 Part V of the HMaPP between Elva Street and Albert Road

SECTION 3 PART VI – INTERSECTION OF ELVA STREET AND ALBERT ROAD (FIGURE 13)

- Closure of southern side of island and widening on northern side of island to define trafficable area and make new usable green space
- New roundabout at intersection for traffic and speed control
- New pedestrian crossings on Albert Road and Elva Street
- New refuge island on Elva Street
- Traffic calming on bend of Elva Street and Albert Road
- No parking affected



Figure 13 – Section 3 Part VI of the HMaPP between Elva Street and Albert Road

SECTION 3 PART VII – ALBERT ROAD (FIGURE 14)

- Separated bike path on the south side of Albert Road
- New planting in nature strip
- No parking affected as lane is a travel lane

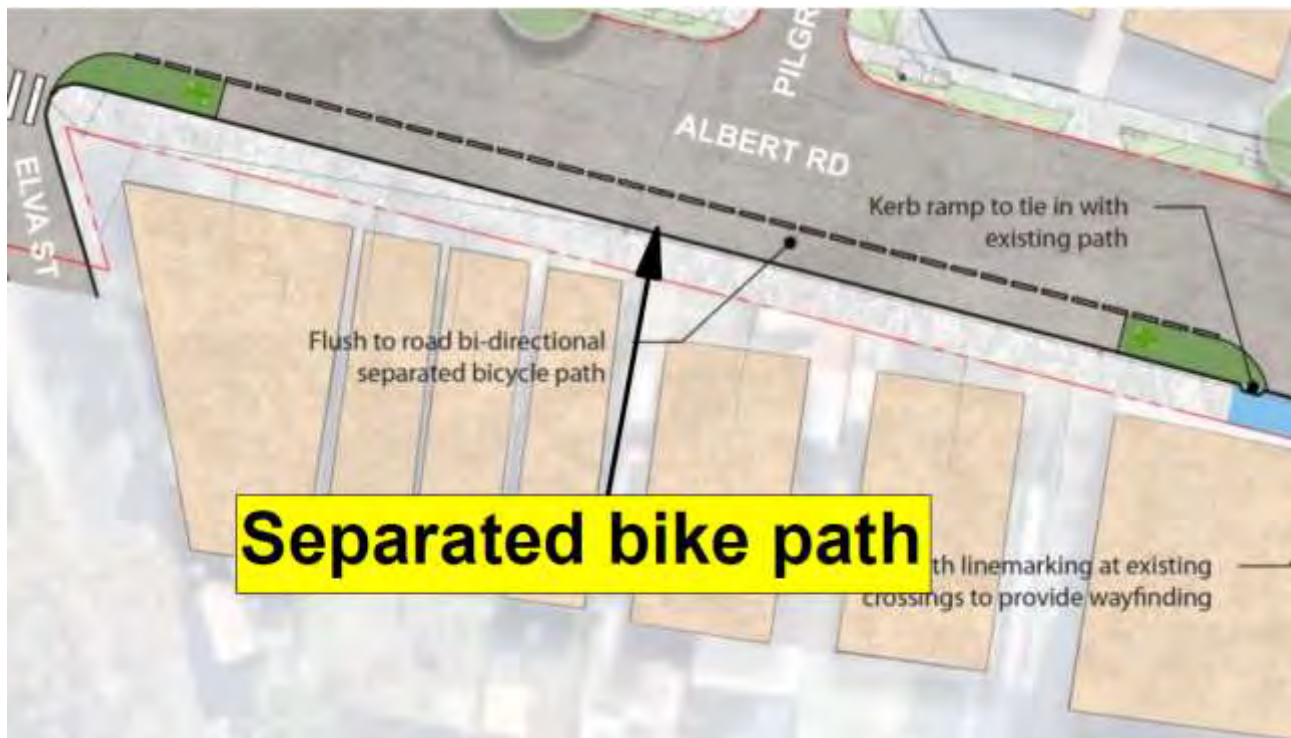


Figure 14 – Section 3 Part VII of the HMaPP between Elva Street and Raw Square

SECTION 3 PART VIII – ALBERT ROAD (FIGURE 15)

- Shared path on the south side of Albert Road, including footpath renewal in town centre
- Proposed bike shed in Albert Road car park to be put on hold until Strathfield Town Centre masterplan is finalised – additional bike shelter proposed outside Strathfield Station to be passed onto Sydney Trains for action and integration with Opal system

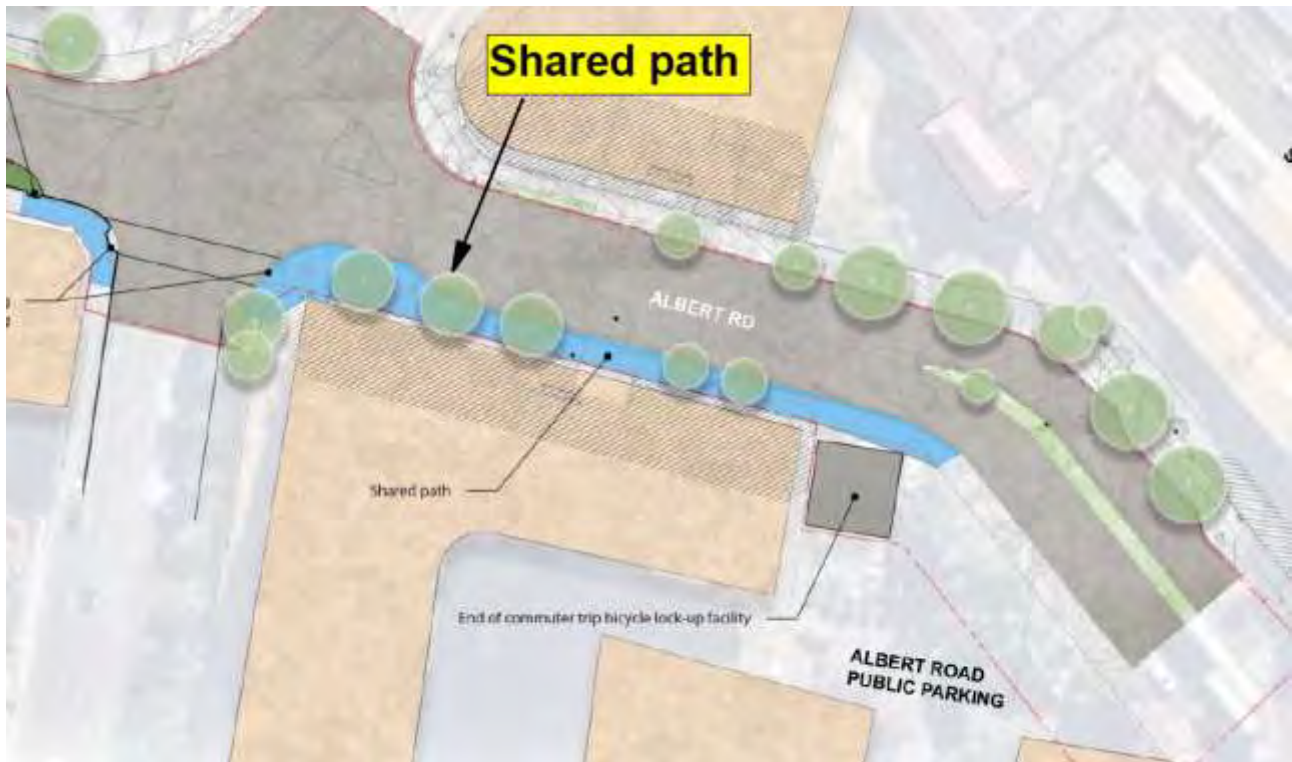


Figure 15 – Section 3 Part VIII of the HMaPP between Raw Square and Strathfield Station

