

STRATHFIELD COUNCIL
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HERITAGE IMPACT STATEMENT

Proposed Restoration and Subdivision of a Local Heritage Item

19-21 South Street, Strathfield

On behalf of

Magdaline Mouawad



PATRICK O'CARRIGAN + PARTNERS P/L

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19-21 SOUTH STREET, STRATHFIELD

Proposed Restoration and Subdivision of a Local Heritage Item

PROPOSAL This Heritage Impact Statement forms part of the Development Application for 19-21 South Street, Strathfield.

DATE July 2020

REFERENCE - Strathfield Council Local Environmental Plan (SLEP) 2012
- Strathfield Council Development Control Plan (SDCP) 2005 - Part A (Residential), Part P (Heritage)

ADDRESS 19-21 South Street Strathfield, 2135

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Patrick O'Carrigan FRAIA is a recognised heritage architect listed by the Heritage Office of NSW. He has over 28 years experience in the field, having previously worked with Clive Lucas and Howard Tanner. He is the author of many Heritage Impact Statements, conservation plans and award winning heritage refurbishment projects including Customs House [City of Sydney], Story of Sydney, Pilgrim House, and Pitt Street Uniting Church. He was a Heritage Adviser of four years standing, for two rural shires, Merriwa and Murrurundi. He was appointed the Heritage Professional Member of the Heritage Review Panel for Woollahra Council 2006. He undertook the Stage IV heritage Inventory for Hornsby Shire Council.

METHODOLOGY The report has been generally prepared in accordance with the requirements of Australia ICOMOS Burra Charter, the NSW Heritage Manuals "Statements of Heritage Impact" as issued by NSW Heritage Office 1996.

PREPARED Magdaline Mouawad
19-21 South Street, Strathfield

LIMITATIONS The report has been prepared by Patrick O'Carrigan FRAIA, and Emily Flanagan of Patrick O'Carrigan + Partners Pty. Ltd., and is based upon site inspections on nine occasions.

Issue	Description	Date	Initial
A	For Draft DA	09/04/19	PO'C
B	For DA	20/05/19	PO'C
C	For DA	02/07/20	PO'C

CONTENTS

1.0	-----	General
1.1	-----	Site Information
2.0	-----	Assessment of Significance
2.1	-----	Site History
		Occupation of Subject Site
2.2	-----	Site Alterations and Additions
2.3	-----	Heritage Listing 1196
2.4	-----	Heritage Items in the Vicinity
2.5	-----	Architectural Style
2.6	-----	Significance
		Urbis Heritage Assessment Report Conclusion
3.0	-----	Description of Scope of Work
3.1	-----	Design Philosophy
3.2	-----	Alternate Designs Considered
3.3	-----	Design Proposal
4.0	-----	Design Assessment
4.1	-----	NSW Heritage Inventory
4.2	-----	Burra Charter Principles
4.3	-----	Strathfield DCP 2005
5.0	-----	Assessment of Impact
5.1	-----	Measures to Minimise Impact
5.2	-----	Conclusion
6.0	-----	Recommendations
7.0	-----	Attachments
8.0	-----	References

1.0 GENERAL

1.1 SITE INFORMATION

The site is listed as an item of local heritage significance, 1196 "Georgian revival house and garden", under the SLEP 2012.

The site is located at 19-21 South Street, Strathfield and comprises of Lot 65+66 in Deposited Plan (D.P) 8778. The subject site is an almost square block of 2426.6m² with a frontage of 40.225m to South Street on the eastern side. The site slopes about two meters towards the rear boundary, from east to west.

The site is occupied by a two storey heritage house c. 1940s which has been extensively altered, especially internally and along the side and rear boundaries. These alterations date from the c. 1970s-80s and include a new single storey rear addition, covered rear terrace, infill of existing balcony, four car garage, tennis court, swimming pool, gazebo, garden fence/gate and driveway re-configuration.

The site has a generous front setback and noteworthy landscaping which contributes to its character. At the rear of the site is a forest gum with a 25m spread and 21m height.



Figure 1: Aerial Photo
Source: Maps

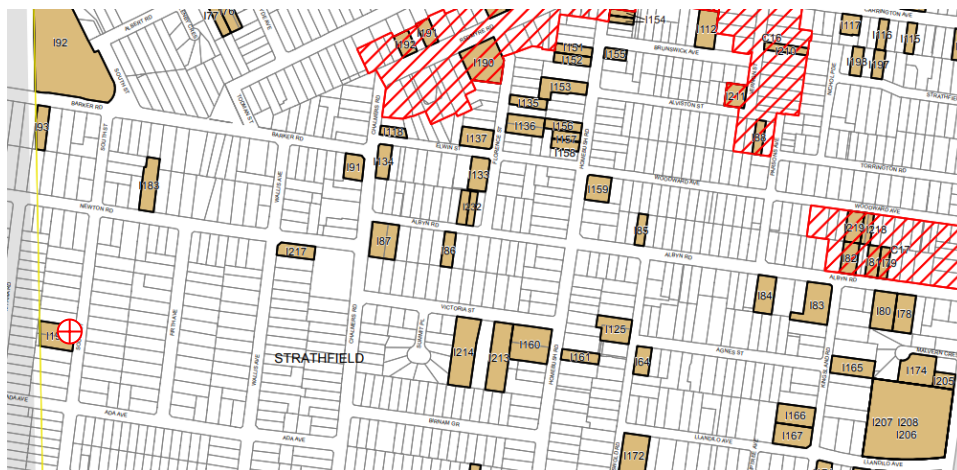


Figure 2: Heritage Map
Source: MLEP

2.0 ASSESSMENT OF SIGNIFICANCE

2.1 SITE HISTORY

The following site history is sourced from both Strathfield Council's website and the Urbis Heritage Assessment Report attached:

The Strathfield district was once inhabited by the Wangal clan of the Darug tribe. Little remains of the former Aboriginal occupation of this area. The Wangal clan's country or territory was known as Wanne and it originally extended from the suburbs of Birchgrove and Balmain in the east, to Silverwater and Auburn in the west, the northern boundary was the Parramatta River but the southern boundary is unknown.

The Wangal clan's neighbours were the Cadigal to the east, the Wategora to the west, the Wallumedegal to the north and the Bediagal to the south. All these clans of the Darug tribe spoke the coastal or Eora dialect of the Darug language. The Darug tribe's inland clans known as the 'woods tribes' spoke a different dialect.

Strathfield would have been an integral part of the Wangal clan's territory being close to the Parramatta River, a source of food. The Strathfield Municipality once supported large forests of eucalypt trees with many native grasses growing as an understorey as well as areas of very dense scrub. It is unlikely that the Wangal clan camped in the district as Strathfield does not have any rock shelters or overhangs suitable for camping, but they probably frequented the area to gather or hunt food.

In 1793 the first land grants to free settlers including Thomas Rose and Edward Powell and their families were made in the Strathfield Municipality. These grants were awarded in response to Governor Philip's request for the introduction of 'practical farmers' to the settlement. In the early 1800's other land grants were awarded to D'Arcy Wentworth, William Roberts and John Alford.

The Strathfield suburb, (then known as Redmire) initially comprised of a number of estates including the Wentworth Estate, the Redmire Estate, the Underwood Estate and St Ann's Village. The oldest houses (that are still standing) were 'Fairholm' and 'Llandilo', not constructed until 1870. These properties were part of the subdivided Redmire Estate.

The subject site is part of the former Redmire Estate. In 1867 the Redmire Estate was subdivided and offered for sale, including the land of the subject site. The area purchased in 1867 was slowly subdivided, with the first subdivision taking place in 1918. The land on which the subject site is located was not subdivided until 1924. The two lots that now make up the subject site were purchased by two separate owners in 1927 and 1931. It is unknown what type of dwellings, if any, occupied the lots at this time.

The subject site was formed in 1936 when Nigel Borland Love and his wife, Phyllis Eloise Love, purchased both lots 65 and 66. The subject dwelling was constructed for the couple in 1941. The dwelling and landscaping, including the extensive pathways around the house can be seen in the 1943 aerial photograph.

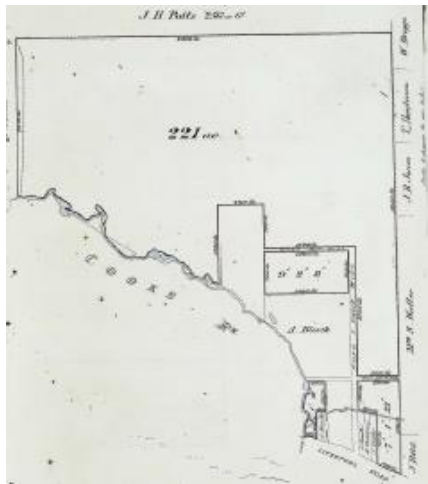


Figure 3: Area of Redmire Estate Included in Titles Certificate Dated 1876
Source: Titles Vol. 271 Fol. 159



Figure 4: Area of Redmire Estate Included in Titles Certificate Dated 1918
Source: Titles Vol. 2888 Fol. 4

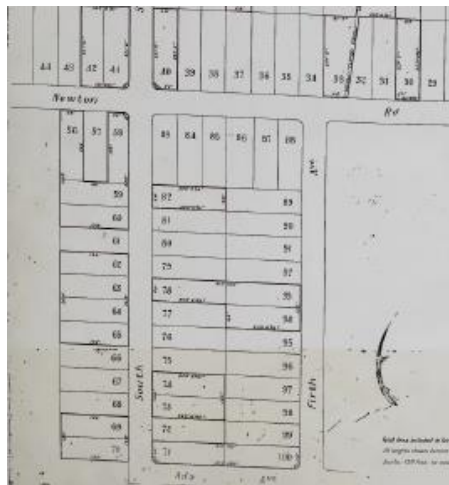


Figure 5: Area of Redmire Estate Included in Titles Certificate Dated 1924
Source: Titles Vol. 4071 Fol. 142



Figure 6: 1943 Aerial View
Source: Six Maps

Occupation of Subject Site

The first occupants of the subject site were Nigel Borland Love and Phyllis Eloise Love. Nigel Love was the owner of N.B Love Pty Ltd, which was a large and well known flower mill company. In the 1920s he was also managing director of the Australian Aircraft and Engineering Co, a company created to spread an interest in aviation through joy flights and charter operations. By 1940, Love had taken over Edwin Davey and Sons. After Love had built up his Mill business, he went back to aviation for the duration of WWII. He was appointed wing commander in the Royal Australian Air Force in August 1941 and commanded No. 2 of the Air Training Corps for boys aged 16-18. Love died in 1979 and the property was left to his family. The subject site was sold in 1980 to Harold and Margaret Laundy who, over the course of the 1980s, made many alterations to the property.

The following table outlines the history of occupation/ ownership of the subject site.

DATE	OCCUPANT
Crown Grant, September 1841	Joseph Newton
By 1876	Joshua Frey Josephson
By 1918	Sydney Arthur Josephson
1922	Strathfield Land Company Limited. (Subdivision)
1927	Lot 66 Mary Eveline Lucy Noakes
1931	Lot 65 Charles Johnson (with consent of Mortgage)
1935	Lot 65 Florence Longshaw
1936	Lot 65 and 66 Phyllis Eloise Love
1980	Lot 65 and 66 Arthur Harold Laundry and Margaret Anne Laundry
Current Owner	Magdaline Mouawad

2.2 SITE ALTERATIONS AND ADDITIONS

The subject site has had extensive alterations and additions, most dating from the 1980s. The alterations and additions have involved the entire site, including landscaped areas, driveway, rear and side elevations of the building and the interiors.