SECTION 4 – SUBWAY LANE TO PARRAMATTA ROAD (FIGURES 16 AND 17)

- Footpath widening through Subway Lane underpass
- 3 new pedestrian crossings at the intersection of Subway Lane and Rochester Street and 2 new pedestrian crossings at the intersection of Loftus Crescent and Knight Street
- New planting in Subway Lane
- Roundabout removal at the intersection of Loftus Crescent and Knight Street, priority reassigned for traffic flow maintenance
- Shared path on Loftus Crescent and Knight Street, including kerb widening on Loftus Crescent
- Road widening on Loftus Crescent to provide 8 x new unrestricted parking spaces to offset parking loss on The Crescent

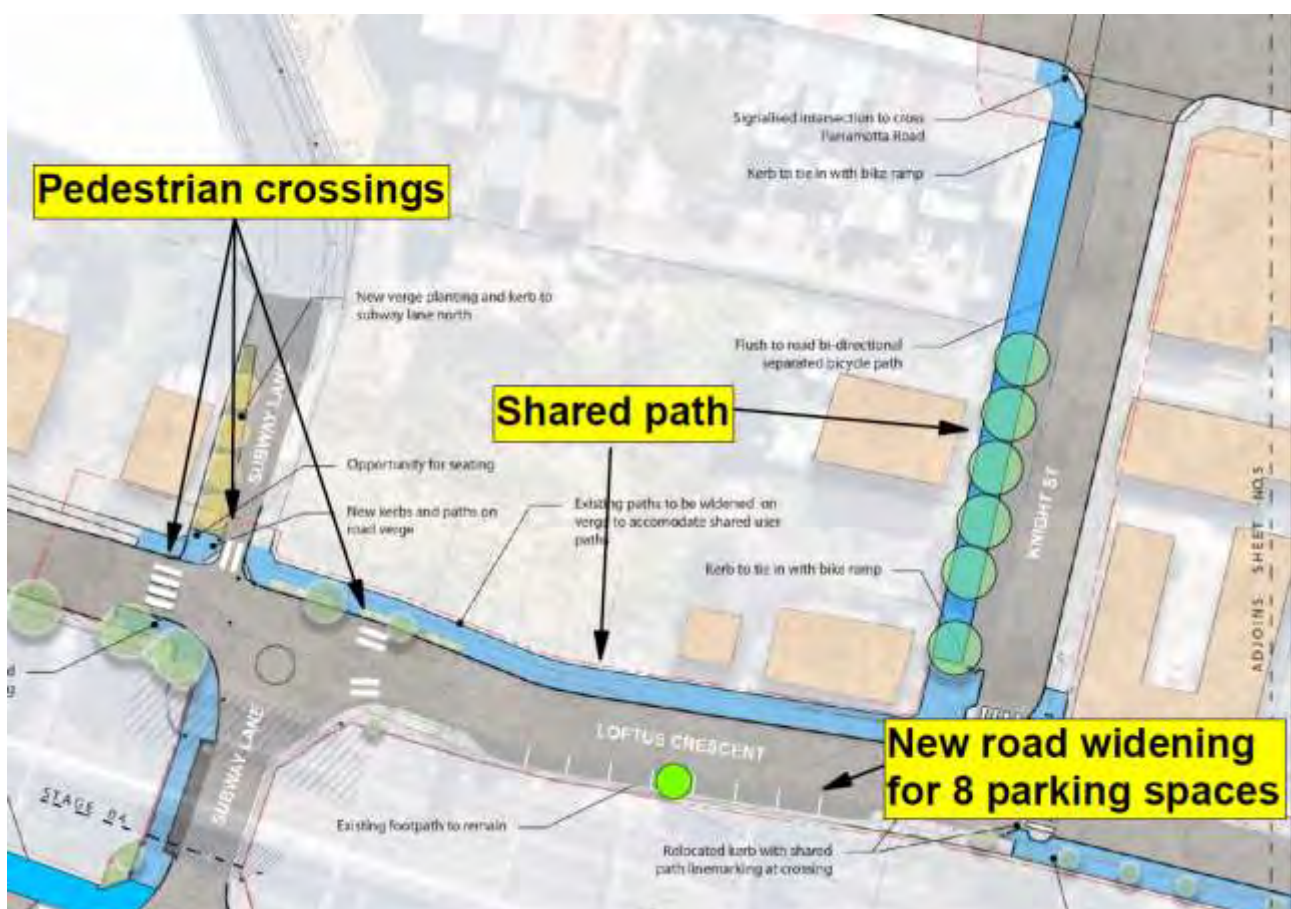


Figure 16 – Section 4 of the HMaPP between Subway Lane and Parramatta Road



Figure 17 – Section 4 of the HMaPP between Loftus Crescent and Homebush Station

SECTION 5 – PARRAMATTA ROAD TO POWELL'S CREEK (FIGURES 18 AND 19)

- Shared path on the north side of Parramatta Road, west and south sides of Powell Street, east side of Underwood Road, through Ismay Reserve, and along the south side of Allen Street
- New pedestrian crossings as Powell Street and Allen Street
- New planting in nature strip where possible



Figure 18 – Section 5 of the HMaPP between Parramatta Road and Powell Street

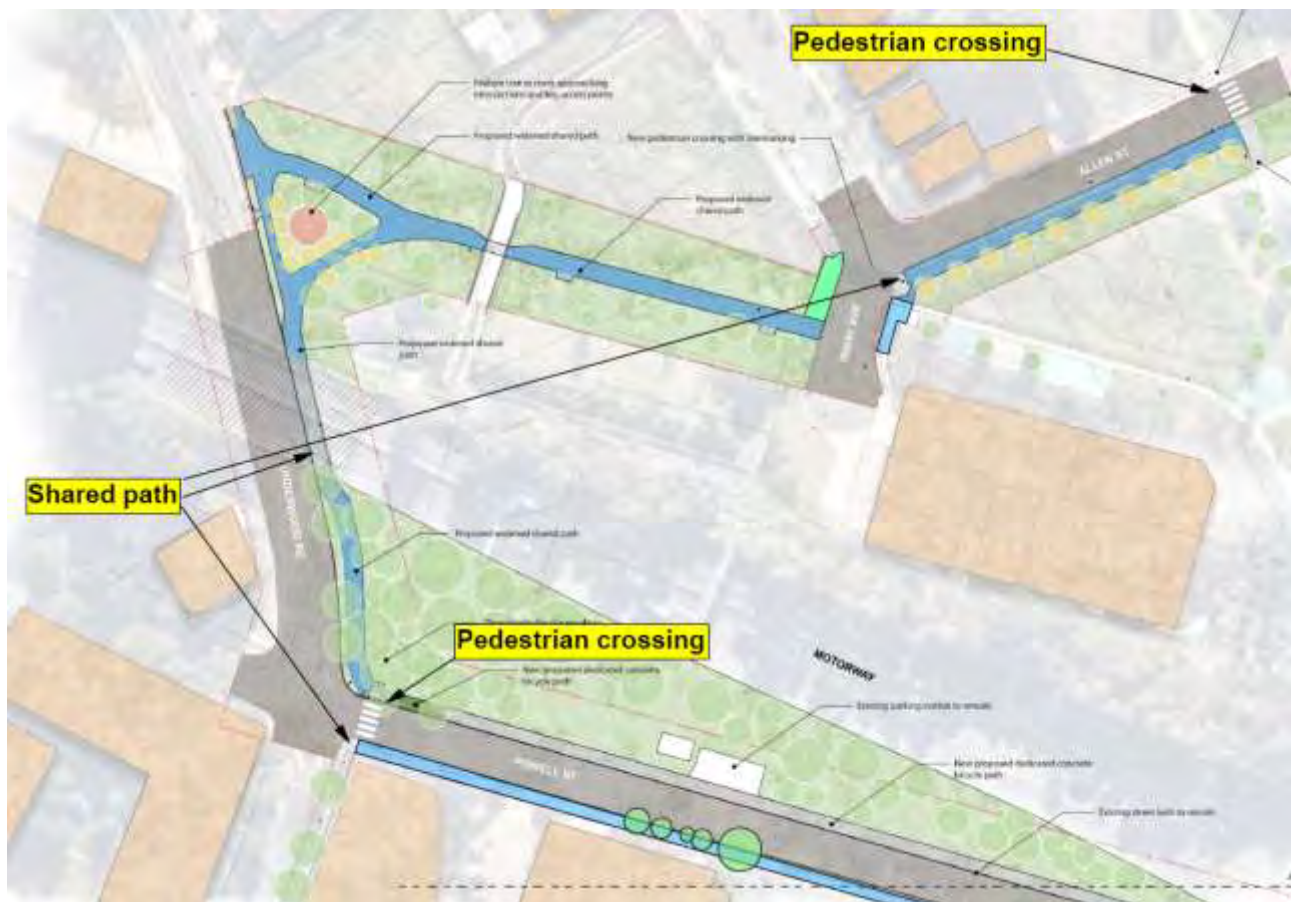


Figure 19 – Section 5 of the HMaPP between Powell Street and Powell's Creek

With the proposed design and amendments made from the 50% design that went to community consultation, a further 55 on-street parking spaces have been retained, primarily in proximity to the Homebush Town Centre. This addresses key concerns raised by the both the community and Council, including:

- Economic impacts to local businesses resulting from reduced car activity
- Protect unrestricted on-street parking for staff of Homebush businesses
- Protect unrestricted on-street parking for commuters
- Protect unrestricted on-street parking for residents
- Traffic impacts to surrounding streets from redistribution of parked cars

Further, the design proposes additional intersection improvements resulting from community consultation, with 3 additional intersections having improvements made by way of pedestrian crossings or traffic devices.

The proposed design amendments find the balance between providing new or improved active travel infrastructure to support the town centres, future TOD, and Bay-to-Bay route, and retaining important on-street parking for residents, commuters, patrons, and staff accessing the town centres and surrounds.

It is anticipated that Sections 1, 2, 4, and 5 will be delivered in full with available funding. Additionally, Section 3 from Subway Lane to the end of The Crescent would be delivered with the available funding. All of these sections would be delivered by approximately June 2026. Construction would be strategically staged to

reduce impacts on traffic flow and parking. The remainder of Section 3 (from the end of The Crescent to Strathfield Station) would seek additional construction funding from suitable sources for delivery.

The design with these amendments will proceed to 100% detail design, and those sections approved for construction would begin as soon as detail design is completed.

FINANCIAL IMPLICATIONS

Proposed Expenditure: \$5,986,695.00

The construction of the approved sections of the HMaPP is predominantly funded by the Department of Planning, Housing and Infrastructure as part of the Parramatta Road Urban Amenity Improvement Program.

Additional funding for all sections that cannot be constructed with the available funding will be sought from the *Get NSW Active* or *Strategic Cycleway Corridors* State programs in the future.

ATTACHMENTS

There are no attachments for this report.

12.1 REPORT FROM AUDIT, RISK AND IMPROVEMENT COMMITTEE MEETING ON 5 MARCH 2025

AUTHOR: Gina Nobrega, Governance and Corporate Support Officer

APPROVER: Kristy Watts, Director Corporate and Community

RECOMMENDATION

That the Minutes of the Audit, Risk and Improvement Committee Meeting held on 5 March 2025 be noted and the recommendations be adopted.

ATTACHMENTS

1. [Audit, Risk and Improvement Committee Meeting 5 March 2025 - Minutes](#)

STRATHFIELD COUNCIL

AUDIT, RISK AND IMPROVEMENT COMMITTEE MEETING MINUTES

Strathfield Municipal Council

Wednesday 5 March 2025

2:00pm

Community Meeting Room, The Cottage

65 Homebush Road, Strathfield

and

by Audio Visual Link





AUDIT, RISK AND IMPROVEMENT COMMITTEE MEETING - 5 MARCH 2025

MINUTES

Minutes of the Audit, Risk and Improvement Committee Meeting of Strathfield Municipal Council held on 5 March 2025, in the Community Meeting Room, The Cottage , 65 Homebush Road, Strathfield.

COMMENCING: 2:01pm

MEMBERS PRESENT: Brian Hrnjak, Chairperson (Audio Visual Link)
Alan Pigott (Audio Visual Link)
Catherine O'Mallon (Audio Visual Link)
Councillor Esther Kim

ATTENDEES PRESENT: Mohua Mukherjee, Head of Internal Audit (Audio Visual Link)
Michael Mamo, General Manager (Audio Visual Link)
Kristy Watts, Director Corporate and Community (Audio Visual Link)
Cathy Edwards-Davis, Director Engineering and Operations (Audio Visual Link)
Paul Reid, Acting Director Planning and Environment (Audio Visual Link)
Melissa Mallos, General Counsel (Audio Visual Link)
Rodney Sanjivi, Chief Financial Officer
David Vien, Manager Digital, Information and Customer
Nichole Edsall, Manager People and Culture (Audio Visual Link)
Raymond Parkinson, Chief Safety and Risk Officer (Audio Visual Link)
Gina Nobrega, Governance and Corporate Support Officer

INVITEES PRESENT: Karen Taylor, Audit Office NSW (Audio Visual Link)
Dexel Xavier, OCM (Audio Visual Link)
Penelope Corkill, Centium (Audio Visual Link)

1. **APOLOGIES** Sonja Hammond

2. **DECLARATIONS OF INTEREST**

Nil.



AUDIT, RISK AND IMPROVEMENT COMMITTEE MEETING - 5 MARCH 2025

MINUTES

3. CONFIRMATION OF MINUTES**RECOMMENDATION** (Hrnjak / Pigott)

That the minutes of the Audit, Risk and Improvement Committee Meeting held on 26 November 2024, be taken as read and confirmed as a true and correct record of that meeting.

*Voting on this item was **unanimous***

4. REPORTS**4.10 NSWAO Annual Engagement Plan for the Financial Year Ending 30 June 2025**

Ms Karen Taylor, Audit Office NSW addressed the Committee to discuss the Annual Engagement Plan for the financial year to 30 June 2025. Michael Mamo, General Manager advised final Financial Statements would be presented at the 28 October 2025 meeting of the ARIC.

RECOMMENDATION (O'Mallon / Pigott)

That the ARIC receives and notes the Annual Engagement Plan for the audit of Strathfield Council for the financial year ending 30 June 2025.

*Voting on this item was **unanimous***

4.1 Internal Audit Reports

Ms Mohua Mukherjee, Head of Internal Audit addressed the Committee.