The following table outlines the history of alterations and additions. The details have been sourced from the Urbis Heritage Assessment Report, Council archives and information from the owner:

YEAR	BA/DA	TYPE OF WORK	DATE OF APPROVAL
Unknown c. 1943-1977	Unknown	Tennis Court <i>Note: the tennis court does not appear in the 1943 Six Maps aerial view (Figure 6)</i>	Unknown
c. 1977	BA 44/77	Construction of a carport including toilet	19/04/1977
c. 1981	Unknown	Alterations to first floor bathrooms <i>Note: the date of the infill of the original north-facing first floor verandah is unknown, it appears as already infilled on the 1985 plans and is presumed to have been altered as part of the first floor alterations</i>	Unknown
c. 1985	BA 312/84	In-ground swimming pool (although not completed with this DA); Alterations and additions to existing dwelling including the demolition of a section of the rear of the property and the addition of a combined kitchen/family room and rear terrace; The construction of a 4-car garage attached to the southern side of the dwelling to the southern boundary <i>Note: the original driveway configuration encircling the property appears on the 1981 plans, but no longer on the 1985 plans, it is presumed to have been altered as part of the rear additions</i>	Approval granted with conditions on 13/11/1984 Plans approved on 28/03/1985
c. 1987	BA 333/87	Construction of a swimming pool <i>Note: the garden wall does not appear in the 1985 plans, it is presumed to have been constructed along with the swimming pool to ensure privacy from the street</i>	29/09/1987
c. 1988	BA 28/88	Construction of a timber Gazebo at the rear of the property	15/07/1988

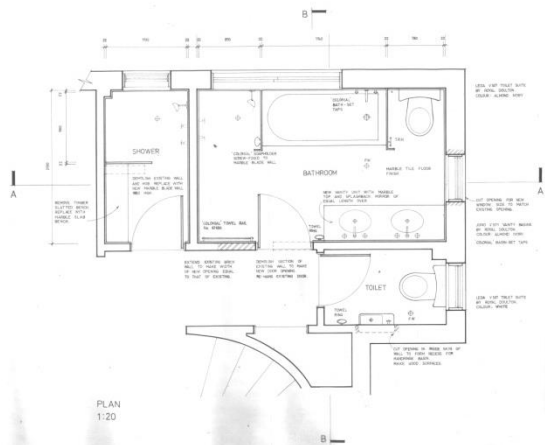


Figure 7: Plan of alterations to first floor bathrooms 1981
Source: Magdaline Mouawad



Figure 8: Site Plan 1981
Source: Magdaline Mouawad

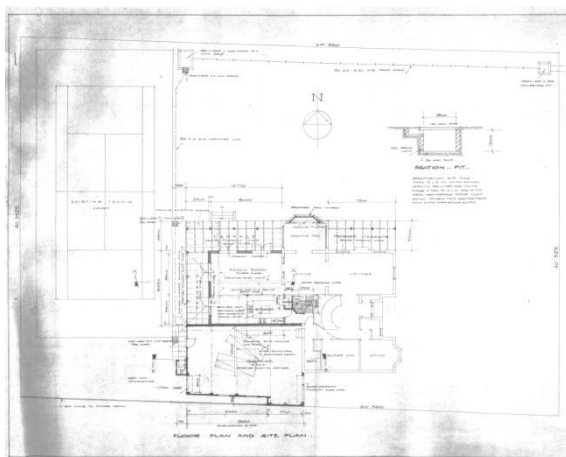


Figure 9: Site Plan 1985
Source: Magdaline Mouawad

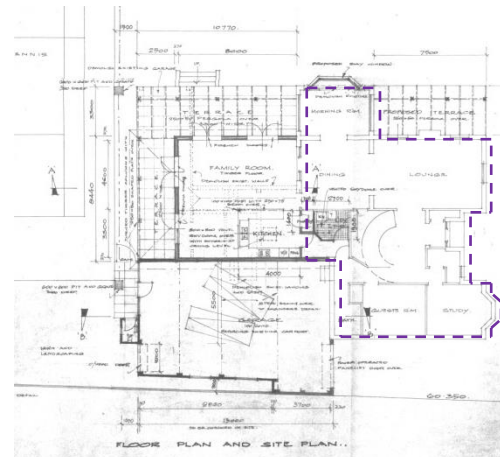


Figure 10: Plan of rear alterations and additions 1985. The purple line represents the remaining portion of the existing dwelling
Source: Magdaline Mouawad

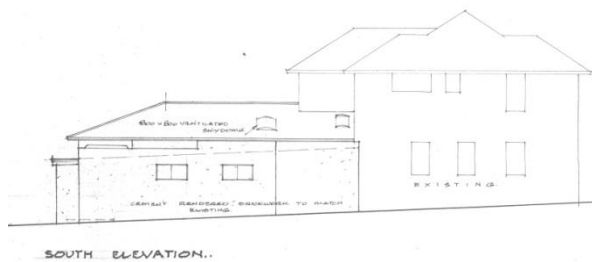


Figure 11: South Elevation 1985
Source: Magdaline Mouawad



Figure 12: North Elevation 1985
Source: Magdaline Mouawad



Figure 13: West Elevation 1985
Source: Magdaline Mouawad

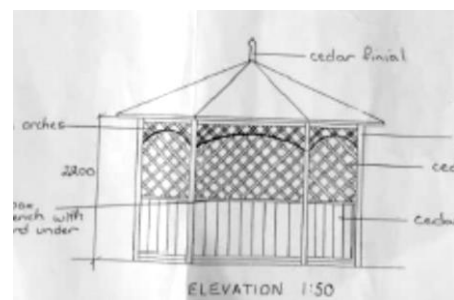


Figure 14: Gazebo 1988
Source: Magdaline Mouawad

By accessing old plans held by the previous owners, the architects have been able to piece together the dates and scope of alterations and additions to the dwelling, both before its heritage listing and after.

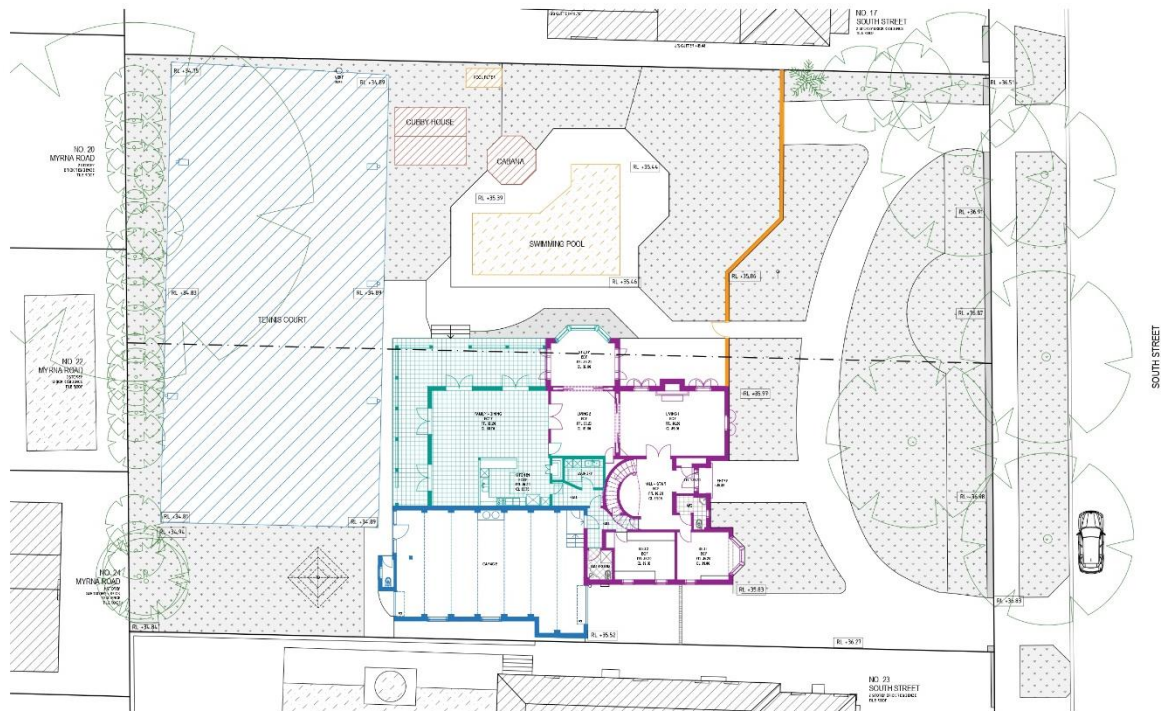


Figure 15: Existing Ground Floor Plan
Source: POC+P Architects



Figure 16: Existing First Floor Plan
Source: POC+P Architects

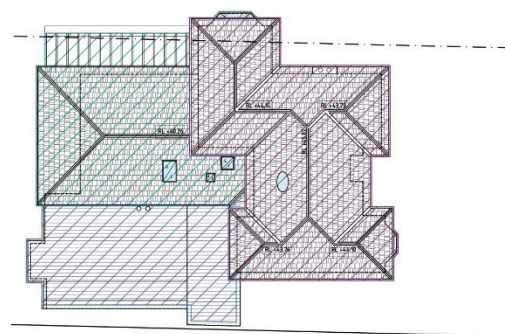


Figure 17: Existing Roof Plan
Source: POC+P Architects

Legend

- Original Building c. 1940s
- Existing Alterations and Additions c. 1977
- Existing Alterations and Additions c. 1981
- Existing Alterations and Additions c. 1985
- Existing Alterations and Additions c. 1987
- Existing Alterations and Additions c. 1988

2.3 HERITAGE LISTING I196

Statement of Significance

The following information is sourced from the entry "Georgian Revival House and Garden" in the NSW Heritage Inventory, reference number 2450130:

"This two-storey Georgian Revival house is constructed of rendered brick with a tile hip roof. It is situated on a large allotment and is set well back from the street. It features one storey timber bay windows to the north and east with copper bellcast roofing. A recessed entry has fan and side lights to the door. Other elements include rendered chimneys and rendered string course. A mature garden, stone fence, tennis court, and circular drive are important elements.

This well-maintained Georgian revival home was built in 1941 for Nigel B. Love of N.B. Love Limited, flour millers. This firm is still active in the area with premises in Braidwood Street. The house is of local significance for its architectural qualities and for its association with a prominent local business."

2.4 HERITAGE ITEMS IN THE VICINITY

There are no heritage items or heritage conservation areas in the immediate vicinity of the subject site. The closest heritage items are as follows:

Item Number	Distance from Subject Site	Item Name	Address	Property Description	Significance
I183	235m	Inter-war Old English Style House	23 Newton Road	Lot 2, DP 539835	Local
I93	300m	"Hillcrest" - Inter-war Californian Bungalow	58 Barker Road	Lot 11, DP 8778	Local
I217	365m	"Crosby" - Inter-war Old English Style House	12 Wallis Avenue	Lot 1, DP 329390	Local
I92	400m	Australian Catholic University, Strathfield Campus (Includes former "Mount Royal") - Various Buildings and Landscape	25A Barker Road (Formerly 179 Albert Road)	Lot 11, DP 869042	Local

2.5 ARCHITECTURAL STYLE

The subject site is a late example of the Georgian Revival Style.

The key characteristics of this style include:

- *Symmetrical facades with twelve pane windows (possibly with shutters)*
- *Gabled/ hipped terracotta roofs*
- *Classical elements such as porticoes, pediments and classical columns*
- *Manicured and formal gardens, including classical garden ornaments*
- *Simple, symmetrical round archways and features*

The subject site does, to a certain extent, exhibit these features. The main facade has little symmetry, it is triple fronted, with the central recessed area flanked by two side protruding wings. These wings are of different widths and have different ridge heights. The south wing has a paned bay window on the ground floor and one non-paned sash window on the first floor. The north wing has a paned window with shutters on the ground floor and two smaller non-paned sash windows on the first floor. The central portion of the facade has a recessed front door, located off centre, with a small bathroom window to the south of it on the ground floor and a centrally located non-paned sash window on the first floor. There is also a single chimney, located on the north side.

The subject dwelling has a terracotta tile hip roof with unusual half-round end caps on the ridge-hip junctions.

The subject dwelling does not exhibit any porticoes, pediments or classical columns.

The garden, including front hedge, trees and circular drive, is established but neither manicured nor formal and does not include classical garden elements. Furthermore, in previous alterations and additions, the landscape has been extensively altered with some features removed, including the original layout of the driveway which was changed with the rear additions and construction of the swimming pool.

There are only three round arched windows in the subject site, one on the ground floor of the eastern facade, and the other two on the ground floor of the northern facade, either side of the chimney. The recessed front door has a shallow arch. All other windows/ doors are rectangular in shape. On the round arched windows, the Urbis Heritage Assessment Report concludes "these are not a strong representation of type and are not in keeping with the other features of the facade".