Mr Dixel Xavier, OCM joined the meeting, the time being 2:13pm.

Mr Dixel Xavier, OCM addressed the meeting with a summary of the audit report prepared by OCM on Road Safety Initiatives with the overall rating as Good.

Mr Dixel Xavier, OCM left the meeting, the time being 2:17pm.

Ms Penelope Corkill, Centium joined the meeting, the time being 2:54pm.

Ms Mohua Mukherjee, Head of Internal Audit and Ms Penelope Corkill, Centium addressed the Committee with results of the Work Health and Safety Management audit with an overall rating of Needs Improvement.

Ms Penelope Corkill, Centium left the meeting, the time being 2:56pm.

RECOMMENDATION (O'Mallon / Pigott)



AUDIT, RISK AND IMPROVEMENT COMMITTEE MEETING - 5 MARCH 2025

MINUTES

It is recommended that the Audit, Risk and Improvement Committee (ARIC) receive and note the reports for the Road Safety Initiatives and Work Health and Safety Management System audits.

*Voting on this item was **unanimous***

4.2 Internal Audit Status Report

Ms Mohua Mukherjee, Head of Internal Audit addressed the Committee and spoke to her report, commenting the Audit Planning cycle for 2024/25 year plan is progressing well.

RECOMMENDATION (O'Mallon / Pigott)

It is recommended that the Audit, Risk and Improvement Committee receive and note the Internal Audit Status Update Report.

*Voting on this item was **unanimous***

4.3 Internal Audit Recommendations Status Update

Ms Mohua Mukherjee, Head of Internal Audit addressed the committee and spoke to her report.

Councillor Esther Kim left the meeting, the time being 2:33pm.

RECOMMENDATION (Pigott / O'Mallon)

It is recommended that the Audit, Risk and Improvement Committee receives and notes:

1. The status updates on internal audit recommendations.
2. The status of the Local Infrastructure Contribution (LIC) Project Plan.

*Voting on this item was **unanimous***

4.4 Capital Projects Update

Ms Cathy Edwards-Davis, Director Engineering and Operations addressed the Committee.

RECOMMENDATION (O'Mallon / Pigott)

That the report be received and noted.

*Voting on this item was **unanimous***



AUDIT, RISK AND IMPROVEMENT COMMITTEE MEETING - 5 MARCH 2025

MINUTES

4.5 Enterprise Risk Management Update

Mr Raymond Parkinson, Chief Safety and Risk Officer addressed the Committee.

RECOMMENDATION (Pigott / O'Mallon)

That the Audit, Risk and Improvement Committee (ARIC) receive and note the update provided.

*Voting on this item was **unanimous***

4.6 Governance Update

Ms Kristy Watts, Director Corporate and Community addressed the Committee.

RECOMMENDATION (Pigott / O'Mallon)

That the Audit, Risk, and Improvement Committee (ARIC) receive and note the report.

*Voting on this item was **unanimous***

4.7 People and Culture Update

Ms Nichole Edsall, Manager People and Culture addressed the Committee.

RECOMMENDATION (O'Mallon / Pigott)

That the Audit, Risk, and Improvement Committee (ARIC) receive and note the report regarding an update from People & Culture.

*Voting on this item was **unanimous***

4.8 Quarterly Update on Cyber Security

Mr David Vien, Manager Digital Information and Customer addressed the Committee.

RECOMMENDATION (Pigott / O'Mallon)

That the report be received and noted.

*Voting on this item was **unanimous***



AUDIT, RISK AND IMPROVEMENT COMMITTEE MEETING - 5 MARCH 2025

MINUTES

4.9 Delivery Program 6 Month Progress Report - July to December 2024

Ms Kristy Watts, Director Corporate and Community addressed the Committee and provided an update on the 6 month progress as on track.

RECOMMENDATION (Pigott / O'Mallon)

That the Delivery Program for 1 July to 30 December 2024 be noted.

*Voting on this item was **unanimous***

4.11 Review of Historical Developer Contributions Expenditure

Mr Rodney Sanjivi, Chief Financial Officer addressed the Committee and provided a summary on the report.

RECOMMENDATION (Pigott / O'Mallon)

That the report on the Review of Historical Developer Contributions Expenditure be received and noted.

*Voting on this item was **unanimous***

5. GENERAL BUSINESS

Mr Michael Mamo, General Manager addressed the Committee and provided the following updates:

- Along with the induction of new Councillors in September 2024, extra workshops were provided to inform on Council's Long Term Financial Plan.
- Strathfield Connector Bus service will cease operation from 24 April 2025.
- We have been progressing the development of Council's Community Strategic Plan
- Preparations are underway for Council's 140 Year Anniversary celebrations to commence 2 June 2025 with a week of events and exhibitions.
- Target 100 progress on the review of the time taken to process Development Assessments, with a reduction in process time of 177 days to 142 days.
- Parking meters are being rolled out over the next four weeks in areas currently without meters and in the Strathfield Town Centre.
- Council will be moving to an improved infringement method of license plate recognition.



AUDIT, RISK AND IMPROVEMENT COMMITTEE MEETING - 5 MARCH 2025

MINUTES

6. CONFIDENTIAL MATTERS

Nil

Meeting Closed: 4:11 pm

Next Meeting: 4 June 2025

12.2 REPORT FROM BUDGET REVIEW AND FINANCE COMMITTEE MEETING ON 11 MARCH 2025

AUTHOR: Gina Nobrega, Governance and Corporate Support Officer

APPROVER: Kristy Watts, Director Corporate and Community

RECOMMENDATION

That the Minutes of the Budget Review and Finance Committee Meeting held on 11 March 2025 be noted and the recommendations be adopted.

ATTACHMENTS

1. [1](#) Budget Review and Finance Committee Meeting 11 March 2025 - Minutes

STRATHFIELD COUNCIL

BUDGET REVIEW AND FINANCE COMMITTEE MEETING

MINUTES

Tuesday 11 March 2025

2pm

Council Chambers

65 Homebush Road, Strathfield

and

by Audio Visual Link





BUDGET REVIEW AND FINANCE COMMITTEE MEETING - 11 MARCH 2025

MINUTES

Minutes of the Budget Review and Finance Committee Meeting of Strathfield Municipal Council held on 11 March 2025, in the Council Chambers, 65 Homebush Road, Strathfield, and, by Audio Visual Link.

COMMENCING: 2:10pm

MEMBERS PRESENT: Councillor John-Paul Baladi
Councillor Matthew Blackmore
Councillor Esther Kim

ATTENDEES PRESENT: Michael Mamo, General Manager
Kristy Watts, Director Corporate and Community
Cathy Edwards-Davis, Director Engineering and Operations
Melissa Mallos, General Counsel
Paul Reid, Acting Director Planning and Environment
Rodney Sanjivi, Chief Financial Officer (Audio Visual Link)
Simmi Gaur, Financial Strategy & Operations Lead
Gina Nobrega, Governance and Corporate Support Officer

1. **APOLOGIES** Councillor Sandy Reddy
Rodney Sanjivi, Chief Financial Officer

2. **DECLARATIONS OF INTEREST**

Nil.

3. **CONFIRMATION OF MINUTES**

Nil.

4. **REPORTS**

CCS1 Monthly Cash & Investment Report - February 2025

RECOMMENDATION (Blackmore / Baladi)

That the record of cash investments as at 28 February 2025 be received and noted.

RESOLVED BY EXCEPTION



BUDGET REVIEW AND FINANCE COMMITTEE MEETING - 11 MARCH 2025

MINUTES

CCS2 Small Grants Third Quarter round 2025**RECOMMENDATION** (Blackmore / Baladi)

That

1. The report be received and noted.
2. The Committee approves the small grants report to progress to the Ordinary Meeting of Council in March 2025.

RESOLVED BY EXCEPTION**CCS3 DRAFT - Quarterly Budget Review Statement Guidelines [OLG]****RECOMMENDATION** (Blackmore / Baladi)

That the Committee receive and note the report on the Draft Quarterly Budget Review Statement Guidelines.

RESOLVED BY EXCEPTION**CCS4 Financial Performance for the 8 Month Period Ended 28 February 2025****RECOMMENDATION** (Blackmore / Baladi)

That the draft operating results of Council for the eight-month period ended 28 February 2025 be received and noted.

RESOLVED BY EXCEPTION**GENERAL BUSINESS:**

Councillor Kim joined the meeting, the time being 2:16pm.

Going forward what does the committee want reported at future meetings-

Next meeting April –

- Breakdown of the Budget in terms of Events and Community Development programs
- Focus on budgets each quarter



BUDGET REVIEW AND FINANCE COMMITTEE MEETING - 11 MARCH 2025

MINUTES

- Money saving opportunities
- Action: All Councillors be forwarded commentary from Managers ideas put forward prior to next meeting
- Propose a schedule to be discussed prior to meetings.
- Review of supplier selection / cost savings
- Procurement processes in terms of Council expenditure.
- Changing how some services are provided or run
 - Regulatory services differ to optional
 - Regular reviews on services framework
- Breakdown of Budget per Directorate over time
 - Focussing on one service provided from each Directorate at each BRFC meeting.
 - Clrs Baladi and Blackmore go through Org Structure and identify services/areas that could be focussed on for future BRFC meetings.

5. CONFIDENTIAL MATTERS

Nil

6. CONCLUSION OF THE MEETING

THERE BEING NO FURTHER BUSINESS THE MEETING CLOSED AT 3:00pm.

12.3 REPORT FROM TRAFFIC COMMITTEE MEETING ON 18 MARCH 2025.

AUTHOR: John Inglese, Traffic Engineer

APPROVER: Cathy Edwards-Davis, Director Engineering and Operations

RECOMMENDATION

That the Minutes of the Traffic Committee Meeting held on 18 March 2025 be noted and the recommendations be adopted.

ATTACHMENTS

1. [↓](#) Traffic Committee Meeting Minutes - 18 March 2025

STRATHFIELD COUNCIL

TRAFFIC COMMITTEE MEETING

MINUTES

Tuesday 18 March 2025

11am - 12:30pm

Main Building Meeting Room

65 Homebush Road, Strathfield





TRAFFIC COMMITTEE MEETING - 18 MARCH 2025

MINUTES

Minutes of the Traffic Committee Meeting of Strathfield Municipal Council held on 18 March 2025, in the Main Building Meeting Room, 65 Homebush Road, Strathfield.

COMMENCING: 11:00am

PRESENT:	Clr. Matthew Blackmore	Chairperson
	Clr. Karen Pensabene	Councillor
	Raymond Yeung	Auburn Traffic Police
	Andy Huynh	Transport for NSW

ALSO IN ATTENDANCE:

Strathfield Council	Mr John Inglese	Senior Traffic and Transport Engineer,
Strathfield Council	Mr Jack Griffiths	Traffic Engineer and Transport Engineer,
	Mr Chris Johnson	Road Safety Officer, Strathfield Council

1. WELCOME AND INTRODUCTION

Clr Blackmore welcomed all LTC members to the meeting

2. APOLOGIES

Jason Yat-Sen Li	Representative of the Member for Strathfield
Clr Esther Kim	Strathfield Council

3. DECLARATIONS OF INTEREST

Nil

4. CONFIRMATION OF MINUTES

MOVED	ANDY HUYNH
SECONDED	CLR BLACKMORE

RECOMMENDATION

That the minutes of the Traffic Committee Meeting meeting held on 18 February 2025, a copy of which has been furnished to each Councillor, be taken as read and confirmed as a true and correct record of that meeting and that the Chairman and General Manager be authorised to sign such minutes.

Voting on this item was unanimous

5. DEFERRED/OUTSTANDING ITEMS

Nil



6. REPORTS

6.1 Davey Square Reserve, Strathfield – Concept Design for Consultation of Full Road Closure

Background

Council has been requested to investigate the possibility of closing Rochester Street at Davey Square Reserve to increase the amount of public open space available at the War Memorial.

Report

Council staff have carried out an assessment of closing the section of Rochester Street at Davey Square Reserve, with preliminary findings summarised below.

In summary, the proposed closure will result in the following:

- Reclaim approximately 460m² of greenspace at the road closure area.
- No overall parking losses as parking that is removed at the bend of Beresford Road can be reclaimed on the north side of the road along the park frontage.
- Minor kerb widening will be required on east side of Beresford Road to align the road geometry, this allows for additional planting.
- The existing roundabout can remain with western and northern legs of the intersection unaffected – the roundabout will continue to control traffic at this intersection.
- Eastern leg of roundabout to have a physical kerb blister constructed on the south side of the road to enforce deflection of vehicles through the roundabout.
- Beresford Road east of Rochester Street to have 'Stop' priority, priority to be given to the dog-leg manoeuvre along Beresford Road, Coventry Road, and Rochester Street.
- Waste vehicles can turn left from Beresford Road onto Coventry Road without encroaching on the opposite lane.
- A preliminary estimate of the works has been provided at \$200k, but this would be subject to a detailed design and estimate should Council consider moving forward with this project.

A plan of the proposed closure can be shown below in Figure 1.



Figure 1. Schematic of closure of Rochester Street through Davey Reserve.

Traffic counts were completed in March 2023 on the section of Rochester Street proposed for closure and the section of Beresford Road to remain open with the following 7-day average volume results:

- Rochester Street: 1,270 vehicles per day with an approximately even directional split
- Beresford Road: 82 vehicles per day with an approximate 85-15 split between southbound and northbound

The traffic volumes are consistent with those expected for a local road, and as such that proposed closure is not anticipated to adversely affect traffic movements.

Proposal

Pending concurrence from the Local Traffic Committee of the suitability of the road closure, it is proposed to conduct consultation via a letterbox drop on the road closure with all residences shown below in Figure 2. The consultation will also be published on Council's website.

The results of the consultation will be presented back to the next available meeting of the Local Traffic Committee with recommendations for further action if warranted by consultation results.