The Urbis Heritage Assessment Report, following a comparative analysis comparing the subject site to other examples of the Georgian Revival Style in both Strathfield and the wider Sydney region concludes that: *"the subject site is no longer a strong example of its type"*.



Figure 18: Streetscape View
Source: Google Maps



Figure 19: East (Front) Facade View
Source: POC+P Architects

2.6 SIGNIFICANCE

The heritage significance of the subject site is compromised due to its poor representation of the Georgian Revival Style and lack of design resolution. The following assessment of significance is sourced from the Urbis Heritage Assessment Report. Note: the Urbis Heritage Assessment Report concludes that the subject site should be delisted and demolished.

CRITERIA	SIGNIFICANCE ASSESSMENT
A – Historical Significance <i>An item is important in the course or pattern of the local area's cultural or natural history.</i>	<i>The subject site has an association with local businessman, Nigel Love.</i>
Guidelines for Inclusion <ul style="list-style-type: none"> - shows evidence of a significant human activity <input type="checkbox"/> - is associated with a significant activity or historical phase <input type="checkbox"/> - maintains or shows the continuity of a historical process or activity <input type="checkbox"/> 	Guidelines for Exclusion <ul style="list-style-type: none"> - has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> - provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> - has been so altered that it can no longer provide evidence of a particular association <input checked="" type="checkbox"/>
B – Associative Significance <i>An item has strong or special associations with the life or works of a person, or group of persons, of importance in the local area's cultural or natural history.</i>	<i>The subject site was the residence of Nigel Love and his family. Nigel Love was the owner of the N.B Love Pty Ltd. Which was a large and well-known flour mill company.</i>
Guidelines for Inclusion <ul style="list-style-type: none"> - shows evidence of a significant human occupation <input type="checkbox"/> - is associated with a significant event, person, or group of persons <input checked="" type="checkbox"/> 	Guidelines for Exclusion <ul style="list-style-type: none"> - has incidental or unsubstantiated connections with historically important people or events <input type="checkbox"/> - provides evidence of people or events that are of dubious historical importance <input type="checkbox"/> - has been so altered that it can no longer provide evidence of a particular association <input type="checkbox"/>
C – Aesthetic Significance <i>An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in the local area.</i>	<i>The subject dwelling is not a strong representation of a Georgian revival house/residence. The dwelling's characteristics are not out-standing and there have been many alterations and additions. The original c. 1943 landscaping has also since been removed and altered with the addition of the, tennis court, swimming pool and paving. These additions have removed any remaining evidence of the landscaping that would have initially surrounded the dwelling.</i>
Guidelines for Inclusion <ul style="list-style-type: none"> - shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> - is the inspiration for a creative or technical innovation or achievement <input type="checkbox"/> - is aesthetically distinctive <input type="checkbox"/> - has landmark qualities <input type="checkbox"/> - exemplifies a particular taste, style or technology <input type="checkbox"/> 	Guidelines for Exclusion <ul style="list-style-type: none"> - is not a major work by an important designer or artist <input checked="" type="checkbox"/> - has lost its design or technical integrity <input type="checkbox"/> - its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> - has only a loose association with a creative or technical achievement <input checked="" type="checkbox"/>
D – Social Significance <i>An item has strong or special association with a particular community or cultural group in the local area for social, cultural or spiritual reasons.</i>	<i>The subject site is not considered to have social significance.</i>

Guidelines for Inclusion <ul style="list-style-type: none"> - is important for its associations with an identifiable group <input type="checkbox"/> - is important to a community's sense of place <input type="checkbox"/> 	Guidelines for Exclusion <ul style="list-style-type: none"> - is only important to the community for amenity reasons <input checked="" type="checkbox"/> - is retained only in preference to a proposed alternative <input type="checkbox"/>
E – Research Potential An item has potential to yield information that will contribute to an understanding of the local area's cultural or natural history.	The subject site is not considered to have further research potential. Please note that Archaeology is outside of the scope for this report.
Guidelines for Inclusion <ul style="list-style-type: none"> - has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> - is an important benchmark or reference site or type <input type="checkbox"/> - provides evidence of past human cultures that is unavailable elsewhere <input type="checkbox"/> 	Guidelines for Exclusion <ul style="list-style-type: none"> - the knowledge gained would be irrelevant to research on science, human history or culture <input type="checkbox"/> - has little archaeological or research potential <input checked="" type="checkbox"/> - only contains information that is readily available from other resources or archaeological sites <input type="checkbox"/>
F – Rarity An item possesses uncommon, rare or endangered aspects of the local area's cultural or natural history.	The subject site and dwelling are not considered rare.
Guidelines for Inclusion <ul style="list-style-type: none"> - provides evidence of a defunct custom, way of life or process <input type="checkbox"/> - demonstrates a process, custom or other human activity that is in danger of being lost <input type="checkbox"/> - shows unusually accurate evidence of a significant human activity <input type="checkbox"/> - is the only example of its type <input type="checkbox"/> - demonstrates designs or techniques of exceptional interest <input type="checkbox"/> - shows rare evidence of a significant human activity important to a community <input type="checkbox"/> 	Guidelines for Exclusion <ul style="list-style-type: none"> - is not rare <input checked="" type="checkbox"/> - is numerous but under threat <input type="checkbox"/>
G – Representative An item is important in demonstrating the principal characteristics of a class of NSWs (or the local area's): cultural or natural places; or cultural or natural environments.	The subject dwelling is a poor example of a Georgian Revival residence. The dwelling has limited representative features and these are not outstanding. These features include the entrance way and entry hallway, however the doorway is standard design and the curved stairs in the entry hallway are narrow and mean in proportions.
Guidelines for Inclusion <ul style="list-style-type: none"> - is a fine example of its type <input type="checkbox"/> - has the principal characteristics of an important class or group of items <input type="checkbox"/> - has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity <input checked="" type="checkbox"/> - is a significant variation to a class of items <input type="checkbox"/> - is part of a group which collectively illustrates a representative type <input type="checkbox"/> - is outstanding because of its setting, condition or size <input type="checkbox"/> - is outstanding because of its integrity or the esteem in which it is held <input type="checkbox"/> 	Guidelines for Exclusion <ul style="list-style-type: none"> - is a poor example of its type <input checked="" type="checkbox"/> - does not include or has lost the range of characteristics of a type <input type="checkbox"/> - does not represent well the characteristics that make up a significant variation of a type <input checked="" type="checkbox"/>

Urbis Heritage Assessment Report Conclusion

The Urbis Heritage Assessment Report concludes as follows:

"The dwelling is a stripped representative example of its style however it is not a well resolved design and exhibits thinner characteristics with the early 1940's windows and front detailing.

The interior has characteristics of the grander period dwellings such as a curved stair however the stair is extremely narrow and mean in proportions so that it is not a well resolved example of its type and is awkward to use. Poor design such as this should not be recognised as important aesthetically.

The dwelling has been designed to be impressive on a large block however has not been well resolved architecturally and appears to be a builder design with standard elements of the period, with earlier references. The landscaping has also been removed and the dwelling no longer sits in a formal garden setting. In this regard, it does not reach the threshold for individual aesthetic listing.

The association with Nigel Love, flour miller, is of interest and illustrates the aspirations of the successful family in the area. The association with his flying interests is tenuous in terms of the location and period of construction of the house however it does not reduce the local interest in the man and his local business enterprises. This may be interpreted in some form on the site.

The dwelling is on a large site and has had earlier alterations and additions. The site has potential for more additions and it is considered that the main form of the house is not well resolved and that maintaining this form and poor details will not provide a successful base for a larger addition in the future. The integrity of the dwelling is such that a new dwelling of a high quality is considered a better outcome than adding to a poor example of the type.

The door surround is not well resolved, the windows are of simple quality and are of a standard design of the time, the bay appears altered and the overall design is not distinguished.

It is recommended that the building be removed as a Heritage Item from Schedule 5 of the Strathfield Local Environmental Plan."

3.0 DESCRIPTION OF SCOPE OF WORK

3.1 DESIGN PHILOSOPHY

The subject site presents a number of design constraints and complications as a result of its Local Heritage listing. The proposed alterations and additions are designed on the basis that the original dwelling, despite being an inferior design, should not be delisted and demolished regardless of the recommendations of the Urbis Heritage Assessment Report 2018.

3.2 ALTERNATE DESIGNS CONSIDERED

A previous DA submission, DA2019/085, was rejected by the local planning panel in November 2019. This scheme encompassed the site as a whole and sought to add a two storey addition to the existing heritage house in the form of a balanced wing. Following the feedback from this DA submission, a revised design scheme is proposed which instead seeks consent for the restoration of the dwelling house and subdivision of the site.

This revised scheme has been designed to not compromise the existing amenity of the site, and to maintain its heritage value. The site is proposed to be subdivided along the existing boundary line between number 19 South Street (lot 65) and number 20 South Street (lot 66). The existing c. 1940s dwelling house occupies lot 66. In order to achieve the subdivision, minor demolition is proposed for the portions of the existing dwelling house which straddle this boundary.

The choice of this subdivision design option, rather than continuing to pursue a two storey addition, was made with consideration of the heritage significance of the original dwelling house and a desire to preserve as much of this dwelling as possible. The choice was also made in response to the feedback from council's Local Planning Panel Meeting dated 7 November 2019, SLLP Report No. 2. Details of this new design proposal in relation to the Local Planning Panel Feedback is outlined in the following tables, the first table is in response to the comments made in the Meeting Minutes, the second table is in response to the comments made by the assessing officer in the Meeting Agenda.

Strathfield Local Planning Panel Meeting Minutes - 7 November 2019

REPORT: SLPP – Report No. 2

SUBJECT: DA2019/085 - 19-21 SOUTH STREET, STRATHFIELD LOTS 65 & 66 DP 8778

DA NO. DA2019/085

RECOMMENDATION	RESPONSE
<p>1. Inconsistency with aims of Strathfield Local Environmental Plan 2012 – Clause 1.2: Aims of plan (SLEP 2012)</p> <p>The proposed development should be refused because it does not achieve a high-quality urban form and does not protect environmental and cultural heritage. As such, the proposal is contrary to aims (a) and (f) under Clause 1.2(2) of SLEP 2012, as follows:</p> <p>Clause 1.2(2):</p> <ul style="list-style-type: none"> - Objective (a): To achieve high quality urban form by ensuring that new development exhibits design excellence and reflects the existing or desired future character of particular localities and neighbourhoods in Strathfield. - Objective (f): To identify and protect environmental and cultural heritage. 	<p>The new proposal protects and restores the existing dwelling house, with the alterations and additions located at the rear, concealed. Consequently, the heritage, urban form and character are protected and promoted.</p> <p>The subdivision of the site realises the existing boundary between lots 65 and 66. Both lots have a generous frontage of approximately 20m which is consistent with the urban form of the surrounding streetscape.</p>
<p>2. Inconsistency with the objectives for heritage conservation in Strathfield LGA - Clause 5.10: Heritage conservation (SLEP 2012)</p> <p>The proposed development should be refused because it does not conserve or respect the environmental heritage of Strathfield LGA. The proposed additions would have a detrimental impact on the significance of the heritage listed 'Georgian Revival house and garden' under SLEP 2012. As such, the proposal is contrary to aims (a) and (b) under Clause 5.10(1) of SLEP 2012, as follows:</p> <p>Clause 5.10(1):</p> <ul style="list-style-type: none"> - Objective (a): To conserve the environmental heritage of Strathfield - Objective (b): To conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views. 	<p>The new proposal has been designed primarily to better protect the heritage significance of the property. It protects and restores the existing dwelling house, with the alterations and additions located at the rear, concealed.</p>
<p>3. Inconsistency with the zone objective pertaining to protection of heritage significance of heritage items – Land Use Table (SLEP 2012)</p> <p>The proposed development should be refused because the proposal would adversely impact upon the heritage significance of the heritage item and its setting. As such, the proposal is contrary to the following zone objective for the R2 Low Density Residential zone under the Land Use Table of SLEP 2012, as follows:</p> <p>Land Use Table – R2 Low Density Residential Zone:</p> <ul style="list-style-type: none"> - Objective: To ensure that development of housing does not adversely impact the heritage significance of adjacent heritage items and conservation areas. 	<p>The new proposal protects and restores the existing dwelling house, with the alterations and additions located at the rear, concealed.</p>
<p>4. Inconsistency with objects of EP&A Act, 1979 – Clause 1.3: Objects of Act</p> <p>The proposed development should be refused because it is inconsistent with objects (f) and (g) under Clause 1.3 of the Act, as follows:</p> <p>Clause 1.3:</p> <ul style="list-style-type: none"> - Object (f): To promote the sustainable management of built and cultural heritage (including Aboriginal cultural heritage). - Object (g): To promote good design and amenity of the built environment. 	<p>The new proposal protects and restores the existing dwelling house, with the alterations and additions located at the rear, concealed.</p>