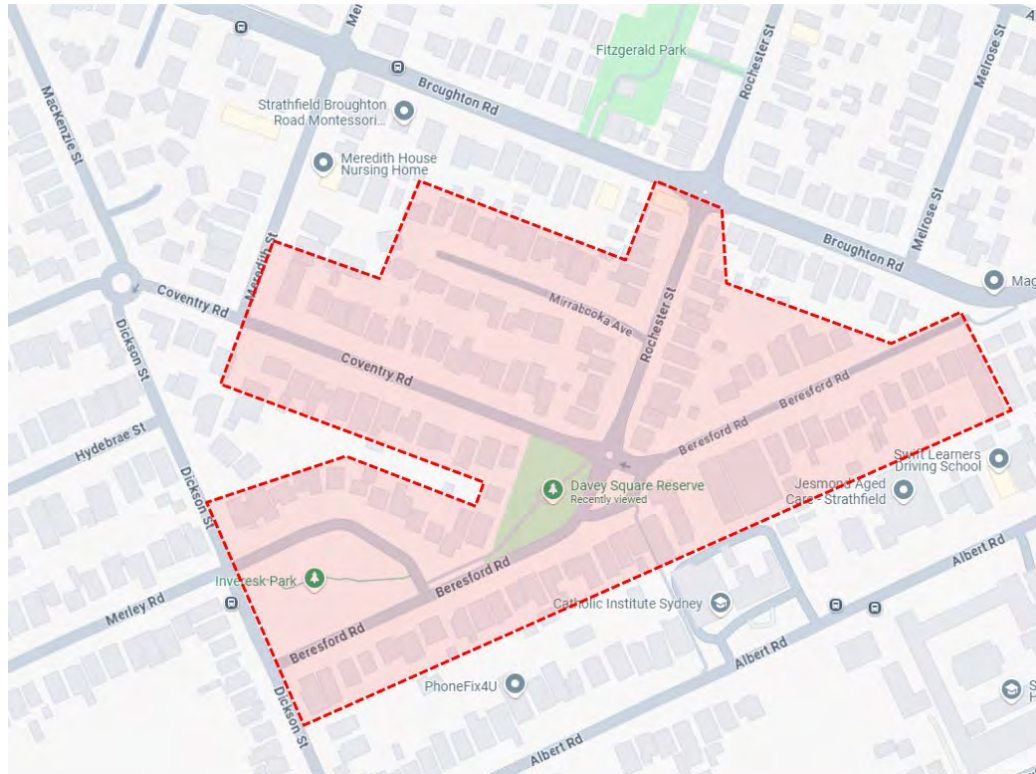


Figure 2 – proposed consultation area for proposed road closure

At the meeting discussion took place regarding the potential loss of parking spaces on the southern side of Beresford Road. It was decided that the centerline marking be shortened as much as possible to reduce the impact on parking. It was also decided that Community Consultation should take place after ANZAC day 2025.

A revised plan of the area has been prepared see Figure 3 below.

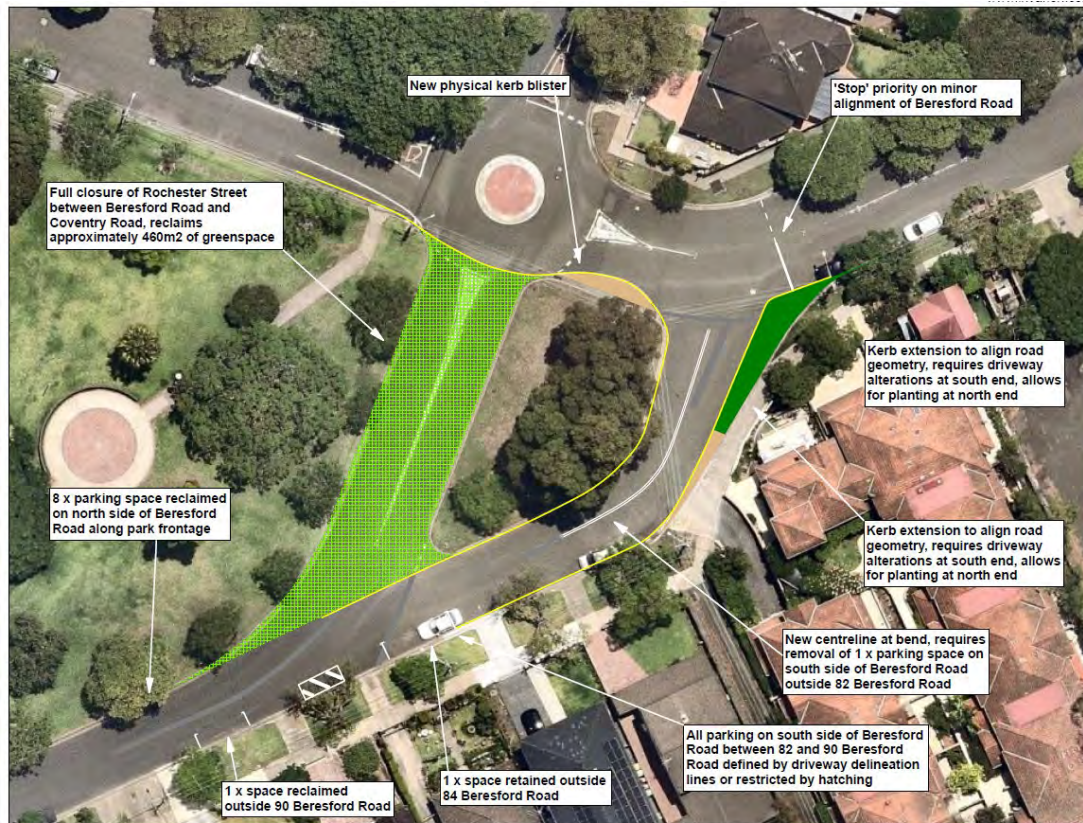


Figure 3. Revised Schematic of the closure of Rochester Street through Davey Reserve with shortened centreline on Beresford Road.

RECOMMENDATION

1. That the Local Traffic Committee approves in principal the full road closure of Rochester Street at Davey Square Reserve as per Figure 3. in the report.
2. That community consultation on the proposed full road closure be conducted with all residences shown in Figure 2. via a letterbox drop after ANZAC Day 2025.
3. That the results of the community consultation be presented back to the next available meeting of the Local Traffic Committee for consideration and further action as appropriate.

(Voting on this item was unanimous)



7. SPECIAL EVENTS

7.1 Cooks River Fun Run – Traffic Management Plan Sunday 22 June 2025

Background

The Cooks River Fun Run is planned to be held again this year, with the route following the Cooks River path and having the same impact as previous years.

Report

The Cooks River Fun Run is an annual event that utilises the Cooks River path for the running course, with the start/finish point being Freshwater Park at Ada Avenue and the turnaround point being Ford Park at James Street. The event is contained within the Strathfield LGA and spans an approximate 2.5km length of the Cooks River path, resulting in the race being a total of 5km.

The entire course is off-road with the exception of the crossing point on Hedges Avenue at Augusta Street. The event will have the same footprint as previous years with the event starting at 8AM and concluding at 12PM on Sunday 22 June. The proposed road closure will be implemented at 5AM and removed at 2PM on the same day.

Proposal

To facilitate a safe crossing at Hedges Avenue and ensure the safety of all participants, it is proposed to close Hedges Avenue between Augusta Street and Cave Road from 5AM to 2PM on Saturday 22 June 2025 as shown below in Figure 1. The event does not affect traffic at any other location.