<p>5. Insufficient information to enable a proper assessment of proposed earthworks – Clause 6.2: Earthworks (SLEP 2012)</p> <p>The proposed development should be refused because there is insufficient information to enable a proper assessment of the impact of the proposed basement level and proposed additions on the structural integrity of the existing heritage item and impact to the adjoining properties. This is required at the DA stage in order to ascertain the viability of the proposal given the heritage significance of the building. No detailed Structural Report or Geotechnical Report has been submitted with the application. The consent authority cannot be satisfied of the matters required to be considered under Clause 6.2(3) before granting consent for earthworks.</p> <p>As such, the proposal is not acceptable with regard to Clause 6.2 of the SLEP 2012.</p>	<p>The proposed works no longer include a basement.</p>
<p>6. Inconsistency with Part P: Heritage under SCDCP 2005 The proposed development should be refused because it does not respect the significance of the heritage item and its contribution to the streetscape and does not accord with the following objectives and controls under Part P: Heritage of SCDCP 2005:</p> <p>Clause 1.5: Objectives</p> <ul style="list-style-type: none"> - Objectives (A), (B), (C). <p>Clause 2.1: General Objectives</p> <ul style="list-style-type: none"> - Objectives (A), (B), (C), (D), (E) <p>Clause 2.2: Setting</p> <ul style="list-style-type: none"> - Objectives (A), (B) - Controls (i), (iii), (iv) <p>Clause 2.3: Scale</p> <ul style="list-style-type: none"> - Objective (A) - Controls (i) and (ii) <p>Clause 2.4: Form</p> <ul style="list-style-type: none"> - Objectives (A), (B) - Controls (i), (ii), (iv) <p>Clause 2.5: Materials and Colours</p> <ul style="list-style-type: none"> - Objectives (A), (B), (C) - Controls (ii), (iii), (vi) <p>Clause 2.6: Alterations and Additions</p> <ul style="list-style-type: none"> - Objectives (A), (B), (C) - Controls (i), (ii), (iii) <p>Clause 2.7: Doors and Windows</p> <ul style="list-style-type: none"> - Objectives (A), (B), (C) - Controls (i), (ii), (iii), (iv) <p>Clause 2.8: Car Parking</p> <ul style="list-style-type: none"> - Objective (B) - Control (iv) <p>Clause 2.9: Fencing</p> <ul style="list-style-type: none"> - Objectives (B), (C) - Controls (ii), (iii), (iv) <p>Clause 2.12: Modern Technologies</p> <ul style="list-style-type: none"> - Objective (A) <p>Clause 2.13: Demolition</p> <ul style="list-style-type: none"> - Controls (ii), (iii) 	<p>Revised, see part 4.3 of this report</p>
<p>7. Inconsistency with Part A: Dwelling Houses and Ancillary Structures - SCDCP 2005</p> <p>The application should be refused because it does not accord with the following objectives and controls under Part A: Dwelling Houses and Ancillary Structures of SCDCP 2005:</p> <p>Section 2: Architectural Design and Streetscape Presentation</p> <p>Clause 2.1: Objectives</p> <ul style="list-style-type: none"> - Objectives (A), (C), (G), (I) <p>Clause 2.2.1: Streetscape Presentation</p> <ul style="list-style-type: none"> - Controls (2), (3) <p>Clause 2.2.2: Scale, Massing & Rhythm of Street</p> <ul style="list-style-type: none"> - Controls (1), (2) <p>Section 4: Building Envelope</p> <ul style="list-style-type: none"> - Clause 4.2.2: Building Height - Control (2) - Clause 4.2.3.2: Side and Rear Setbacks - Control (1) 	<p>Revised, see part 4.3 of the attached Statement of Environmental Effects</p>

<p>Section 5: Landscaping</p> <ul style="list-style-type: none"> - Clause 5.2.4: Fencing - Control (1) <p>Section 8: Vehicular Access and Parking</p> <ul style="list-style-type: none"> - Clause 8.2.3: Basements - Controls (1), (2), (6) <p>Section 9: Altering Natural Ground Level (Cut and Fill)</p> <ul style="list-style-type: none"> - Clause 9.2: Development Controls - Control (5) 	
<p>8. The proposed development would give rise to unacceptable environmental impacts - Section 4.15(1)(b) of the EP&A Act, 1979.</p> <p>The proposed development should be refused because it would have a detrimental impact on the significance of the heritage item and its streetscape contribution. In this regard, the proposal would adversely impact upon the surrounding built environment.</p>	<p>The new proposal protects and restores the existing dwelling house, with the alterations and additions located at the rear, concealed. Moreover, the proposed restoration works will have a positive contribution on the heritage item and the surrounding streetscape.</p>
<p>9. The proposed development is unsuitable to the site – Section 4.15(1)(c) of the EP&A Act, 1979.</p> <p>The proposed development should be refused because it is unsuitable to the site. The bulk, scale, siting and form of the new additions would physically overwhelm the heritage item and would have a detrimental impact on the significance of the heritage item and its interpretation from the public domain, particularly the northern and eastern facades of the heritage item and its curtilage.</p>	<p>The proposed works now include no additional wing, only minor ground-floor alterations located in the rear and not visible from the streetscape. Consequently, the heritage item is not overwhelmed and is easily distinguishable from the public domain.</p>
<p>10. The proposal development is not in the public interest - Section 4.15(1)(e) of the EP&A Act, 1979.</p> <p>The proposal should be refused because it is not considered to be in the public interest. With regard to the wider public interest, approval of the proposed development would have a detrimental impact on the wider community through the detrimental impact on a heritage item of local significance. With regard to the sectionalized public interest, the proposal would not enable interpretation of the heritage item in the immediate streetscape context. As such, the proposal is not considered to be in the public interest.</p>	<p>The proposed works now allow for the interpretation of the heritage item in the immediate streetscape context there are no longer proposed additions to the heritage item which are visible from the streetscape. Consequently, the heritage item is not overwhelmed and is easily distinguishable from the public domain.</p>
ADDITIONAL COMMENTS BY THE PANEL	RESPONSE
<p>1. Retention of more original internal fabric including the main stair.</p>	<p>The proposed works ensure the maximum retention of original internal fabric. The main stair is retained and demolition in general is limited.</p>
<p>2. Retention to view of the significant north elevation which is an important part of the original composition.</p>	<p>The proposed works no longer include a symmetrical two storey wing to the north of the original dwelling house. Therefore, there is a better view of the north side elevation with this new proposal. Additionally, the fenestration and roof plane along this elevation are now also better preserved, along with the preservation of the chimney. Consequently, the integrity of the north side elevation is generally improved. However, the northern protruding hip which straddles the boundary between lots 65 and 66 is proposed to be demolished. Despite being located in the rear portion of the north elevation, behind the chimney, the proposed demolition of this protruding hip still affects the overall articulation of the northern side boundary.</p>
<p>3. Any new wing to be subservient in scale, form, character and siting to the original dwelling.</p>	<p>The proposed works no longer include a new wing, only minor alterations to the existing non-original rear of the dwelling house. These alterations are single storey and therefore subservient to the original dwelling.</p>

Strathfield Local Planning Panel Meeting Agenda - 7 November 2019

REPORT: SLPP – Report No. 2

SUBJECT: DA2019/085 - 19-21 SOUTH STREET, STRATHFIELD LOTS 65 & 66 DP 8778

DA NO. DA2019/085

ASSESSING OFFICER'S COMMENTS	RESPONSE
The siting and form of the new additions is unsympathetic to the heritage building.	The new proposal sites all new additions at the rear.
The proportions and scale of the additions are inappropriate. The proposal would not enable interpretation of the heritage item.	The new proposal only includes minor ground floor works of a limited scale.
The bulk of the additions to the north should be relocated away from the building line of the existing dwelling house so as to not reduce the status of the existing heritage item to that of a less ornate wing of a grand mansion.	The new proposal locates the works behind the existing building line, at the rear of the property.
The addition of stone piers and disproportionately high gates to the new pedestrian entry and existing vehicular entries would alter the character of the existing low-lying stone front fence and are not supported.	The new proposal does not involve any changes to the existing low-lying stone front fence, no new stone piers and no new pedestrian entry. A new gate is proposed in one of the existing vehicular entries, this is at the height of the existing low-lying piers.
The existing circular driveway is to be retained.	The existing circular drive is maintained in location and material. Its use as a continuous carriage loop is terminated half way through, however, because of the subdivision of lots 65 and 66, and the construction of a boundary fence between them.
The submitted drawings indicate the retention of existing trees within the front setback	All existing trees within the front setback to be retained.
The proposed outbuilding would not adversely impact upon the significance of the heritage building.	The new proposal includes an open outbuilding located in the rear.
The proposed outbuilding is located within the TPZ of a significant Forest Red Gum tree on the rear boundary, which is significant to the setting of the heritage item.	The new proposal sites the open outbuilding outside of the TPZ.
A structural certificate has been provided (not a Structural Report) with insufficient details to enable a proper assessment of the impact of the proposed basement and additions on the structural integrity of the heritage item.	The new proposal does not include a basement.
The extent of demolition and scale of new work proposed would have a detrimental impact on how the existing heritage item is viewed from the streetscape.	The new proposal only includes minor demolition and minor ground floor works. These new works are located at the rear. Consequently, the prominence of the existing heritage item from the streetscape is maintained.
The proposal would obscure the importance of the existing form of the heritage item in the streetscape through the virtual replication of the form as part of the proposal and does not accord with this objective.	The new proposal does not obscure the existing form of the heritage item, nor does it replicate this form.
The proposal retains the original entry recess, albeit, its integrity is compromised by the new ornate entry and portico structure and overwhelming scale of the additions.	The new proposal maintains the original entry recess as the front method of entry into the house. Its integrity is retained.
While the rear verandah with pergola structure are part of later additions to the heritage item, the new work does not respect the relationship of this addition to the building.	The relationship of the non-original rear verandah and pergola to the building is better preserved with the new proposal, however, some alterations are made. These alterations are considered appropriate because the rear verandah and pergola are non-original, dating from 1985. The west-facing verandah is extended for adequate private open space. The north-facing verandah is reduced to ensure an adequate setback from the proposed subdivided boundary.

The proposal retains the 'original shape' of the existing roof, but replaces the existing tiles with 'slate grey'.	With the new proposal, the original shape and original tiles of the existing roof are maintained.
The proposal involves demolition of the roof to the northern portion of the existing building.	The new proposal still involves some minor but reduced demolition to the roof in the northern hipped portion of the building. This is required because the building straddles the boundary between lot 65 and 66. The roof tiles removed will be reused to make good the existing roof.
A direct connection with new ornate window additions and replica chimney of the Georgian revival style to the front elevation is proposed between the existing roof and the new roofing. This undermines the significance of the heritage item.	The new proposal does not include this link.
The shape of the roof of the heritage item has been replicated for the roof to the new work. The reduced ridge RL of the new roof as an attempt to read as subservient to the heritage building is poorly conceived and would have a detrimental impact on the significance of the heritage item.	The new proposal does not include the roof referred to here. The new works only comprise of minor ground floor works located at the rear.
The existing materials and finishes to the front façade are obscured by the addition of ornate 'shutters' to the first-floor windows, and by the lack of distinction in the colour/material palette to the new work.	The new proposal does not include shutters for the windows. Furthermore, the new work is limited to the rear, leaving the original house distinguished in colour and material.
The materials and colours of the new work is not readily discernible as new fabric.	<p>The new works including the cabana located at the rear, western balcony extension and pantry located within the existing garage footprint are simple and distinguished in their materials and finishes, including timber framing and colorbond roofing. These new works are not visible from the streetscape.</p> <p>The new portion of external wall on the original dwelling house in the location where the northern hip is proposed to be demolished, is intended to be subtly discernible from the original work. The existing north facing ground floor bay and first floor infill windows will be relocated as part of this new wall. The wall finish itself will be of the same paint colour as the rest of the existing house, but a rougher render texture, with a vertical shadow line marking the junction of original and alteration. This ensures the material character of the dwelling remains while alterations are discernible.</p>
The rendered façade is retained.	The new proposal still retains the rendered façade.
The roof tiles do not match the existing.	The new proposal uses the existing roof tiles.
New window shutters to the front façade are inconsistent with the original building.	The new proposal does not include shutters for the windows.
The roof tiles in 'slate grey' do not match the existing terracotta colour.	The new proposal uses the existing roof tiles.
The roof tiles in slate grey do not preserve the original terracotta colour.	The new proposal uses the existing roof tiles.
The Marseilles roof tile pattern is maintained.	The new proposal uses the existing roof tiles.
The HIS states that no sandblasting is proposed.	The new proposal still uses no sandblasting.
The proposal fails to satisfy the provisions of the Clause 2.6.	See part 4.3 of this report.
The minor set down of the addition when compared to the existing building is barely discernible in the context of the bulk and massing of the proposed addition.	The new proposal does not include an addition of the bulk and massing previously proposed. Rather, the new work is single-storey and limited to the rear.
The proposed additions seek to replicate the existing building in a manner that is a more ornate reproduction of the Georgian Revival style. This undermines the significance of the heritage item and does not enable interpretation of the heritage item.	The new proposal no longer includes the additions referred to here. Instead, it comprises of minor ground floor works located at the rear. The heritage item retains its significance.
The bulk, scale, form, and siting of the new work physically overwhelms the heritage item and would have a detrimental impact	The new proposal no longer includes the additions referred to here. Instead, it comprises of minor

on the significance of the heritage item and its contribution to the streetscape.	ground floor works located at the rear. The heritage item retains its significance.
Notwithstanding the proposal involves demolition of existing windows/doors except for the majority of those along the front façade, the integrity of the building is undermined by the addition of ornate 'shutter' detailing to the first-floor windows.	With the new proposal, all original windows are retained except for two ground floor windows. These are required to be removed because they are part of the northern portion of the building which straddles the boundary between lot 65 and 66. Two non-original c.1981 first floor windows are also proposed to be removed. The existing non-original north facing bay window c.1985 and the existing non-original first floor infill window c.1981 are both proposed to be retained and relocated.
The east (front) facing windows to the existing study's at ground and first floor level are deleted along with this northern portion of the existing building.	The new proposal still removes the existing east-facing ground floor study window c.1940s and the existing east-facing first floor study infill window c.1981, along with the northern hipped portion of the existing building. This is required because this portion of the building straddles the boundary between lots 65 and 66, which are proposed to be subdivided.
The proposed northern-wing addition seeks to use Georgian Revival design elements in greater numbers than are found on the heritage item. This is not supported from a heritage perspective.	The new proposal no longer includes the additions referred to here.
The basement entry utilises the existing driveway and is located on the same side of the building as the existing garage. This is supported.	The new proposal no longer includes a basement, the existing driveway and existing garage are instead retained.
A letter has been submitted from a structural engineer explaining how this has been achieved on other jobs through the use of piling, etc. It is not considered that this constitutes a Structural Report.	The new proposal no longer includes a basement.
Insufficient details are provided to determine the impact of the basement excavation on the heritage item, and how the support for the existing building will be achievable in this instance.	The new proposal no longer includes a basement.
A geotechnical report has not been submitted with the application.	The new proposal no longer includes a basement.
The addition of stone piers to the new pedestrian entry and existing vehicular entries changes the entire character of the front fence and is not supported.	The new proposal does not add piers to the front fence. The character of the front fence is maintained.
The new gates proposed to the pedestrian and vehicular entries are disproportionately high.	The new proposal adds one gate to the existing vehicular entry on lot 66. This gate is a reduced scale, with a height that matches the existing fence.
The proposal outbuilding encroaches the TPZ of a significant tree (Tree 10) on the rear boundary and is not supported.	The new proposal includes an open outbuilding located in the rear but moved to be outside the TPZ.
The proposal retains the existing circular driveway. This is supported.	The existing circular drive is maintained in location and material. Its use as a continuous carriage loop is terminated half way through, however, because of the subdivision of lots 65 and 66, and the construction of a boundary fence between them.
The submitted plans show the retention of all trees within the front setback.	All trees within the front setback are still proposed to be retained.
There is an inconsistency in the submitted Arborist report, which identifies Tree 7 (Umbrella Tree) on the northern side boundary within the front setback as being removed.	Whilst recommended to be removed in the arborist report, T7 is not intended to be removed. All trees within the front setback are proposed to be retained.
This can be conditioned for retention to ensure adequate screen planting.	Whilst recommended to be removed in the arborist report, T7 is not intended to be removed. All trees within the front setback are proposed to be retained.
No objections are raised to the proposed outbuilding on heritage grounds, albeit, the outbuilding is not supported due to its proximity to a significant tree (Tree 10) on the rear boundary.	The new proposal includes an open outbuilding located in the rear but moved to be outside the TPZ of T10.
Whilst located behind the existing ridgeline to be retained, the location of the AC platform and solar panels on the roof (newly constructed) of the heritage item is not supported.	The new proposal does not include an AC platform or solar panels.

The AC platform is highly visible from the rear and detracts from the significance of the item.	The new proposal does not include an AC platform or solar panels.
The application proposes extensive demolition of the heritage item. This is not supported.	The new proposal is designed to greatly reduce the amount of demolition.
Retention of the existing heritage item is generally limited to the front façade. Albeit, the addition of shutters to the original windows is not supported.	The new proposal retains the original dwelling, including internals, except for the north facing ground floor and first floor studies.
The submitted HIS states that demolition is limited to areas modified in the late 20th century and additions.	The new proposal seeks to demolish the north facing ground floor and first floor studies, both modified in the c. 1980s, the ground floor with a bay window, the first floor an infilled former verandah. All other demolition involves entirely new additions including partial demolition of the garage c.1977 and rear verandah c. 1985
The Urbis Heritage Assessment Report (Source: HIS) concludes that "the integrity of the dwelling is such that a new dwelling of a high quality is considered a better outcome than adding to a poor example of the type". This finding is inconsistent with the proposal.	Despite this Urbis Report finding, it is maintained that the heritage value of the dwelling is such that it should be retained, at least in part. The new proposal aims to retain as much of the original dwelling as possible.
The design approach of facadism together with additions that are not physically separate to the heritage item and seek to replicate the Georgian Revival style in a manner that is a more ornate reproduction, undermines the heritage significance of the item.	The new proposal retains both external and internal heritage fabric. Also, it no longer includes the additions referred to here.
The Statement of Significance on the NSW Heritage Inventory (Ref 2450130) identifies one storey timber bay windows to the north and east with copper bellcast roofing. The bay window to the north is proposed to be demolished. The HIS states that "the bay window on the north façade is of limited significance and suitable to be demolished".	The bay window to the north dates from c.1985, it is an addition to the original heritage dwelling rather than original. This consequently limits its significance when compared to the bay window to the east. Nevertheless, the new proposal seeks to relocate the north-facing bay window so that it is still north-facing, however no longer crossing the proposed subdivided boundary between lots 65 and 66. The bay window to the east is still intended to be retained and preserved in place.
It is considered that the eastern elevation of the heritage building should be preserved including restoration of the east facing bay window as this is identifiable from the streetscape.	The new proposal still intends to retain and preserve the east facing façade including the bay window. Restoration works of this facade are proposed to be undertaken.

Conclusion

The primary concerns raised by the Local Planning Panel and Assessing Officer in relation to the previous proposal were centred around: (1) the dominance of the proposed additions regarding their scale, bulk, siting and materiality as well as (2) the level of demolition (particularly internal) of the original dwelling. Consequently, the focus of the revised scheme presented in this DA proposal has been to create additions which are minor and do not dominate the original dwelling, as well as to retain and preserve as much of the original dwelling as possible.

It is the property owner's desire to realise a subdivision of the site after being thwarted in doing their preferred combined and holistic development. The subdivision allows the value of the unencumbered northern lot to be maximised while the dwelling house located on the southern lot no.66 is restored and preserved in the manner in which it was accustomed along with minor refurbishments at the rear to ensure its continued use as a private home.

3.3 DESIGN PROPOSAL

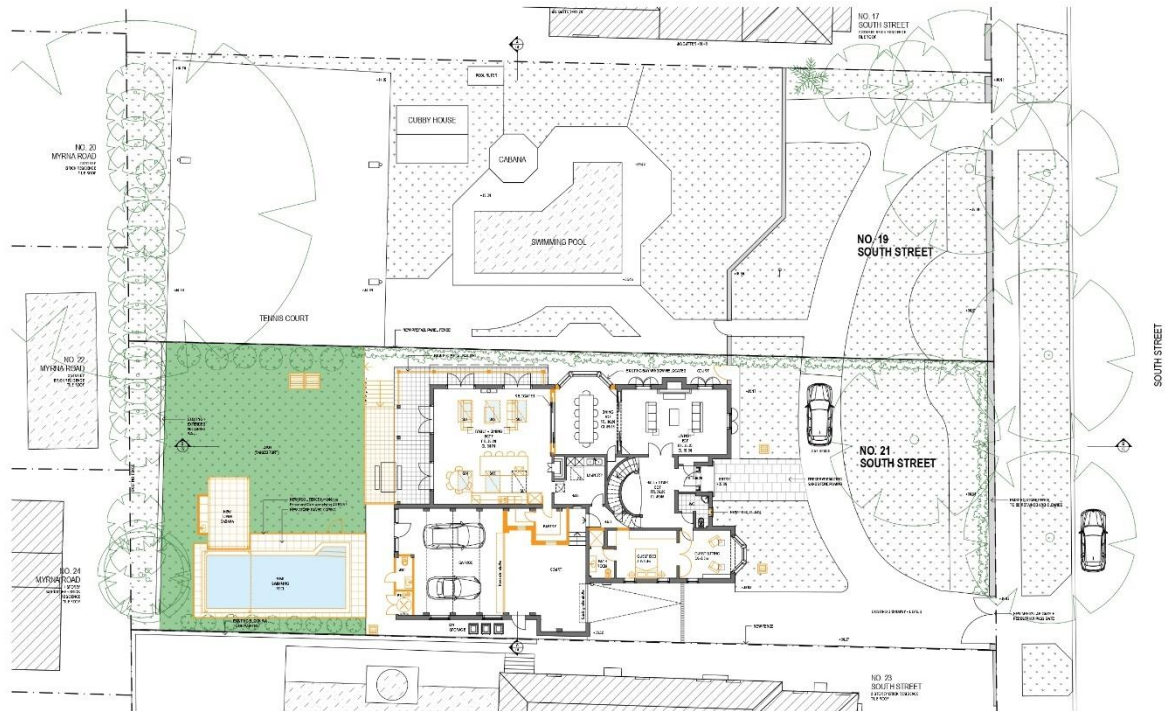


Figure 20: Ground Floor Plan
Source: POC+P Architects

Ground Floor Plan

- Demolish existing c. 1940s north facing hip consisting of ground floor study
- Relocate existing c. 1985 bay window to dining room
- Relocate existing c. 1940s internal sliding door to dining room/ family room connection
- Demolish existing c. 1985 ground floor rear additions (partially) including kitchen fittings and north-facing terrace + pergola – north-facing terrace + pergola partly retained
- Demolish existing c. 1977 garage (partially) + WC – entry part retained
- New WC + pool equipment in existing c. 1977 garage
- New kitchen refurbishment in existing c. 1985 kitchen
- New pantry constructed in part of demolished c. 1977 garage footprint
- Renew top sash of c. 1940 WC window in fixed glass