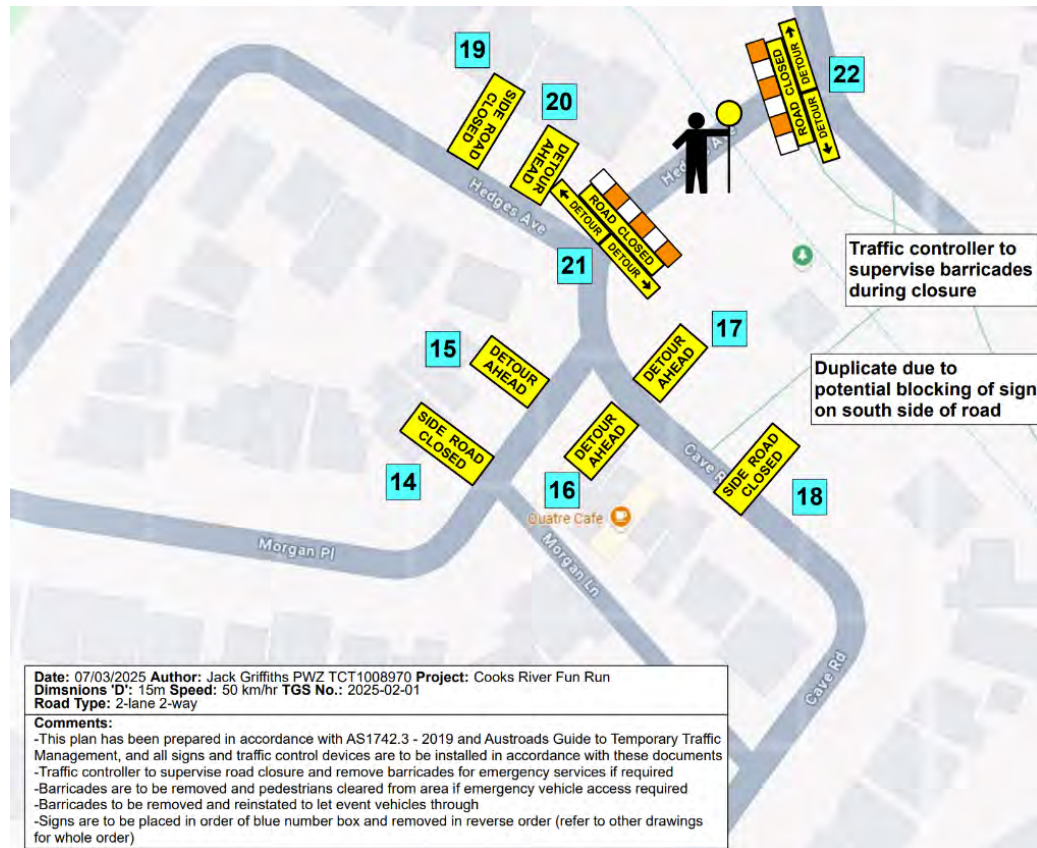


Figure 1 – proposed road closure of Hedges Avenue between Augusta Street and Cave Road

Due to the closure, the following detours will be required for the duration of the road closure:

- From the north (Augusta Street): vehicles will be required to detour via Augusta Street or Glenarvon Street onto Wallis Avenue and then turn right onto Liverpool Road as shown in Figure 2. Note that for vehicles wanting to access the Cave Road precinct (residences or businesses), they will need to enter Hedges Avenue from the west via Liverpool Road. Hedges Avenue at Liverpool Road is left-in left-out only, so it can only be entered from Liverpool Road to the west, which requires a larger detour via Centenary Drive. As this detour is too large to be signposted, residents and business owners will be notified of the temporary traffic changes and advised to plan their routes accordingly.

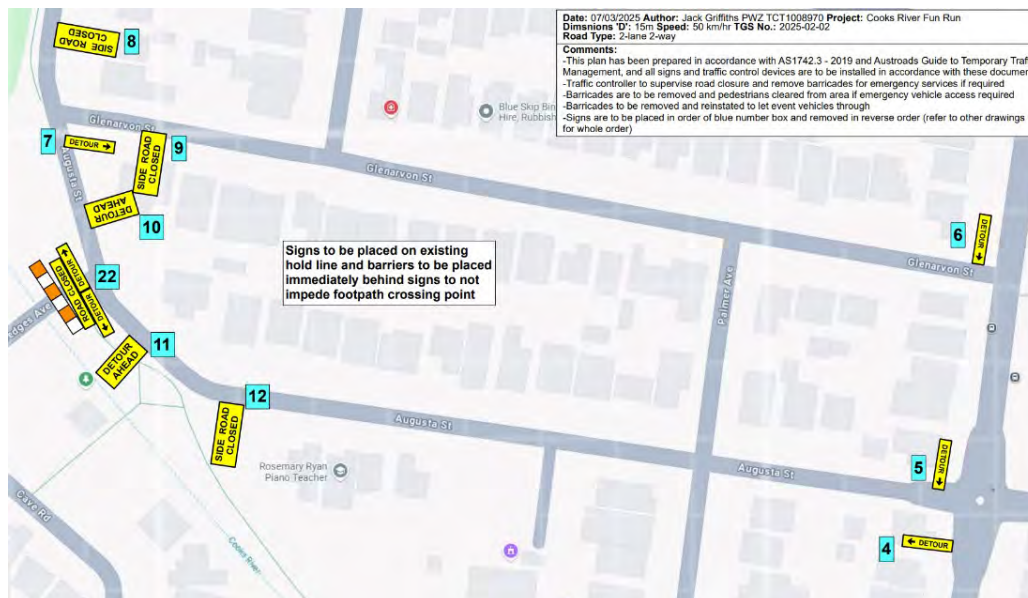


Figure 2 – detour from north of event area

- From the south (Cave Road/Hedges Avenue): vehicles will be required to detour via Liverpool Road and Wallis Avenue to access the area north of the road closure as shown in Figure 3. Note that for vehicles in the Cave Road precinct wanting to travel westbound on Liverpool Road, they will need to exit onto Liverpool Road and use a side street to turn around and then exit back onto Liverpool Road.

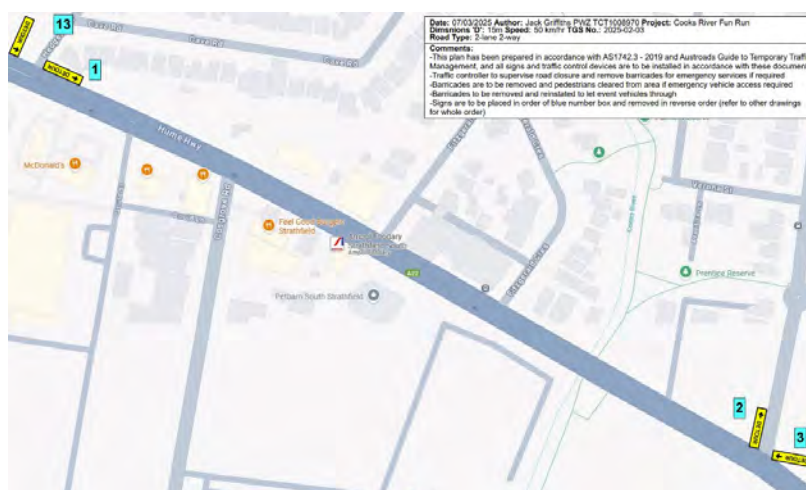


Figure 3 – detour from south of event area

As the event and detoured traffic is expected to have minimal impact on the State Road network and non-event community, this event has been classified as Class 3 and does not require concurrence from TfNSW. Police approval has been sought, and other emergency services have been notified.

Consultation

The event and closures will be advertised on Council's website, newsletter, and other media sources. Additionally, a letterbox drop notification will be provided to all residents and businesses in the area outlined in Figure 4.