Site:

- New boundary fence between lot 65 and lot 66
- Demolish existing c. 1977 tennis court on lot 66
- New vehicular gate + pedestrian pass gate in existing opening in c. 1940s front fence on lot 66
- New pedestrian gate in existing c. 1987 garden wall on lot 66
- New swimming pool and open cabana on lot 66
- Preserve/ protect existing landscaping and landmark trees + new landscaping + lawns
- Preserve/ protect existing front fence
- Preserve/ protect existing driveway + dual vehicular entries
- New pedestrian gate in existing c. 1987 garden wall on lot 66



Figure 21: First Floor Plan
Source: POC+P Architects 2018

First Floor Plan

- Demolish existing c. 1940s north facing hip consisting of first floor study 2
- Relocate existing c. 1981 infill study window to Bed 3
- New 5x skylights in existing c. 1985 ground floor living area roof

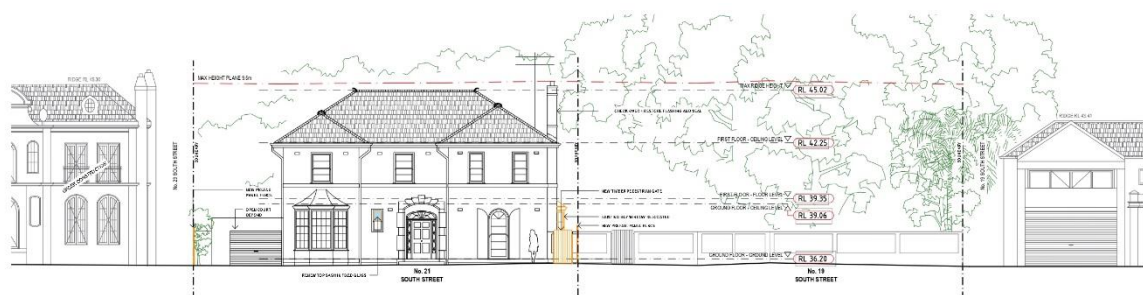


Figure 22: East (Front) Elevation
Source: POC+P Architects

East (Front) Elevation

- New pedestrian gate in existing c. 1987 garden wall on lot 66
- Renew top sash of c. 1940 WC window in fixed glass



Figure 23: West (Rear) Elevation
Source: POC+P Architects

West (Rear) Elevation

- Demolish existing c. 1977 WC
- New WC + pool equipment in existing c. 1977 garage
- New swimming pool
- New c. 1985 balcony extension + awning roof + balustrade/ railing

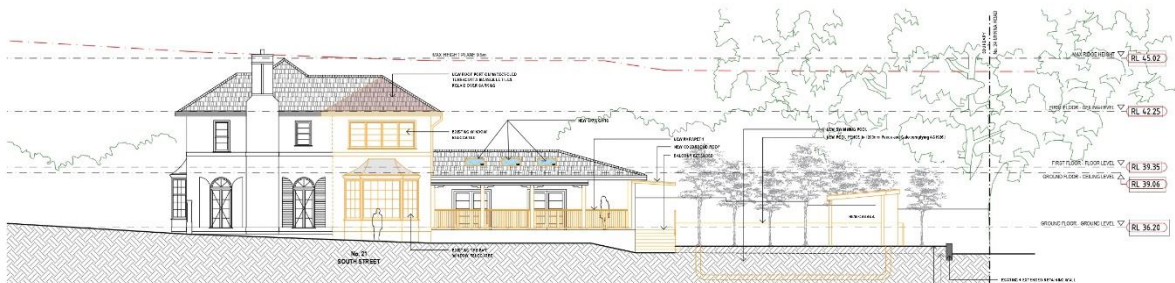


Figure 24: North (Side) Elevation
Source: POC+P Architects

North (Side) Elevation

- Demolish existing c. 1940s north facing hip consisting of ground floor study + first floor study 2
- Relocate existing c. 1985 bay window to dining room
- Relocate existing c. 1981 infill study window to Bed 3
- Demolish existing c. 1985 balcony (partially) + pergola
- New c. 1985 balcony awning roof + balustrade/ railing
- New open cabana
- New skylights in existing c. 1985 ground floor living area roof

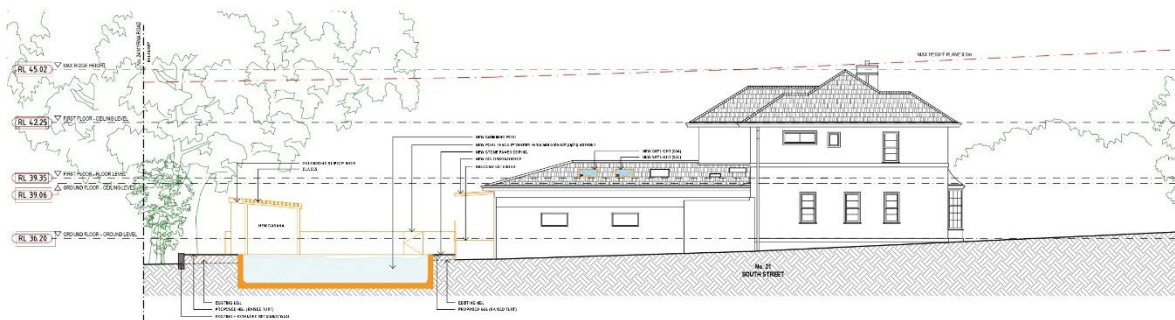


Figure 25: South (Side) Elevation
Source: POC+P Architects

South (Side) Elevation

- New open cabana
- New swimming pool
- New skylights in existing c. 1985 ground floor living area roof

Summary of Restoration Works for Conservation

HOUSE

1. Preserve existing terracotta tile roof, clean tiles, re-set and re-point
2. Check over and restore existing chimney flashing and seal
3. Restore downpipes and gutters to operation
4. Preserve and re-paint existing rendered and painted external walls
5. Preserve and re-paint existing painted fenestration (repair timber rot)
6. Preserve, re-pair and re-paint existing shutters, restore to operational (repair timber rot)
7. Preserve existing copper roofs of bay windows
8. Clean vine traces off shutters and soffits
9. Re-point sandstone details
10. Ease windows to make operational
11. Relocate the pocket doors
12. Salvage and re-use major windows

INTERNAL

13. Upgrade plumbing/ electricals
14. Carpet/ wallpapers as appropriate

SETTING

15. Restore landscape setting as contemporaneous with the House
16. Refurbish front driveway, retain existing location and concrete finish
17. Re-point and clean sandstone front fence

4.0 DESIGN ASSESSMENT

4.1 DESIGN ASSESSMENT: NSW HERITAGE INVENTORY

The following table assesses the proposed works according to the "Statement of Significance" in the NSW Heritage Inventory entry "Georgian Revival House and Garden", reference number 2450130:

"STATEMENT OF SIGNIFICANCE" ITEMS OF SIGNIFICANCE	COMMENT: PROPOSED ALTERATIONS AND ADDITIONS
Rendered brick construction	The existing rendered brick construction is important for the style of the property. This rendered brick construction, including the original render finish and the heritage off-white colour, is retained and preserved with the proposed works.
Tile hip roof	The existing tile hip roof is significant in both material and form to the property. This materiality and form is maintained with the proposed works.
Large setback from the street	The large landscaped setback is significant, it softens and almost entirely conceals the built form from the streetscape, while also creating a sense of grandeur. The important features within the front setback are retained despite the subdivision of the lots, including the existing curved driveway, the front hedge and all existing trees.
One storey timber bay windows to the north and east with copper bellcast roofing	The one storey timber bay window on the east facade is original, the one on the existing north facade is a replica from alterations and additions c. 1985. Therefore, the bay window on the north facade is of reduced significance and suitable to be relocated as part of the proposed works. The original bay window on the east facade is retained in place and preserved with the proposed works.
Recessed entry with fan and side lights to the door	The recessed entry, fan and side lights to the door are retained and preserved with the proposed works in both materiality and use.
Rendered chimney	The original rendered chimney is retained and preserved as part of the proposal.
Rendered string course	The rendered string course is retained and preserved as part of the proposal.
Mature garden	The garden is retained and preserved as part of the proposal.
Stone front fence	The stone front fence is original to the dwelling house and important for the subject site's presentation in the streetscape. The stone front fence is preserved with the proposed works. A new vehicular gate is proposed in the existing vehicular entry on lot 66. This alteration to the front fence will not adversely impact the heritage significance of the fence. It is also reversible and makes no permanent change to the original fabric.
Tennis court	The tennis court is necessarily removed as part of the proposed subdivision works because it is split between lot 65 and lot 66. It is proposed to be removed entirely from lot 66 to allow for adequate deep soil landscaping and private open space. The tennis court is not original to the property, and does not exist in the 1943 Aerial Photograph of the site (Figure 6). Its estimated time of construction is between 1943 and 1981. Therefore, its heritage significance is reduced and its removal is considered worthy of council's support.
Circular drive	The existing circular drive is maintained in location and material. Its use as a continuous carriage loop is terminated half way through, however, because of the subdivision of lots 65 and 66, and the construction of a boundary fence between them.
Well maintained	Both internals and externals will be largely maintained with the proposed works, especially the east-facing main facade.
Association with a prominent local business (N. B. Love Limited)	The subject site has an association with the local businessman Nigel Love, it was the residence for him and his family. This association with Love is of interest and is not compromised by the proposed works, as the original dwelling is preserved.

4.2 DESIGN ASSESSMENT: BURRA CHARTER PRINCIPLES

The following discussion concerns Principles that are sourced from the Burra Charter, 2013:

Article 22. New Work

22.1 New work such as additions or other changes to the place may be acceptable where it respects and does not distort or obscure the cultural significance of the place, or detract from its interpretation and appreciation.

Note: New work should respect the significance of a place through consideration of its siting, bulk, form, scale, character, colour, texture and material. Imitation should generally be avoided.

22.2 New work should be readily identifiable as such, but must respect and have minimal impact on the cultural significance of the place.

Comment on the Proposal:

The proposed new works are located at the rear of the property, they affect the existing alterations and additions, rather than the original dwelling. The new works are subservient to and concealed by the original dwelling.

Article 15. Change

15.1 Change may be necessary to retain cultural significance, but is undesirable where it reduces cultural significance. The amount of change to a place and its use should be guided by the cultural significance of the place and its appropriate interpretation.

15.2 Changes which reduce cultural significance should be reversible, and be reversed when circumstances permit.

15.3 Demolition of significant fabric of a place is generally not acceptable. However, in some cases minor demolition may be appropriate as part of conservation. Removed significant fabric should be reinstated when circumstances permit.

15.4 The contributions of all aspects of cultural significance of a place should be respected. If a place includes fabric, uses, associations or meanings of different periods, or different aspects of cultural significance, emphasising or interpreting one period or aspect at the expense of another can only be justified when what is left out, removed or diminished is of slight cultural significance and that which is emphasised or interpreted is of much greater cultural significance.

Comment on the Proposal:

The proposed works include minor demolition of original fabric. The northern hip consisting of the ground floor study and first floor study 2 is proposed to be demolished because it straddles the boundary between the subdivided lots 65 and 66. This demolition occurs where the original fabric has already been altered by earlier alterations and additions, specifically, the ground floor study has a north-facing single storey bay window added in c. 1985 and the first floor study was originally a balcony which was infilled in c. 1981. Despite being located in the rear portion of the north elevation, behind the chimney, the proposed demolition of this protruding hip still affects the overall articulation of the northern side boundary. However, the rest of this northern elevation, including the original chimney and original fenestration are proposed to be retained in place.

4.3 DESIGN ASSESSMENT: STRATHFIELD DCP 2005

Alterations and Additions

The table below details compliance according to SDCP 2005 (last revised 8 January 2019) Part P Section 1 and 2:

Note: in **bold** are the items which the Local Planning Panel identified the previous proposal did not satisfy. It is proposed that these have now been better satisfied with the design changes.

CLAUSE		PROPOSED/ COMMENT	COMPLY
1.5 Objectives of this DCP Part	A. To retain evidence of historic themes of development evident in the Strathfield Local Government Area, through the proper care and maintenance of individual heritage items and Heritage Conservation Areas.	Original dwelling house to be maintained and restored.	YES✓
	B. To protect those items and areas that are of value to the local community.	Original dwelling house to be maintained and restored.	YES✓
	C. To encourage development which complements existing heritage items and Heritage Conservation Areas in a modern context.	Original dwelling house to be maintained and restored with minor complementary alterations/ additions.	YES✓
	D. To ensure that development in the vicinity of heritage items is designed and sited to protect the heritage significance of the item and its setting.	Proposed new works located on the ground floor and at the rear, allow the dominance of the heritage item.	YES✓
	E. To retain any significant horticultural or landscape features that assist in the interpretation of Strathfield's heritage.	The large trees along the front and rear frontage are retained.	YES✓
2.1 General Objectives	A. To ensure that additions to a heritage item and new buildings on the site of a heritage item are of a scale, mass, bulk, orientation, setback and character consistent with the heritage item.	Proposed new works located on the ground floor and at the rear, allow the dominance of the heritage item.	YES✓
	B. To ensure that new development respects the contribution of a heritage item to the streetscape and/or townscape, and allows an ongoing application of its heritage significance.	The contribution of the heritage dwelling to the streetscape is maintained, with the proposed works occurring at the rear.	YES✓
	C. To retain or reinstate missing original details that contribute to the aesthetic quality and/or significance of a heritage item and to encourage the removal of inappropriate alterations and additions.	Original dwelling house to be maintained and restored including the original roof tiles, fenestration, internal stair and fireplace.	YES✓
	D. To ensure that important elements of the form or fabric of a heritage item are not obscured or destroyed by alterations and additions.	Proposed new works located on the ground floor and at the rear, allow the dominance of the heritage item. These proposed works are situated with the existing alterations and additions rather than the original dwelling house.	YES✓
	E. To ensure that materials and colours used on both the original heritage item and any alterations and additions are consistent with the significance of the heritage item.	The materials and colours proposed are all sensitive to the heritage and include a palette of off-white heritage paint colours to match the existing house, timber framed rear balcony/ outbuilding and colorbond roofed rear additions.	YES✓
	F. To provide an appropriate visual setting for heritage items, including landscaping, fencing and car parking.	All trees in front setback, the rough hewn stone front fence	YES✓

		and the carparking location on the southern boundary retained and preserved.	
2.2 Setting	A. To provide an appropriate visual setting for heritage items, including landscaping, fencing and car parking; and	All trees in front setback, the rough hewn stone front fence and the carparking location on the southern boundary retained and preserved.	YES✓
	B. To ensure that new development respects the contribution of a heritage item to the streetscape and/or townscape and retains the significance of the item.	The contribution to the streetscape is respected, proposed new works concealed on the ground floor and at the rear, allow the dominance of the heritage item. The existing generous landscaped front setback is retained.	YES✓
	(i) Original elements that contribute to the setting of a heritage item such as landscaping, fences and gates, driveways, seawalls etc. should not be removed and, traditional garden designs should be reinstated where possible.	The front landscaping and fence are retained and preserved. The driveway is also retained and preserved in location and material, however its use as a continuous carriage loop is terminated half way through due to the subdivision and new boundary fence.	YES✓
	(ii) New structures on land on which a heritage item is located such as swimming pools and outbuildings should be located so that they do not adversely impact on the significance of the heritage item.	Pool and outbuilding are located in the rear, lower down on the site and concealed behind the existing dwelling.	YES✓
	(iii) The natural landform and character of the area within which a Heritage Item is located, should be maintained, avoiding any cut and fill to land when constructing new buildings and landscaping grounds.	Natural ground lines and existing floor levels are maintained. Minimal and partial fill <0.45m to allow for flatter and more usable private open space at the rear. Existing landscaped privacy screening is maintained.	PARTIAL
	(iv) Applications that propose basement additions may be required to provide a Structural Report from a practicing structural engineer with experience in heritage buildings to confirm that the proposed excavation will not adversely affect the building or adjoining properties. This report should be provided as part of the development application.	No basement proposed.	NA
	(v) The placement of the basement entrance should not detract from the street presentation of the item of the streetscape. Placement of basement entries toward the rear of the property and parallel to the side boundary is encouraged.	No basement proposed.	NA
2.3 Scale	A. To ensure that alterations and additions to a heritage item and new buildings on the site of a heritage item are of a scale consistent with the heritage item so as not to detract from the significance of the item.	Proposed new works located on the ground floor and at the rear, allow the dominance of the two storey heritage item. They are situated with and consistent in scale to the existing alterations and additions.	YES✓
	(i) Development on the site of a heritage item must not dominate the item or detract from its significance.	Proposed new works are concealed behind the heritage item, within existing alterations	YES✓

		and additions to the original dwelling. They are subservient to the original dwelling.	
	(ii) Development shall not obstruct significant views to and from the item of significance.	Proposed new works do not obstruct views to/ from the heritage item.	YES✓
2.4 Form	A. To ensure that important elements of the form of a heritage item are not obscured or destroyed by alterations and additions.	The important elements of form including the roof form, fenestration, chimney and recessed entry are retained and preserved.	YES✓
	B. To ensure that the form of a heritage item retains its importance in the streetscape and/or townscape.	Proposed new works are concealed behind the heritage item, within existing alterations and additions to the original dwelling. The original heritage dwelling retains its importance in the streetscape	YES✓
	(i) Important elements of the form of a heritage item such as main roof forms, chimneys, parapet walls, verandahs etc. should not be demolished or obscured by alterations and additions.	Important elements of the form have been retained and preserved in the proposal. These include the original copper roofed bay window, chimney and the hipped roof.	YES✓
	(ii) Development of a heritage item must seek to reconstruct missing architectural detailing of a Heritage Item where possible, including gables, finial trims, front verandahs or bays.	There are no known architectural elements to be reconstructed.	NA
	(iii) Verandahs on the front and sides of a heritage item should not be filled in.	N/A	YES✓
	(iv) Additions and alterations to a heritage item should not detract from important aspects of the form of the heritage item.	Proposed new works are concealed behind the heritage item, within existing alterations and additions to the original dwelling. They do not mimic the form of the heritage item or detract from its significance in other ways.	YES✓
	(v) The original shape of the roof of a Heritage Item should not be altered.	The original shape of the hipped roof is not altered, the existing roof and roof tiles are proposed to be retained and preserved. The projection of roof on the north side elevation which straddles the boundary between lots 65 and 66 is proposed to be removed due to the subdivision.	PARTIAL
2.5 Materials and Colours	A. To ensure that original materials that contribute to the significance of heritage items are not obscured.	No original materials obscured.	YES✓
	B. To ensure that colours of paintwork on heritage items are consistent with the significance of the heritage item.	Suitable heritage paint colours proposed.	YES✓
	C. To ensure that materials on alterations and additions to heritage items are consistent with the materials of the heritage item.	The materials and colours proposed are all sensitive to the heritage and include a palette of off-white heritage paint colours to match the existing house, timber framed rear balcony/ outbuilding and	YES✓

		colorbond roofed rear additions.	
	(i) The original wall treatment of a Heritage Item must be retained where possible. Unpainted brick or stone on a Heritage Item should not be painted or rendered.	The original rendered wall treatment is retained.	YES✓
	(ii) Original materials of heritage items should not be replaced with different materials or materials of different colour.	The original materials are retained and not replaced.	YES✓
	(iii) Non-original materials of heritage items that are being replaced shall, if possible, be replaced with material that matches the original material as closely as possible.	N/A	NA
	(iv) Painting, rendering or bagging of original face brickwork and/or stonework is not permitted.	No painting of original face stonework.	YES✓
	(v) The texture of original rendered finishes should not be changed.	The original texture of rendered finishes is retained.	YES✓
	(vi) Materials for additions and alterations to heritage items should be compatible with the original materials of the heritage item.	The materials and colours proposed are all sensitive to the heritage and include a palette of off-white heritage paint colours to match the existing house, timber framed rear balcony/ outbuilding and colorbond roofed rear additions.	YES✓
	(vii) Colour schemes for heritage items should have a hue and tonal relationship with traditional colour schemes for the period and style of the heritage item.	The proposed colour scheme has a tonal relationship with the Georgian Revival Style.	YES✓
	(viii) The use of fluorescent paint on heritage items is not permitted.	No fluorescent paint used.	YES✓
	(ix) The façade of a heritage item is not to be painted in a corporate colour scheme.	No corporate colour scheme, this is a residential item.	YES✓
	(x) The use of modern finishes including stencilled concrete for driveways associated with heritage items is not permitted.	No modern finishes proposed. No change to the driveway material and finish.	YES✓
	(xi) The original roof cladding of a heritage item (slate, tiles or corrugated iron) should not be changed if it is in good repair.	The original terra cotta roof tiles are retained and preserved in the proposal.	YES✓
	(xii) Sandblasting to remove paint from brick or stone should not be undertaken on a heritage item as it exposes it to weathering and may change its appearance.	No sandblasting.	YES✓
2.6 Alterations and Additions	A. To support the retention of heritage properties and maintain their heritage significance.	Heritage dwelling retained.	YES✓
	B. To allow changes to the rear of heritage items where the new work does not impact the heritage significance of the heritage item.	Proposed changes occur at the rear.	YES✓
	C. To ensure that alterations or additions to heritage properties are sympathetic to the item and reflect the predominant scale, height, proportion, character and setbacks of the existing property, and surrounding development.	Proposed new works are concealed behind the heritage item, within existing alterations and additions to the original dwelling. The new outbuilding (which is outside the existing building footprint) is a simple open structure designed so as to recede in relation to the heritage dwelling house.	YES✓
	(i) Alterations and additions must not adversely impact the significance of a heritage item.	Maintains significance of the current fabric.	YES✓

	(ii) Any alterations and additions must be consistent with the scale, form, proportion, details and materials of the heritage item.	Proposed works are consistent with the heritage item.	YES✓
	(iii) Alterations and additions to heritage items must be located so as to minimise their visibility and prominence from the street or adjoining streets, and the height must not be seen above the main ridgeline of the building.	Proposed changes occur at the rear. They are not visible or prominent from the street.	YES✓
	(iv) Ancillary buildings on the same site as a heritage item must be located so as to not obscure the significant elements of the item.	Ancillary buildings, including swimming pool and cabana are located in the rear garden, concealed behind the dwelling house.	YES✓
2.7 Doors and Windows	A. To retain original windows and doors that contribute to the aesthetic quality and/or significance of a heritage item.	Original windows and doors are retained except for two original windows which are not retained, the east and west facing windows in the ground floor study. These straddle the boundary between lots 65 and 66 proposed to be formalised with the subdivision.	PARTIAL
	B. To reinstate lost details that contributed to the aesthetic qualities and/or significance of a heritage item.	No known details for reinstatement.	NA
	C. To retain the proportions of walls and openings that contribute to the aesthetic quality of a heritage item.	Window proportions retained. No new windows are proposed.	YES✓
	(i) Original window and door openings in a heritage item should be retained. If the original doors or windows have been lost, they are to be replaced with one of similar size, type and material for the age and style of the item.	Original window and door openings retained except for two original windows which are not retained, the east and west facing windows in the ground floor study. These straddle the boundary between lots 65 and 66 proposed to be formalised with the subdivision.	PARTIAL
	(ii) Where original windows and doors in a heritage item have been removed and replacement of the new joinery is proposed, the form and detailing of the original windows and/or doors should be reconstructed.	Where the northern hipped portion of the building straddles the boundary between lots 65 and 66 (to be formalised in the subdivision), and is therefore proposed to be demolished, the existing (non-original but sympathetic) north facing windows are proposed to be relocated. They will be included as part of the make good works of the altered northern external wall.	YES✓
	(iii) New dormer and roof windows of a house should preferably be located on rear roof slopes in preference to roof slopes visible from the street.	No new dormer or roof windows.	NA
	(iv) New dormer windows visible from the street must be located to complement the design of the building with proportions and details which do not detract from the significance of the building.	No new dormer or roof windows.	NA
	(vii) New skylights that involve the removal of significant fabric (e.g. decorative plaster ceilings) are generally not supported.	New skylights proposed are located in the rear existing alterations and additions c. 1985, therefore no original or	YES✓