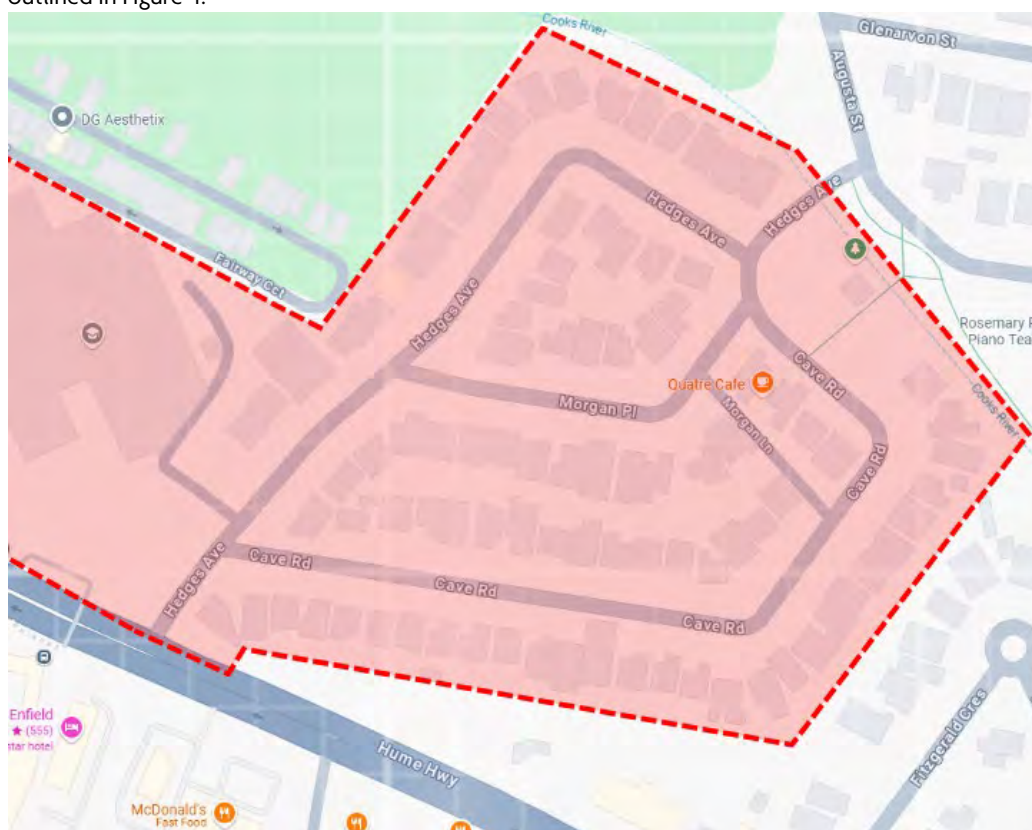


Figure 4 – notification area for letterbox drop notification

RECOMMENDATION

1. That Council approve the closure of Hedges Avenue between Augusta Street and Cave Road as per the times and date in the report to facilitate the Cooks River Fun Run.
2. That Transport for NSW note the event as Class 3.
3. That a letterbox notification be delivered to all residences and businesses as shown in Figure 4.

ATTACHMENTS

There are no attachments for this report.

(Voting on this item was unanimous)



8. ROAD SAFETY

8.1 ROAD SAFETY OFFICERS REPORT – 18 MARCH 2025

Report prepared by Road Safety Officer

Issues

There are seven major Road Safety Projects for the 24/25 Year,

1) Senior Drivers with a focus on driving in School Zones and refreshing driving skills workshops 6x per year.
BOOKINGS.

- Year to date, 75 Attended. Last workshop 21 November 2024
- Next workshop Seniors Week lead up in late March 2025
- Developing a training workshop in partnership with Auburn LAC

Impact

- Reduce Strathfield's crash rate with people aged 60+.
- Better preparation Senior Drivers and promote skills refresh lessons as a positive experience.

2) Teaching Learner Drivers helping parent's teach their children to drive workshops 4x per year
Workshop held with Burwood, Inner West and Canada Bay on 21 May 25

BOOKINGS.

- 90% Involvement from Schools
- Over 52 attendees from Strathfield for the February Workshop.

Impact

- Continuation of Strathfield's low crash rate with persons aged 17 – 24.
- Better preparation for learner drivers with a positive experience.

3) Drink Driving with a focus on activations and working with Local Liquor Accord.

Projects: Working with Burwood Liquor Accord next meeting TBA

Promotions of new "Just Don't" campaigns from Liquor and Gaming NSW.

4) Safety Around Schools, continuing our only project and environmental upgrades.

Projects:

Working with Schools Crossing Supervisors program to better coordinate crossing programs.

Promotions of Road Safety Schools area

Schools' Crossing Audits 24/25 year.

Schools' orientation programs in the 1st term

5) Pedestrian Safety, with a focus on education and hot spot targeting in shopping areas.

Projects: New stencils program in HPAA across Strathfield, Homebush and Homebush West

6) Occupant Restraints, continuing our current program of 11 workshops per year.

Currently Council runs 11 child restraint checking day per year servicing on average 14 seat installations. We will be aiming for a productivity increase to 20 seats per session.



TRAFFIC COMMITTEE MEETING - 18 MARCH 2025

MINUTES

BOOKINGS.

- Vehicles Checked 24/25 as of December 2023 **416**
- Next Checking Day 10 December 2024 is fully booked.

Impact

- Positive promotions and feedback across mothers' groups and social media
- Driver education for each vehicle checked.
- Seatbelt related injuries 2021 have decreased to less than 0.3% of accidents.

7) Senior Pedestrians, continuing our current program of **6 workshops for 24/25 year**.*Projects:*

New stencils program in HPAA across Strathfield, Homebush and Homebush West

BOOKINGS.

- **Next workshop Seniors Week lead up double in March 2025**
- 3 More workshops being held at the Strathfield Community Centre

Road Safety News of interest to Traffic Committee

Under 100 Crashes in Strathfield

In 2023, the Strathfield LGA recorded fewer than 100 crashes, marking the first time this milestone has been achieved since the new statistics began in 2014. This significant reduction highlights the effectiveness of our ongoing road safety initiatives and community efforts.

At the meeting – discussion took place on the importance in achieving this milestone as this has been a collective effort from the Director of Engineering and Operations, Traffic, Transport and Road Safety Team, the Auburn Local area Traffic Commander, Transport for NSW representative and the Strathfield Local Traffic Committee Members.

Year	# Crashes	# Casualties	Degree of crash - detailed	# Crashes	% of Total	Degree of casualty - detailed	# Casualties	% of Total	Road user class	# Casualties	# Casualties without safety device	% Casualties by class without safety device
2019	157	141	Fatal	1	0.2%	Killed	1	0.2%	Motor vehicle driver	348	2	0.6%
2020	142	124	Serious Injury	107	16.7%	Seriously Injured	112	21.0%	Motor vehicle passenger	73	2	2.7%
2021	122	93	Moderate Injury	146	22.8%	Moderately Injured	184	34.5%	Motorcycle rider	60		
2022	121	84	Minor/Other Injury	187	29.2%	Minor/Other Injured	237	44.4%	Pedestrian	35		
2023	99	92	Non-casualty (towaway)	200	31.2%				P/C rider	15		
									Motorcycle passenger	3		
									Total	534	4	0.7%

Crashes with speeding involved		Crashes with fatigue involved	
50	7.8%	34	5.3%

Without safety device includes. Deliberate helmet wear. No restraint used to position OR No helmet worn

RECOMMENDATION

That the Road Safety Officer Report be received and noted.

(Voting on this item was unanimous)

Meeting Closed: 11:50PM

Next Meeting: 15 April 2025