		significant fabric will be affected.	
2.8 Car Parking	B. To ensure that car parking does not compromise the structural integrity of heritage items.	Proposed carparking in existing location and structure.	YES✓
	(i) Garages and carports must be located behind the front building line.	Proposed carparking in existing location and structure. This is a garage located behind the front building line.	YES✓
	(ii) Garages should not be incorporated into the front façade of a heritage item.	No garage incorporated into the front façade.	YES✓
	(iii) Where a new garage or carport is on the same side of a building as a front verandah, the garage or carport must be located entirely behind the verandah.	N/A	NA
	(iv) Applications that propose basement additions are required to provide a Structural Report from a practicing structural and geotechnical engineer with experience in heritage buildings to confirm that the proposed excavation will not adversely affect the building as part of the development application.	No basement proposed.	NA
	(v) The placement of the basement entrance should not detract from the street presentation of the item of the streetscape. Placement of basement entries toward the rear of the property and parallel to the side boundary is encouraged.	No basement proposed.	NA
	(vi) Refer to the Controls for Garages and Carports in the Residential section of this Development Control Plan for general provisions regarding garages and carports.	No new garage, existing garage to be retained.	YES✓
2.9 Fencing	B. To ensure that new fences and gates are in keeping with the character of the heritage item.	The proposed gates/ fencing are appropriate in scale, style and finish.	YES✓
	C. To ensure that the significance of the heritage item is not diminished by inappropriate fencing	The proposed gates/ fencing do not destroy any original fencing in the property. They are appropriate in scale, style and finish.	YES✓
	(i) Original fencing styles and materials on a heritage item should be repaired and retained where possible.	The front fence is original rough-hewn stone at a low height. This is retained and preserved.	YES✓
	(ii) New fencing and gates to a heritage item should be of a style and scale that is consistent with the style of the building.	New gate proposed in the existing vehicular opening in the front fence on lot 66 is kept to a low height and scale consistent with the heritage fence. New panelled gate proposed in the garden wall c. 1987 to correspond with the style of the dwelling house and the existing panelled gate in the wall c. 1987. New boundary fence between lot 65 and 66 to be a simple panelled style pre-fab PVC fence so as to correspond with without detracting from the simple detailing of the original dwelling house.	YES✓
	(iii) Unless evidence is provided to establish a greater height, solid fencing (i.e. brickwork/stone) forward of the	No change to the front stone fence.	YES✓

	building line should not be greater than 1m in height above the adjacent public footpath level.		
	(iv) Unless evidence is provided to establish a greater height, fencing forward of the building line, constructed of material such as timber pickets, metal pickets or wrought metal panels or a combination of masonry and one of the above materials, should not be greater than 1.5m in height above the adjacent public footpath level.	No change to the front stone fence.	NA
	(v) Original face brick or sandstone fencing to a heritage item should not be painted.	Sandstone fencing unpainted.	YES✓
	(vi) For front boundaries where there is no existing front fence or the existing fence is not contemporary with the Heritage Item, a new low fence should be constructed. Materials used for front fencing of Heritage Items should be similar to those of the building or those for which there is historical evidence.	N/A	NA
	(vii) Refer to the Controls for Fencing in the Residential section of this Development Control Plan for general provisions regarding fencing.	No change to the front stone fence.	NA
2.10 Landscap e Elements Including Paving and Driveways	(i) Original driveways and footpath crossings that relate to a heritage item should not be relocated.	Original driveway and footpath crossings maintained.	YES✓
	(ii) Double driveways and footpath crossings will generally not be permitted for houses listed as heritage items.	No new footpath crossings/ driveways are proposed. The existing and original footpath crossings/ driveway are retained.	YES✓
	(iii) Original or early garden layouts that contribute to the significance of the heritage item should not be altered.	Original driveway and garden layout maintained. The proposed fence on the boundary between lots 65 and 66 proposed to be formalised with the subdivision will divide the original garden layout.	PARTIAL
	(iv) Established trees and shrubs that contribute to the significance of the heritage item should not be removed unless it can be established by an arborist that the health of the tree or shrub is such that it must be removed.	No established trees or shrubs which contribute to the significance of the item (including T4, T6 and T10) will be removed as part of the proposal.	YES✓
	(v) Proposals involving substantial works should consider landscaping the front setback in a manner appropriate to the age and style of the dwelling.	The proposed works include landscaping of front setback. The landscaping is in a manicured/ formal style appropriate to the original Georgian Revival house.	YES✓
2.11 Outbuild ings	(i) Outbuildings should be located in the rear yard of heritage items.	Outbuilding located in rear yard.	YES✓
	(ii) Outbuildings should be single storey and designed so that they have negligible if any impact on important views of heritage items.	Single storey outbuilding, does not impact important views of the heritage item.	YES✓
	(iii) Outbuildings must not be greater in height or bulk than the heritage item.	Outbuilding is not greater in height or bulk. It is single storey (compared to two storey house).	YES✓
2.12 Modern Technolog ies	A. To ensure that modern technologies do not impact on important views of heritage items	No new modern technologies including solar panels AC units proposed.	YES✓
2.13 Demolition	(i) Buildings that are listed as heritage items or contribute to the significance of a heritage item shall not be demolished.	Demolition of the building is not proposed, despite the	YES✓

		conclusion of the Urbis Heritage Report.	
	<p>(ii) Applications for the demolition of a heritage item must be accompanied by a Demolition Report. The report is to provide details of the heritage significance of the heritage item and is to address the applicable matters within this Part of the DCP. Plans of the replacement development are to be submitted with any application for demolition.</p> <p>Note: Submitting the documentation to seek approval to demolish a heritage item or contributory item does not imply that approval will be granted. Council may seek independent advice on aspects of any application for demolition.</p>	Demolition of the building is not proposed, despite the conclusion of the Urbis Heritage Report.	YES✓
	(iii) Partial demolition of heritage items may be possible subject to the merits of the proposal. Partial demolition of a heritage item may only be allowed when it can be established in a Statement of Heritage Impact that the partial demolition will not have an impact on the significance of the heritage item.	Partial demolition of the original dwelling is proposed. The north projecting portion of the property which straddles the boundary between lots 65 and 66 must be removed as part of the subdivision works.	YES✓
	(iv) Outbuildings associated with heritage items can only be demolished where a Statement of Heritage Impact has established that the outbuilding does not contribute to the heritage significance of the place and the demolition does not impact on the significance of the heritage item.	Existing outbuildings, the gazebo and pool equipment are of late and inferior construction, and are without integrity.	YES✓
	(v) Where demolition is allowed, a photographic record of the building must be prepared for the site and submitted to Council prior to the commencement of the demolition works.	A digital photographic record can be submitted as part of the CC.	YES✓
2.14 Subdivision	(i) Subdivision of an allotment that includes a heritage item will not be approved unless it can be demonstrated in a Statement of Heritage Impact that an adequate curtilage of the heritage item is retained.	It is proposed that adequate curtilage be maintained should the subdivided lot 65, no 19 be developed.	YES✓
	(ii) Subdivision of land that includes a heritage item will not be allowed unless it can be established in a Statement of Heritage Impact that proposed or future development on the created allotments will not impact on important views to or from the heritage item.	Important views of the east (front) façade continuing to the corner of the east and north facades as seen through a large and well landscaped front setback will be maintained with the proposed works.	YES✓

The primary issues of partial compliance are discussed in more detail below:

Circular Driveway and front landscaping layout

The existing circular drive is maintained in location and material. Its use as a continuous carriage loop is terminated half way through, however, because of the subdivision of lots 65 and 66, and the construction of a boundary fence between them. In the same way, the front landscaping layout and all existing trees are maintained and protected as part of the proposed works, however, the continuous and generous front setback will be divided into two with the construction of the boundary fence.

This is necessary as part of the subdivision of 19 and 21 South Street, with the formalisation of the existing boundary line between lots 65 and 66. It is suggested that with the retention and protection of the front fence and existing trees/landscaping across both lots, along with the preservation and restoration of the landscaped setting for the dwelling house at lot 66 as part of the proposed works, that adequate reference to the original double lot will remain.

Demolition

Demolition of the north hipped projection (ground floor study and first floor study 2) is proposed. This would include the demolition of two original windows and two non-original windows, as well as the re-location of two non-original windows (the ground floor bay window c. 1985 and the first floor infill window c. 1981). It would also include the demolition of the projecting hipped roof planes. The removal of this portion impacts the articulation of the rear-side corner of the house.

The demolition is necessary as part of the subdivision of 19 and 21 South Street, with the formalisation of the existing boundary line between lots 65 and 66. Whilst the majority of the existing dwelling house is located on lot 66 at 21 South Street, this north hipped projection crosses the boundary between the two lots.

This demolition occurs in a portion of the original house which has already been altered, the ground floor with the addition of the bay window in c. 1985 and the first floor with the infill of the former balcony terrace in c. 1981. Consequently neither space currently retains its original character.

The rest of the northern side elevation is retained and restored including the original chimney and original fenestration. The proposed demolition occurs well setback from the front building line, at the rear corner of the dwelling house.

The new portion of the external wall, in the location where the northern hip is proposed to be demolished, is intended to keep in character with and complement the original dwelling house whilst still being subtly discernible. The existing north facing ground floor bay and first floor infill windows will be relocated as part of this new wall. The wall finish itself will be of the same paint colour as the rest of the existing house, but a rougher render texture, with a vertical shadow line marking the junction of original and alteration.

Curtilage

The current prominence of the east (front) façade as well as the corner between the east and north (side) facades will only be partially affected by the proposed boundary fence positioned along the existing boundary between lots 65 and 66. The most important aspect of the curtilage for the original dwelling house is the generous landscaped front setback which provides a softened, partially obscured view of the house from the streetscape. This front setback is retained with the proposal. The other important aspects of the house are of the two front corners, with visibility down the side setbacks of the property. The south-east corner is not affected by the proposed works. The north-east corner is necessarily affected, however, with subdivision of the currently undeveloped lot 65 from the dwelling house on lot 66 and the construction of a boundary fence between them. Consequently, views of the northern side façade as a whole are reduced but the north-east corner remains visible and prominent due to the large landscaped front setback.

5.0 ASSESSMENT OF IMPACT

5.1 MEASURES TO MINIMISE IMPACT

The previous proposal submitted with DA2019/085 was rejected by the local planning panel in November 2019. This was the client's preferred option of a combined and holistic development consisting of a new wing of two storey alterations and additions. However, the feedback from the Local Planning Panel meeting lead to an enormous design revision to minimise the impact of the works. Consequently, with the design presented as part of this DA, measures have been made to better preserve the dwelling house and limit the dominance of any alterations and additions. This was primarily achieved by proposing a subdivision of the site which allows the value of the unencumbered northern lot to be maximised while the dwelling house located on the southern lot 66 is restored and preserved in the manner in which it was accustomed along with minor refurbishments at the rear to ensure its continued use as a private home.

5.2 CONCLUSION

The proposal is considered sympathetic to the heritage objectives of Strathfield Council, as well as the heritage items in the vicinity. It preserves the existing heritage dwelling house in terms of use, style, character, form and materials, allowing its continuing positive contribution to the streetscape and the surrounding locality. The proposal is supported and is presented to Council for support and approval.

6.0 RECOMMENDATIONS

After consideration of the above reasoning and the conclusion so formed, the following recommendations are made:

- a) Experienced tradespersons (as appropriate) are to be commissioned who are skilled in traditional building and engineering trades to carry out the restoration and alteration work;
- b) Paint colours, textures and roofing should be of suitable traditional colours as proposed to ensure the heritage integrity of the item;
- c) Care should be taken in the selection of materials – specifically the colours, finishes, detail and workmanship.

Patrick O'Carrigan and Emily Flanagan

Patrick O'Carrigan + Partners Pty Ltd

7.0 ATTACHMENTS

The Statement of Environmental Effects for the subject property prepared by POC+P Architects P/L.

8.0 REFERENCES

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